



AGENDA

PLANNING COMMISSION

TUESDAY MARCH 11, 2025

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

Notice is hereby given that the Planning Commission will hold a Regular Meeting, on March 11, 2025 in the City Council Chambers, 155 West Durian Avenue, Coalinga, CA.

Persons with disabilities who may need assistance should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. Anyone interested in translation services should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. The Meeting will begin at 6:00 p.m. and the Agenda will be as follows:

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

- Chairman Stoppenbrink*
- Vice Chairman Hill*
- Commissioner Helmar*
- Commissioner Yeadon*
- Commissioner Papietro*

Staff:

- Sean Brewer, Interim City Manager*
- Shannon Jensen, City Clerk*

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during

the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

1. Meeting Minutes for Approval 2-11-2025
2. Planning Commission Recommendation to the City Council for Approval of the 2024 General Plan Progress Report

PUBLIC HEARINGS

1. Consideration of Conditional Use Permit 24-02 to Construct a New Commercial Service Station (Shell), Ancillary Car Wash Facility, Associated Convenience Store, and a New Quick Serve Restaurant with a Drive-through Facility Located on the Southwest Corner of West Jayne Ave/SR33 and Juniper Ridge Blvd.
2. Planning Commission Adopt Resolution No. 025P-002 Approving, Subject to Conditions of Approval, a Sign Permit and Variance for the Construction of Two (2) New Freestanding Monument Directional Signs for the Coalinga Regional Medical Center Located on the North Side of Phelps Avenue, East of Gregory Way at 1191 Phelps Avenue (APN 070-060-67ST).

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Meeting Minutes for Approval 2-11-2025
Meeting Date Tuesday, March 11, 2025
Project Location:
Applicant:
Owner:
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ Minutes for Approval 2-11-2025

MINUTES

PLANNING COMMISSION

155 W. Durian Avenue, Coalinga, CA 93210

Tuesday, February 11, 2025

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:13PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

Interim City Manager Sean Brewer announced the following changes to the Agenda:

None

ROLL CALL

Commissioners: Chairman Stoppenbrink
 Vice Chairman Hill
 Commissioner Helmar
 Commissioner Papietro
 Commissioner Yeadon – (Absent)

Staff: Interim City Manager, Sean Brewer
 City Clerk, Shannon Jensen

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

None

INFORMATION/CONSENT CALENDAR

1. Meeting Minutes for Approval 11-12-2024

*Motion by Hill, Second by Stoppenbrink to Approve Information/Consent Calendar Item No. 1. Motion **Approved** by a 4/0 Majority Voice Vote. (Yeadon – Absent)*

PUBLIC HEARINGS

1. Consideration of Conditional Use Permit 24-01 to Construct a New Commercial Service Station (Sinclair), Ancillary Car Washing Facility, and Associated Convenience Store located on the South Corner of North Fifth Street and Elm Ave./SR33/SR198 (APN 072-127-22)

Interim City Manager Sean Brewer provided a brief overview of the item, stating the applicant was present for questions.

Chairman Stoppenbrink opened the Public Hearing for public comment.

Gerard Felipe of Ice Bucket/Chevron spoke in opposition of the Sinclair commercial service station.

Seeing no further comments, Chairman Stoppenbrink closed the Public Hearing.

*Motion by Helmar, Seconded by Papietro to Adopt Resolution No. 025P-001 Approving a Site Plan Review, Environmental Review, and Conditional Use Permit for the Construction of a New Service Station with an Associated Car Wash Facility and Convenience Store located at the South Corner of North Fifth Street and Elm Ave/SR 33/SR 198. **Approved** by a 3/1 Majority Roll-Call Vote. (Hill – Voted No)*

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

None

DEPARTMENT REPORTS

None

COMMUNICATIONS

1. Staff Announcements

Interim City Manager Sean Brewer stated the next meeting is scheduled for March 11, 2025.

2. Commissioner Announcements

None

3. Chairperson Announcements

None

ADJOURN 6:36PM

APPROVED:

Chairperson / Vice Chairperson

ATTEST:

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Planning Commission Recommendation to the City Council for Approval of the 2024 General Plan Progress Report

Meeting Date Tuesday, March 11, 2025

Project Location: City of Coalinga

Applicant: City of Coalinga

Owner: City of Coalinga

Prepared By: Sean Brewer, Interim City Manager

I. RECOMMENDATION:

That the Planning Commission by motion, recommend to the City Council adoption of the attached resolution accepting the 2024 General Plan Progress Report and further direct staff to submit the report to the Governor's Office of Planning and Research and the Housing Community Development Department in accordance with Government Code Section 65400(b)(1).

II. BACKGROUND:

Government Code Section 65400(b)(1) mandates that all cities and counties submit to their legislative bodies an annual report on the status of the general plan and progress in its implementation (the "Progress Report"). A copy of this Progress Report must also be sent to the Governor's Office of Planning and Research (OPR) and the Department of Housing and Community Development (HCD).

The intent of this statute is to ensure that the general plan directs all land use decisions and remains an effective guide for future development. Because the role of the general plan is to act as a "constitution" for the long-term physical development of a community and because it is required to be updated periodically to reflect current circumstances, it is critical that local planning agencies periodically review the general plan and its implementation. The Progress Report is a tool for monitoring this.

The Progress Report is useful to OPR in a number of ways. The report provides information that allows OPR to monitor local planning activities and to identify trends in land use planning and decision making throughout the State of California. This information is critical to OPR to serve in its capacity as the statewide planning agency.

III. PROPOSAL AND ANALYSIS:

The attached General Plan Annual Progress Report has been prepared in accordance with the suggested Guidelines issued by the Office of Planning and Research.

IV. FISCAL IMPACT:

- None. The General Plan Progress Report is required

V. REASONS FOR RECOMMENDATION:

Failure to submit the General Plan Annual Progress Report to the Office of Planning and Research could limit the City's ability to apply for and be issued grants and/or funding for projects administered by the State Housing and Community Development Department including but not limited to the Community Development Block Grant Program.

ATTACHMENTS:

Description



2024 General Plan Progress Report

ANNUAL PROGRESS REPORT

Coalinga General Plan and Housing Element



CITY OF COALINGA
The Sunny Side of the Valley

REPORTING PERIOD: Calendar Year 2024
(In Accordance with Government Code Section 65400)

INTRODUCTION

This report is intended to comply with the requirements of Government Code Section 65400 for the completion of an annual General Plan Progress Report. This report identifies the status of the City's General Plan and its progress in its implementation. This report represents the Community Development activity for planning year 2024.

The City of Coalinga City Council took action to adopt this report on March 20, 2025 at a regularly scheduled meeting.

Following the presentation of the report, the City Council accepted the report and authorized the City Manager to forward the report and minutes indicating acceptance to the Office of Planning and Research and the California Department of Housing and Community Development.

COMPREHENSIVE GENERAL PLAN UPDATE 2025

The City adopted its Comprehensive Update to its General Plan (2005-2025) in July of 2009. The update included a full update to the Land Use, Open Space, Safety/Noise, Circulation, and Public Facilities Elements. In 2012 the City completed its comprehensive zoning ordinance update to be in conformity with the recently adopted General Plan.

The City of Coalinga continues to actively implement the policies of the General Plan including the goals, policies and programs of the Housing Element. The following represents the progress the City has made towards implementing the General Plan and Housing Element during the Calendar Year 2024 reporting period. The information to follow is organized to correspond with the elements of the Coalinga General Plan.

LAND USE ELEMENT

AMENDMENTS

There were no amendments to the Land Use Element during Calendar Year 2024.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE LAND USE ELEMENT

- The City is working to secure funding to update various sections of the land use element to reflect the current policies and direction the City of Coalinga is moving.
- Staff is continuing to update zoning regulations to ensure consistency with the General Plan and its land use policies and implementation measures. The city will be continuing its 5-year code amendment to review and update the City's zoning code as needed.

OPEN SPACE AND CONSERVATION ELEMENT

AMENDMENTS

There were no amendments to the Open Space and Conservation Element during 2024.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE OPEN SPACE AND CONSERVATION ELEMENT

- The zoning codes open space regulations provide for both private and public projects (OSC1-2.2).
- The new zoning code included Development and Implementation of a Resource Extraction Overlay District (*Goal OSC-4*).

CIRCULATION ELEMENT

AMENDMENTS

There were no amendments to the Circulation Element during Calendar year 2024.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE CIRCULATION ELEMENT

- **Highway 33 Road Rehabilitation Project – Spring 2026**

The City has been collaborating with Caltrans on a complete rehabilitation of highway 33 through the City where a large component of the project is applying “complete streets” elements to the downtown corridor in order to enhance walking and biking as well as enhancing the downtown character with safer streets.

- **Various ADA Improvements in the Downtown District and Neighborhoods – ON GOING**

The City Council has shown continued commitment to a bi-annual ADA improvement program in order to improve accessibility within the commercial core of the City. The improvements include new sidewalks where none exist, curb ramps and alley approaches. The council has made a commitment to the community on a bi-annual basis to budget \$50,000 towards the implementation of the City's ADA transition plan. In addition the City has hired precision concrete cutting to shave down all trip hazards on sidewalks throughout the City.

- **Various Maintenance Projects – ONGOING**

The City is continuing its efforts maintain a reliable circulation system within the City by focusing efforts towards street maintenance and rehabilitation (overlay, reconstruction, sidewalks, lighting and cross walks (RRFB's). Sources of funding come from, local street funds, tax measures, SB1 and Federal and State grants. Staff finalized plans for Phase 2 and 3 of a comprehensive slurry and cape seal project throughout the City.

Active Transportation Plan

In 2017 the City approved an Active Transportation Plan (ATP) to further the goals, policies and implementation measures of the General Plan. The Coalinga Active Transportation Plan provides a strategy for the development of a comprehensive bicycling and walking network throughout Coalinga, as well as strategy for support facilities and education, encouragement, enforcement, and evaluation programs. It includes a Trails Master Plan that provides a strategy for the development of Class I shared-use paths or trails in and surrounding Coalinga. The Safe Routes to School Plan provides a strategy for the City and Coalinga-Huron School District to partner and provide safer and accessible routes to and from school for all travel modes, focusing on walking and bicycling, through a series of project and programmatic recommendations.

The City completed its 5-Year regional active transportation plan update on in ATP and expected to present to the City Council in 2025.

Active Transportation Projects

- Multi-Use Trails Projects (ATP Cycle 4, 5, 6 & CMAQ). The City applied and was awarded funds for segments 1, 2, 13 and 14 and a portion of segments 3, 3N 4 and 9 of the multi-use trails master plan for walking and biking to provide alternative forms of transportation and recreation for the community. These projects have funding authorization and environmental has been certified for both and are now entering the right-of-way and design phase of the project funding. These projects are funded through the State of CA Active Transportation Program and CMAQ program funds.

All of the proposed street improvements projected in the upcoming year will help meet the goal of providing a balanced, safe and efficient circulation system that includes cars, public transportation, bicycles and pedestrians with the mind set of anticipated growth (*Goal C1*).

These transportation projects also help in maintaining and improving the City's existing circulation and transportation facilities. Through the budget process and street maintenance planning, the City has been able to identify the necessary improvements within the planning area that will have the highest level of impact.

The City currently uses Street saver to monitor and select appropriate treatments for the City streets in an effort to maximize funding sources available for street maintenance projects. In addition to the use of Street saver, the City entered into a contract with Good Roads to use new technologies such as artificial intelligence to determine pavement conditions and recommended treatments.

A comprehensive list of projects that the City has in various stages of design and construction can be found here:

<https://www.coalinga.com/DocumentCenter/View/2394/Current-Public-Works-Projects-List---Update-2-2025>

SAFETY, AIR QUALITY AND NOISE ELEMENT

AMENDMENTS

There were no amendments to the Safety, Air Quality and Noise Element during Calendar year 2024.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE SAFETY, AIR QUALITY, AND NOISE ELEMENT

Noise

- Due to the nature of the guiding and implementing policies of the Noise Element, efforts to implement this Element of the General Plan are on-going in nature. Projects are reviewed on a case-by-case basis for adverse noise impacts to the environment and sensitive receptors.
- Performance Standards have been included into the new zoning ordinance to address noise related impacts due to new development such as noise or acoustical studies, sound walls, and other attenuation measures. The City will be soon undertaking a review of its noise standards and update them to have a more clear and concise standard when reviewing projects. Currently the City, absent of strict guidelines, relies on the use of the state model noise standards.
- When projects are brought before the City, staff carefully reviews projects for potential noise impacts to surrounding properties.

Safety

- All new construction and certain building renovations are reviewed for compliance with the Uniform Building Code for seismic safety.

- The City continues to participate in the Federal Emergency Management Agency's (FEMA) flood insurance program.

PUBLIC FACILITIES AND SERVICES ELEMENT

AMENDMENTS

There were no amendments to the Public Facilities and Services Element during Calendar year 2024.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE PUBLIC FACILITIES AND SERVICES ELEMENT

Schools

- In 2024, the City continued to work with developers and property owners to ensure that adequate sites are reserved to meet the Coalinga Huron Unified School District's projected demand for future school uses. The School District has been improving school facilities based on their approved bond in 2024.
- In 2024, the City continued to collect school fees upon issuance of building permits for development projects in accordance with State law.

Utilities

- In 2024, the City continued to work closely with project applicants and service utilities to ensure that there is adequate capacity to serve all new and existing areas of Coalinga.
- The City of Coalinga continues spending the \$7M Water and Wastewater Bond proceeds approved for major improvements to the City's water and sewer infrastructure. These projects are currently underway and several are expected to be under construction through FY25 and into 2026.
- The City has approved, maintained and implemented the following utility master plans in order to guide and ensure the capacity to serve new growth area identified by the General Plan. These plans are in need of updating and staff is working to develop a cost plan to update said plans.
 - a. Wastewater Master Plan, Water Master Plan, Storm Water Master Plan, Natural Gas Master Plan
- The City of Coalinga is currently working on several water and sewer infrastructure projects to enhance the reliability of the City's wastewater and water treatment facilities including its distribution and collection systems.

HOUSING ELEMENT

AMENDMENTS

The City Council approved the Cycle 6 Housing Element in 2024 and was certified by HCD.

PROGRESS TOWARDS MEETING THE GOALS AND GUIDING PRINCIPALS OF THE HOUSING ELEMENT

Cycle 6 Housing Element 2024-2032 (GPA) – HCD Certified

The City of Coalinga is collaborating with (12) twelve Fresno County Jurisdictions to develop the cycle 6 Multi-Jurisdictional Housing Element which serves as the regional housing document that effectively acts as the State-mandated housing element for all participating jurisdictions. Participating jurisdictions included Fresno County, Coalinga, Fowler, Huron, Kerman Kingsburg, Mendota, Parlier, Reedley, San Joaquin, Sanger, and Selma.

1. The Multi-Jurisdictional Housing Element is a single document, made up of two sections: the main body, which described demographics, housing needs, resources, and constraints at a regional level and included goals and policies common to all participating jurisdictions; and
 2. Individual appendices, which contained details for each jurisdiction (i.e., sites inventory, governmental constraints, evaluation of existing Housing Element) and individual implementation programs for Coalinga.
- The Cycle 6 housing element has been certified by HCD.



Staff Report- Chairman and Planning Commission

Subject: Consideration of Conditional Use Permit 24-02 to Construct a New Commercial Service Station (Shell), Ancillary Car Wash Facility, Associated Convenience Store, and a New Quick Serve Restaurant with a Drive-through Facility Located on the Southwest Corner of West Jayne Ave/SR33 and Juniper Ridge Blvd.

Meeting Date Tuesday, March 11, 2025

Project Location: Southwest Corner of Jayne Ave/SR33 & Juniper Ridge Blvd

Applicant: Robert Arthurton & Kalwinder Bajwa

Owner: Robert Arthurton & Kalwinder Bajwa

Prepared By: Sean Brewer, Interim City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 025P-003 approving, subject to conditions of approval, a site plan review, conditional use permit and environmental review for the construction of a new commercial service station with seven (7) gas pumps, a new 4,995 square feet commercial building with a convenience store and drive-through facility, and an associated carwash facility with on and off-site improvements located on the southwest corner of West Jayne Avenue/SR33 and Juniper Ridge Boulevard.

II. BACKGROUND:

On April 9, 2024, the City of Coalinga received an application for Conditional Use Permit, Site Plan Review and Environmental Review, submitted by the applicant, Robert Arthurton and Kalwinder Bajwa, to construct a new commercial service station (Shell), ancillary car wash facility, associated convenience store, and new quick service restaurant with a drive-through facility located on the southwest corner of West Jayne Avenue/SR33 and Juniper Ridge Boulevard.

In accordance with the Coalinga Municipal Code (CMC), a site plan review is required for all new commercial primary buildings. In addition to this, a conditional use permit is required when a service station and/or drive-through facility is proposed.

Once the applications were deemed complete, staff requested comments from the necessary City Departments and Caltrans. This report incorporates feedback from all City Departments and Caltrans.

III. PROPOSAL AND ANALYSIS:

The proposed project involves the construction of two (2) new buildings, one (1) canopy structure, and one (1) solar cover structure for a new service station with an associated car wash facility, convenience store, and quick service restaurant with a drive-through. Below is the breakdown of each building/structure:

Building Space	Square Footage
Convenience Store and Quick-Service Restaurant	4,995
Car Wash Facility	1,026
Gas Station Canopy	3,769 (cover)
Solar Cover	1,587 (cover)

Land Use and Zoning Compliance

The General Plan designation for the parcel is (CS) Service Commercial with a zoning designation for (CS) Service Commercial.

The (CS) Service Commercial designation is designed to provide areas for retail and service uses that usually requires a single-purpose trip to visit one commercial establishment. Repair facilities, building materials, industrial suppliers, auto and accessory dealers, light manufacturing/distributing, and wholesale and/or retail outlets are allowed in this designation. The proposed project is consistent with the general plan goals and policies to expand opportunities for the community. The relevant General Plan policies are detailed below. Goal LU-1: Preservation of the City's small-town character and neighborhood quality and long-term economic vitality of the community.

Policy LU1-2: Retain and expand diversified business opportunities that are compatible with the environment, community values and community vision of the City.

Policy LU1-3: Attract new businesses to the City that are compatible with the community vision and improve the balance among commercial, professional office, and industrial businesses so that the needs of Coalinga residents are provided for without compromising the community character.

Goal LU-3: High-quality commercial development in the City that provides for the needs of residents and encourages regional retail shopping.

The proposed project is in compliance with these policies because it expands and diversifies the City's business opportunities that are compatible with the community vision of the City. The proposed project is a permitted use, subject to a Conditional Use Permit, in the CS (Service Commercial) zone district. The proposed project also improves the balance among commercial businesses, especially along SR 33, that serves the needs of Coalinga residents without compromising on community character by developing the site with high-quality development that is in compliance with the General Plan and the CMC.

Surrounding Land Use Setting:

The proposed project is also compatible with surrounding uses. These uses are detailed in the table below.

Direction	Zoning
South	Residential High Density
West	Service Commercial
East	Light Manufacturing/Business
North	Exclusive Agricultural (County) (separated by SR 33)

Site Plan Review

According to Section 9-6.402 of the Coalinga Municipal Code, a site plan review is required for all development projects within the city. The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in

conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

1. The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
2. The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
3. The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
4. The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

According to Section 9-6.504 – Required Findings for Conditional Use Permits, a Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied.

1. General Plan consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;
2. Neighborhood compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;
3. Asset for the neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

Staff Analysis

As described in more detail below, City staff have determined the proposed project is in substantial conformance with the General Plan, Zoning Ordinance, and any applicable plans adopted by the City.

Article 3 – Commercial and Mixed-Use Districts, Section 9-2.303. – Development Regulations

Structure: The project proposes the construction of a new commercial service station, associate car wash facility, a new solar canopy, and a convenience store with a quick-service restaurant with a drive-through facility. The convenience store/restaurant building will be approximately 4,995 square feet and will be located on the southern end of the parcel. The car wash facility will be approximately 1,026 square feet and will be located on the eastern end of the site adjacent to Juniper Ridge Boulevard. The service station canopy will cover approximately 3,760 square feet of floor area and will feature six (6) fuel pumps. A seventh (7) diesel pump is proposed outside of the service station canopy area. On the western side of the property, a solar canopy will cover approximately 1,584 square feet and will feature electric vehicle charging stalls.

Height: Per Table 2.6: Development Regulations – Commercial Districts of the CMC, the maximum allowable height for buildings located in the CS zone district is 50-feet unless the project site is within 50 or 40-feet of a Residential district boundary. The closest Residential district to the project site is directly adjacent to the south. Therefore, per Table 2.6 of the CMC, the maximum allowable height is 35-feet. The project proposes four (4) structures: a canopy gas station, a solar canopy, a carwash, and a convenience store/drive-through building. The tallest height proposed for the project is approximately 21 feet and 1 inch tall. Therefore, the proposed project is consistent with the CMC requirements regarding height.

Utilities (Water, Sewer, and Stormwater): All utilities are readily available for connection and/or upgrading to serve this development, including water, sewer, and stormwater. The site would connect to existing utilities located within an existing Public Utilities Easement (PUE) at the rear of the project site.

Parking: Table 4.4 – Required On-Site Parking Spaces of the CMC identifies total parking required for different land uses. The proposed development provides 21 parking spaces. The following table, taken from Table 4.4 of the CMC, identifies total parking required for the proposed project:

Use	Requirement	Project Scope	Required Spaces
Service Station	2 per service bay, if service bays are included on site. 1 per 200 square feet of any convenience store on site	0 service bays & 1,975 square feet	10
Automobile/Vehicle Washing	Mechanical: Two spaces plus sufficient waiting line(s) Self-service: Two spaces plus washing area(s)	Mechanical car wash	2
Quick-Service Restaurant w/ Drive-Through	1 per 250 square feet of indoor and outdoor seating areas, up to 4,000 square feet of restaurant space. 1 space for every 75 square feet in excess of 4,000 square feet	2,025 square feet	8
		TOTAL	20

The project parking was analyzed as one project since the development shares access and parking areas. Based on the analysis of the project scope, 20 parking spaces would be the maximum needed for this site, so in conclusion, 21 parking spaces will be more than sufficient for this development.

Refuse Containers: Section 9-4.211 – Trash and Refuse Collection Areas provides requirements and regulations for trash collection areas. The site plan depicts a trash enclosure on the southwest corner of the property, located adjacent to the existing trash enclosure that serves the neighboring hotel. The location of the trash enclosure meets all requirements of Section 9-4.211(a)(1), however the project will be conditioned to obtain approval from the City of Coalinga's solid waste hauler.

Landscaping: Section 9-4.305(5)(a) – Parking Design and Development Standards: Landscaping – requires a minimum of 10% of the total site area to be landscaped. The site plan exceeds the landscape requirement of 10% including providing landscaping in the parking areas and adjacent to the exterior of the building. The site is 36,930 square feet and the proposed development provides approximately 25,630 square feet of landscaping which provides approximately 69% shade cover for the entire paved area.

Lighting: A lighting plan will be provided as part of the final construction drawings and has been incorporated as a condition of approval. The project applicant will be required to provide adequate lighting illumination onsite and avoid spill over (nuisance) lighting of adjacent properties.

Transitional Standards: Zoning transitional standards are regulations designed to manage the interface between different zoning districts, particularly where there is a significant difference in land use intensity or type. These standards aim to mitigate potential conflicts and ensure a harmonious transition between areas with different zoning classifications, such as from commercial or industrial zones to residential neighborhoods. This development shares a property line with a residential zoning district to the south.

In accordance with Section 9-2.303(b)(2)(b)(3), if the district boundary is a rear lot line that is not on a right-of-way line, the 6 foot masonry wall shall be along the length of that line. A masonry wall has been proposed along the length of the rear lot line. The wall will be conditioned to be constructed in accordance with City of Coalinga standards.

Signage: Signage has not been approved as part of this application and will be submitted as a typical sign permit application and reviewed and approved at an administrative level.

Noise: Section 9-4.405 – Noise of the CMC, noise attenuation measures necessary to reduce noise impacts to acceptable levels to the extent feasible may be required to be incorporated into a project. Table 5-6 of the 2025 General Plan prescribes acceptable levels of noise exposure. Because the project is adjacent to a Residential district, the highest acceptable noise level is 60 decibels (dB). The applicant has provided the decibel readings of the carwash facility that show the decibel level at varying distances away from the building. Furthermore, the applicant intends to operate a closed-door carwash which further reduces sound levels. The dB readings provide that at 40 feet away from the carwash entrance, there is a noise level of 64.0 dB. The proposed carwash is approximately 130 feet away from the southern property line that is shared with a Residential district. The project also proposes a 6 foot tall block wall along the southern property line which will further reduce noise levels to an acceptable level at the Residential district. Regardless, the project has been conditioned to operate the carwash as a closed-door carwash to assure noise levels at the Residential district are consistent with the acceptable levels provided for in the General Plan.

Access, Circulation, and Off-Site Improvements: Vehicular access to the site would be provided by two (2) points of ingress/egress from the existing shared driveway along West Jayne Avenue/SR 33 and a new driveway along Juniper Ridge Boulevard. West Jayne Avenue/SR 33 is designated as an Arterial in the General Plan Circulation Element, and Juniper Ridge Boulevard is designated as a Collector. Internal circulation within the site would be provided through the parking lot and pedestrian walkways. The project would also result in off-site improvements along West Jayne Avenue/SR 33 and Juniper Ridge Boulevard including concrete curb, gutter, sidewalk, and paving.

A traffic impact study was prepared for the project by Traffic Engineering Solutions dated June 6, 2024. The study evaluated projected trip generation based upon the trip generation rates and potential impacts associated with development occurring on the subject property in accordance with the proposed project. The project trip generation was determined using trip generation rates from the Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition) for daily, weekday AM (7:00-9:00am), and PM (4:00-6:00pm) peak hours. The project is anticipated to generate approximately 4,661 average daily trips as shown in the table below. The weekday AM peak hour trips generated for the project is estimated to be 350 trips. The weekday PM peak hour trips generated for the project is estimated to be 422 trips.

ITE CODE	Land Use	Units	ITE Vehicle Trip Generation Rates						
			Weekday	AM	PM	AM In	AM Out	PM In	PM Out
945	Convenient Store/Gas Station	Fuel Position	265.12	16.46	19.13	50%	50%	50%	50%
934	Fast Food Restaurant with Drive-Through	KSF ²	467.48	50.57	50.94	52%	48%	51%	49%
948	Automated Car Wash	Tunnels	77.5	0	50	0	0	50%	50%
ITE CODE	Land Use	Size	Trips						
945	Convenient Store/Gas Station	12	3181	198	230	99	99	115	115
934	Fast Food Restaurant with Drive-Through	3	1402	152	153	79	73	78	75
948	Automated Car Wash	1	78	0	39	0	0	20	19
Total Trips			4661	350	422	178	172	213	209

The analysis contained in the traffic impact study indicates that roadway improvements may be desirable to support the implementation of the project as well as to accommodate other traffic increases expected in the study area with implementation of the project. The proposed project will be required to implement the following improvements to City Standards:

- Eliminate on-street parking between the two existing driveways along SR 33 and along the project frontage on SR 33.
- The project frontage lane on West Jayne Avenue/SR 33 will be a designated right turn only to Juniper Ridge Boulevard.

Additionally, the project proposes to alter the existing street island located in the Juniper Ridge Boulevard right-of-way to allow for automobiles travelling north to access the site with a turn lane. Once these changes are implemented and the project is at full buildout, the traffic study determines that all intersections would operate at an acceptable level of service.

Drainage: The project has been conditioned to obtain approval of a grading plan from the Building Department.

Public Services: The project is located within City limits and will be served by the Coalinga Police Department and Coalinga Fire Department. The project was routed to the respective service departments, and no comments have been received to date.

Conditional Use Permit (Auto Service Station, Car Wash, Drive-Through)

The development proposes an automobile service station, ancillary car wash facility, and a building that will house a convenience store and quick-service restaurant with a drive-through. Pursuant to Section 9-2.302 (Land Use Regulations for Commercial and Mixed Use Districts), automobile service stations and ancillary car washing facilities are permitted with an approved Conditional Use Permit. Pursuant to Section 9-5.108 (Drive-through facilities), a conditional use permit is required for a drive-through lane, window, or other facility.

The Planning Commission shall only approve a Conditional Use Permit for an automobile service station, ancillary car wash facility, and a drive-through if it makes the required findings for a Conditional Use Permit and meets the following criteria:

Landscaping: At least ten (10) percent of the site shall be landscaped. All landscaped areas shall be permanently maintained in compliance with Section 9-4.204, Landscaping, and the following standard.

1. A landscaped planter with a minimum five-foot wide inside dimension, exclusive of curb, and a six-inch high curb shall be provided along the front and street property lines, except for vehicular circulation openings. Where the planter is adjacent to a sidewalk, no curb is required. A three-foot wide landscaping buffer shall be provided along all other property lines.
2. A 600-square-foot planter with a minimum dimension of twenty (20) feet shall be provided at the corner of intersecting streets unless a building is located at the corner.
3. Additional landscaping may be required where necessary to prevent visual impacts on adjacent properties.

A fifteen (15) foot wide landscaped planter is provided along West Jayne Avenue/SR33 and a twenty (20) foot wide landscaped planter is provided along Juniper Ridge Boulevard. The project will be conditioned to provide a landscape plan, however, the planters along the street frontages meet the 5-foot minimum dimension. An approximately 6,687 square foot landscape planter with a minimum dimension of 20-feet along Juniper Ridge Boulevard is provided at the northeast corner of the property. Therefore, the proposed project complies with the CMC requirements for landscaping.

Bay doors: On corner lots fronting two (2) or more streets with different classifications in the General Plan, bay doors shall face the street with the highest classification. The project does not propose any bay doors on site; therefore, the project complies with the CMC requirements for bay doors.

Pump islands: Pump islands shall be located a minimum of 15 feet from any property line to the nearest edge

of the pump island. The proposed project's pump island is approximately 60 feet from the property line fronting West Jayne Avenue/SR33, approximately 109 feet from the property line fronting Juniper Ridge Boulevard, approximately 142 feet from the south property line, and approximately 75 feet from the east property line. Therefore, the project complies with the CMC location requirements for pump islands.

Canopies and roof structures: Canopies and roof structures over a pump island, including associated signage, shall be designed as an integral design element of a building's architecture and architecturally compatible, including materials, color and design details, with surrounding structures. A canopy or roof structure over a pump island must be set back at least five (5) feet from any property line. The project's proposed pump island canopy structure, as shown in the plan set, provides for a compatible appearance to the project's three (3) other proposed structures, the car wash, solar canopy, and convenience store/drive-through building. The canopy structure is proposed to be yellow and red (Shell colors). The pump island canopy will be branded with the typical Shell company colors and design while the convenience store/drive-through building and car wash will provide a yellow stripe along the entire upper portion of the building façade. Therefore, the project complies with the CMC requirements for canopies and roof structures.

Washing facilities: Per the CMC, no building or structure for the washing of cars shall be located within thirty (30) feet of any public street or within 20 feet of any interior lot line of a residential use or a Residential district. The proposed car wash facility is located approximately 30 feet from Juniper Ridge Boulevard, which is the closest public street to the carwash. The proposed car wash facility is located approximately 127 feet from the southern property line which is shared with a residential zone district. The applicant estimates water usage for the car wash to use approximately 30-35 gallons of water per wash. The car wash facility recycles discharge water at a rate of 2.5 gpm in which the recycled water is pumped back into the main water holding tank to reuse on the next washing cycle. Therefore, the project, as proposed, complies with the CMC location requirement for car washing facilities.

Hours of operation: Per the CMC, automobile/vehicle washing facilities are limited to 7:00 a.m. to 10:00 p.m., seven (7) days a week. When adjacent to a Residential district, the hours of operation shall be 8:00 a.m. to 8:00 p.m., seven (7) days a week. The applicant's operational statement identifies the hours of operation as 4:00 a.m. to 12:00 p.m., however it is not specified if these are the proposed hours of operation for all uses on site. Regardless, the project will be conditioned to limit the car wash facility's hours from 8:00 a.m. to 8:00 p.m. because the site is located adjacent to a residential district.

Design and circulation: Per the CMC, a minimum space equivalent to three (3) parking spaces shall be provided outside of regular circulation aisles in advance of each sign board/ordering station and each service window. The lane or facility shall be designed so as not to create an impediment to on-site or off-site vehicular or pedestrian circulation or parking. The proposed project provides approximately 53 feet of space behind the sign board/ordering station which is equivalent to approximately three parking spaces. Therefore, the project complies with the CMC requirement related to design and circulation related to drive-throughs.

Required setbacks and screening: Drive-through lanes shall be set back a minimum of five (5) feet from any property line, a minimum of ten (10) feet from any residential property line, with landscaping provided in the required yard area. If adjacent to a residential lot, a six- to seven-foot tall solid masonry wall shall be provided, and lighting within 50 feet of the residential lot shall be mounted no higher than six (6) feet above the ground. The proposed drive-through lane is approximately 11 feet from the southern property that is shared with a residential zone district, and the project proposes a 6-foot tall solid masonry wall along the rear shared property line with a residential district. A lighting plan will be provided as part of the final construction drawings and has been incorporated as a condition of approval. The project complies with the CMC requirements related to setbacks and screening for drive-through facilities, however, the project has been conditioned to provide a lighting plan.

Environmental Considerations

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and has been determined to be categorically exempt (Class 32) pursuant to Section

15332 of the CEQA Guidelines regarding infill development.

- The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- The project site has no value, as habitat for endangered, rare or threatened species.
- Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

Based on the analysis contained above, none of the exceptions to Categorical Exemptions set forth in CEQA Guidelines, Section 15300.2 apply to this Project.

Public Notification

On February 27, 2025, public hearing notices were posted and mailed in accordance with state and local regulations. As of the writing of this report, no written or verbal communication has been presented to staff related to this project.

IV. FISCAL IMPACT:

None determined at this time.

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the Coalinga zoning code in the following respects:

Site Plan Review Findings:

- 1. All provisions of the Planning and Zoning Code are complied with;
2. The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
 - a. Facilities and improvements;
 - b. Vehicular ingress, egress and internal circulation;
 - c. Setbacks;
 - d. Height of buildings;
 - e. Location of services;
 - f. Fences and/or walls;
 - g. Landscaping.
3. Proposed lighting is so arranged as to direct the light away from adjoining properties;
4. Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
5. Proposed development has adequate fire and police protection;
6. Proposed development can be adequately served by city sewer and water;
7. Drainage from the property can be properly handled;
8. The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

Conditional Use Permit Findings:

1. *General Plan consistency.* Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;
2. *Neighborhood compatibility.* The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;
3. *Asset for the neighborhood.* The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

Conclusion

The appropriateness of the proposed project has been examined with respect to its consistency with the goals and policies of the Coalinga General Plan and the Coalinga Municipal Code; its compatibility with surrounding existing uses; and its avoidance or mitigation of potentially significant adverse environmental impacts. These factors have been evaluated as described above. Upon consideration of this evaluation, it can be concluded that Conditional Use Permit Application No. CUP24-02 is appropriate for the subject property.

ATTACHMENTS:

Description

- ☐ Resolution No 025P-003
- ☐ Application Documents

RESOLUTION 025P-003

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A SITE PLAN REVIEW, ENVIRONMENTAL REVIEW, AND CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF A NEW SERVICE STATION WITH AN ASSOCIATED CAR WASH FACILITY AND CONVENIENCE STORE LOCATED AT THE SOUTH CORNER OF NORTH FIFTH STREET AND ELM AVE/SR33/198

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review, Environmental Review, and Conditional Use Permit (CUP) for the construction of a new commercial service station with seven gas pumps, a new 4,995 sq. ft. commercial building with a convenience store and drive-through facility, and an associated carwash facility with on and off-site improvements located on the southwest corner of Jayne Avenue/SR33 and Juniper Ridge Boulevard; and,

WHEREAS, the proposed project requires approval of a site plan review, environmental review and conditional use permit, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on April 9, 2024; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code (Class 32) Section 15332 related to infill development, and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code including subsequent approvals; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on March 11, 2025; and

WHEREAS, the Planning Commission has made the following site plan findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
 - Facilities and improvements;
 - Vehicular ingress, egress and internal circulation;
 - Setbacks;
 - Height of buildings;
 - Location of services;
 - Fences and/or walls;
 - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;

- Drainage from the property can be properly handled;
- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

WHEREAS, the Planning Commission has confirmed the following conditional use permit findings approving the service station with the associated car wash facility, convenience store, and drive-through facility within the development:

- **General Plan Consistency.** Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;
- **Neighborhood Compatibility.** The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and
- **Asset for the Neighborhood.** The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the Site Plan Review Application, Environmental Review, Conditional Use Permit for application No. CUP 24-02 subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 11th Day of March 2025.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman/Vice Chairman

ATTEST:

City Clerk/Deputy City Clerk

Exhibit “A”
CONDITIONS OF APPROVAL
APPLICATION NO. CUP 24-02

The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

- COA-1. The site plan approval shall lapse and shall become void one (1) year following the date of approval by the Commission, unless, prior to the expiration of one (1) year, a building permit is issued by the Building Official and construction is commenced and diligently pursued toward the completion of the site or structures which were the subject of the site plan.
- COA-2. Minor revisions to the site plan after Commission approval may be reviewed and approved by the Interim City Manager. Those revisions determined to be major shall be referred to the Commission for review and approval.
- COA-3. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
- COA-4. The applicant, within fifteen (15) days of approval, shall provide in writing a letter/email agreeing to comply with all of the conditions of approval stated in the project resolution.
- COA-5. The applicant shall file with the Community Development Department a final site plan for review which includes all conditions of approval. This may be submitted simultaneously with the Building Permit package.
- COA-6. A survey shall be conducted to ensure the property boundaries are accurate at the time of construction commencement. Setbacks shall be verified by the Building Official prior to foundation.
- COA-7. All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or

successor property owners to comply with such conditions.

- COA-8. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-9. The applicant is responsible for payment of all City development impact fees including all other applicable entities such as but not limited to the School District, Parks District, and Fresno Council of Governments.
- COA-10. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.
- COA-11. On-site Construction Site, Grading, Utility, and Landscape & Irrigation plans shall be submitted to the City Engineer for review and approval.
- COA-12. The provisions of the San Joaquin Valley Air Pollution Control District Rule 8021 shall be complied with during construction. All permits shall be provided to the City Building Department at the time of Building Permit Issuance.
- COA-13. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- Weekdays from 7:00 a.m. to 6:00 p.m.;
 - Saturday from 8:00 a.m. to 5:00 p.m.;
 - Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.
- COA-14. The applicant shall comply with all ADA accessibility guidelines, including the following:
- Provide an ADA accessible path of travel from the ADA parking stalls to the building entrance(s).
 - All ADA handicap parking stalls shall be marked and signage provided in accordance with City Standards P-13, P-14, and P-15.
 - Provide an ADA accessible path of travel from the public street sidewalk to the building entrance.
- COA-15. The applicant must submit a lighting plan for the development project. Both the parking lot lighting and building-mounted lighting on the subject property must be evaluated for compliance with Planning and Zoning Code requirements. The lighting must be energy-efficient, and the exterior lighting plan will be reviewed by the Police Department before a building permit is issued to ensure adequate illumination and prevent light spillover. The applicant is encouraged to use the City of Coalinga Solar Street light standards A-22 through A-25 as the site lighting for the development project
- COA-16. All trash enclosures as identified on the site plan shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.

- COA-17. The applicant shall confirm with Public Works regarding the requirement for a backflow prevention device for both the landscape and domestic water service.
- COA-18. Owner/Contractor must comply with the Federal Clean Water Act, Section 402(p) and the Phase II Rule regulations under the National Pollutant Discharge Elimination System (NPDES). Since the site grading is one (1) acre, or more, the Owner/Contractor must file a Notice of Intent (NOI) with the State Water Control Board and submit a Storm Drain Pollution Prevention Plan (SWPPP) to the City of Coalinga, prior to obtaining a Grading Permit. The applicant shall use Best Management Practices to prevent or reduce the discharge of hazardous materials into the municipal storm drain to control runoff, spillage or leaks of non-storm water drainage from the gas station and car wash.
- COA-19. In the event that archaeological remains are encountered during grading, work shall be halted temporarily, and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.
- COA-20. Construction activities shall comply with applicable Municipal Code and Zoning Ordinance sections, including Chapter 4, Article 4, Performance Standards.
- COA-21. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Federal and State regulations.
- COA-22. If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA-23. The applicant shall comply with all the requirements of the Police Department and Fire Department and obtain all required local (Police, Fire, Finance), County, State, or Federal permits prior to the start of operations.
- COA-24. The applicant shall comply with all the requirements of Caltrans (per their comment letter) and must obtain all necessary permits to work within the state highway.
- COA-25. The applicant shall limit the hours of the car wash to 8:00 a.m. to 8:00 p.m. The applicant shall obtain and maintain all necessary state, regional, and local permits as it relates to the vehicle washing station.
- COA-26. The car wash entrance doors shall remain shut during operation to mitigate any noise impacts to the adjacent residential district. The applicant shall ensure any noise impacts are mitigated to acceptable levels pursuant to Coalinga Municipal Code Section 9-4.405.
- COA-27. The applicant shall submit a sign permit application for approval of all on-site signage plans prior to construction. The sign permit application may be submitted concurrently with the building permit application.

- COA-28. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.
- COA-29. The applicant shall obtain a common access and drainage covenant for shared use of the private driveway and storm drain system constructed for the adjacent hotel.
- COA-30. The applicant is proposing to remove the existing median island to provide an opening for a northbound turning access onto Juniper Ridge Blvd. Construct AC pavement patch where median is to be removed. Provide 3" of AC paving over 12" of Class 2 aggregate base over 6" of compacted native soil to match existing pavement.
- COA-31. The applicant shall remove and replace any existing broken or cracked sidewalk along the Juniper Ridge Blvd Street project frontage and install new commercial sidewalk per City Standard P-4.
- COA-32. The applicant shall use the existing 30' wide commercial driveway approach on Juniper Ridge Blvd for access to the project. Street type approach not permitted.
- COA-33. The applicant shall construct a 6' high CMU wall per City Std. A-3 along the entire south property line of the from Juniper Ridge Blvd right-of-way to the existing CMW wall of the adjoining hotel.
- COA-34. The applicant shall comply with the latest edition of the California Building Code (CBC) Chapter 11B ADA accessibility guidelines.
- COA-35. The applicant shall comply with all of the requirements of the Building Official.
- COA-36. The applicant shall contact Coalinga's Private Solid Waste Carrier of the location of the proposed on-site trash enclosure for solid waste disposal and pick up. The trash enclosure shall be designed and installed in conformance with City of Coalinga Standards A-4 & A-4A and approved by the City Engineer.
- COA-37. Public Water and Natural Gas currently exist along the Public Utility Easement (PUE) fronting the Jayne Avenue frontage and are available to serve this development. Proposed city utility connections shall be per City Standards and will require approval by the City Engineer. Any surface improvements within the PUE may be subject for removal to allow access for any required maintenance work by the City of Coalinga. Replacement of the surface improvements are the responsibility and at the expense of the applicant.
- COA-38. Public Sewer currently exists along the Public Utility Easement (PUE) at the rear of the project and is available to serve this development. Proposed city sewer connections shall be per City Standards and will require approval by the City Engineer. Any surface improvements within the PUE may be subject to removal to allow access for any required maintenance work by the City of Coalinga. Replacement of the surface improvements are the responsibility the applicant.
- COA-39. On-site Construction Site, Grading, Utility, Erosion Control and landscape & Irrigation

plans shall be submitted to the City Engineer for review and approval

- COA-40. All on-site parking lots shall be designed and installed in conformance with City of Coalinga Standard P-16.
- COA-41. The applicant shall direct all on-site parking lot storm water drainage runoff to the existing 18" storm drain system constructed for the adjoining hotel. Direct drainage of storm water runoff over public sidewalks not permitted.
- COA-42. No water from the proposed project shall flow into the State right-of-way without approval from the District Hydraulic Engineer.
- COA-43. The applicant shall obtain approval from Caltrans for any work on Jayne Avenue (SR33). The construction shall be in accordance with Caltrans Standards and permitting.

California Department of Transportation

DISTRICT 6 OFFICE
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616
(559) 908-7064 | FAX (559) 488-4195 | TTY 711
www.dot.ca.gov



May 21, 2024

FRE-33-14.038

Application for STP – Site Plan Review

CUP 24-02

<https://ld-igr-gts.dot.ca.gov/district/6/report/32709>

SENT VIA EMAIL

Sean Brewer, Assistant City Manager
City of Coalinga
155 W. Duran
Coalinga, CA 93210

Dear Mx. Sean Brewer:

Thank you for the opportunity to review Conditional Use Permit (CUP) 24-02 which proposes to construct a 5,080 square-foot convenience store/ gas station (6 pumps with 12 fueling positions) with a fast-food restaurant with drive-thru and a 1,091 square-foot carwash. The project is located on the southwest corner of State Route (SR) 33 (Jayne Avenue) and Juniper Ridge Boulevard in the City of Coalinga.

Caltrans provides the following comments consistent with the State's smart mobility goals that support a vibrant economy and sustainable communities:

1. Per the *Local Development Review (LDR) Safety Review Practitioners Guidance* published February 2024, consistent with Director's Policy 36 (DP-36) and Deputy Directive 25 (DD-25) and in support of the Caltrans Strategic Highway Safety Plan (SHSP), **a safety review is required for this project.**
 - a. According to the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, the project with a proposed use as a Convenience Store/Gas Station (Land Use Code 945) with 12 vehicle fueling positions including a fast-food restaurant with a drive-thru could potentially generate 221 PM Peak Hour trips.
 - b. **Please have the project applicant complete the Crash Data on State Highway System Request Form and return it to our office to begin obtaining the crash data to conduct the safety analysis.** The form is included in this letter as Attachment "A".

- c. Please refer to the Safety Analysis Process contained in Appendix D of the *LDR Safety Review Practitioner's Guidance*, which is attached as Attachment "B".
2. According to Caltrans' Transportation Concept Report (TCR) for SR 33, the ultimate concept for this segment is a 4-lane conventional highway with an ultimate right-of-way (ROW) width of 110 feet (55 feet from the centerline). Caltrans ROW maps shows this segment of SR 33 existing at 60 feet with approximately 30 feet from the centerline on the east side of SR 33.
3. Therefore, an irrevocable offer of dedication (IOD) of approximately 25 feet is needed to accommodate the ultimate 4-lane configuration for SR 33.
4. Caltrans no longer holds IODs in fee title. Therefore, Caltrans is now requesting the IOD be taken in fee by the County and not the State.
5. The IOD dedication area shall be kept open, clear, and free from buildings, structures, and utilities of any kind. **The grantor understands that any improvements, upon, over, and across said real property within the IOD dedication shall be removed at the grantor's expense when the State accepts the title.**
6. As a point of information, any work completed in the State's right-of-way will require a Caltrans encroachment permit. An encroachment permit must be obtained for all proposed activities for placement of encroachments within, under or over the State highway rights-of-way. Activity and work planned in the State right-of-way shall be performed to State standards and specifications, at no cost to the State. Engineering plans, calculations, specifications, and reports (documents) shall be stamped and signed by a licensed Engineer or Architect. Engineering documents for encroachment permit activity and work in the State right-of-way may be submitted using English Units. The Permit Department and the Environmental Planning Branch will review and approve the activity and work in the State right-of-way before an encroachment permit is issued. The Streets and Highways Code Section 670 provides Caltrans discretionary approval authority for projects that encroach on the State Highway System. Encroachment permits will be issued in accordance with Streets and Highway Codes, Section 671.5, "Time Limitations." Encroachment permits do not run with the land. A change of ownership requires a new permit application. Only the legal property owner or his/her authorized agent can pursue obtaining an encroachment permit.
7. Prior to an encroachment permit application submittal, the project proponent is required to schedule a "Pre-Submittal" meeting with District 6 Encroachment Permit Office. To schedule this meeting, please call the Caltrans Encroachment Permit Office - District 6: 1352 W. Olive, Fresno, CA 93778, **at (559) 383-5047 or (559) 383-5235.**

Please review the permit application - required document checklist at:

<https://forms.dot.ca.gov/v2Forms/servlet/FormRenderer?frmid=TR0402&distpath=MAOTO&brapath=PERM>.

Please also review the permit application - processing checklist at:

<https://dot.ca.gov/programs/traffic-operations/ep>, and the **Applicant's Check List to determine appropriate review process (TR-0416) (Rev 01/23)**

If you have any other questions, please call or email Christopher Xiong at (559) 908-7064 or Christopher.Xiong@dot.ca.gov.

Sincerely,



DAVID PADILLA, Branch Chief
Transportation Planning – North

Attachment "A"

Crash Data on State Highway System Request Form

Attachment "B"

Safety Analysis Process

Attachment A



Crash Data on State Highway System Request Form

Please complete this form to request crash data on the State Highway System (SHS):

1. Internal requesters shall submit this form to the respective District Traffic Safety office.
2. External requesters WORKING with Caltrans on SHS projects shall submit this form to Caltrans Engineers assigned to the projects or to the appropriate Caltrans District Public Information Office.
3. External requesters NOT WORKING on SHS projects may submit this form with a CPRA request. It is highly recommended to provide the necessary information on the form for Caltrans to process the request promptly. CPRA link:

[https://caltrans.mycusthelp.com/WEBAPP/_rs/\(S\(h2yg4jgtjvs3zld55xux1qsd\)\)/support/home.aspx](https://caltrans.mycusthelp.com/WEBAPP/_rs/(S(h2yg4jgtjvs3zld55xux1qsd))/support/home.aspx)

Per Caltrans' records retention policy for Traffic Safety and Traffic Accident Surveillance and Analysis System, crash data is only available for the most recent 10 complete calendar years plus the current year.

Requester Information:

Date Requested:		
Name	Title	Division/Office:
Address	Phone	Email

Crash Data Requested: Use the space below to describe your request and the basic data element desired. Data will be provided in PDF format only.

Request Date Range: Start Date: End Date: 1 year 3 years 5 years 10 years or Other (specify):	Crash Count (# of crashes) Crash Rate
Severity Level: <u>All</u> or: Fatal Serious Injury Minor Injury Possible Injury PDO	
How data will be used (include any federal or state program): DSDD or Other (specify): Project EA# (if available):	
Location Description (*please include District, County, Route and Postmile info or lat/long): Location Tool Link: https://postmile.dot.ca.gov/PMQT/PostmileQueryTool.html?	

*If a request is for multiple locations, a separate listing can be attached to the form if needed.

If you have questions using this form, please contact crash.requests@dot.ca.gov

Attachment B



SAFETY ANALYSIS PROCESS



Step 1: Data Collection

Crash Data:

3-5 years of most recent data including study areas crashes, injuries, and fatalities. This data set should include crash rates.

Volume:

Current multimodal volume on the study corridor. This should include crossing counts for bicycle, pedestrians, and a mode split breakdown.

Monitoring Reports:

This should check if the study segment **or intersections have been flagged in safety monitoring reports**. If so, note what issues and recommendations have been identified



Step 2: Existing Conditions

Crash Rates:



Number of Crashes per Million Vehicle Miles Traveled



Number of Injuries per Million Vehicle Miles Traveled



Number of Fatalities per Million Vehicle Miles Traveled

Current Plans:

Identify any improvements from the Local Roadway Safety Plan (LRSP) or other relevant plans. Check for alternate corridor concepts in the TCR.

Known Deficiencies:

Identify facilities safety needs as noted in reference plans.



Step 3: Project Assessment

Volume:

Note expected changes in multimodal volume that would be caused by the project.

Mode Split:

Identify changes in mode split that the project is expected to make.

Physical Changes:

Identify proposed modifications to the State Facility.



Step 4: Impact Assessment

Crash Rates:

Will overall rates of injury/fatal crashes increase with proposed project? Safety reviewers can reference the TASAS rate group ADT

Modal or Vehicle Conflicts:

Will new traffic flows introduce new, or exacerbate existing conflicts between vehicles, pedestrians, and bicycles? Will the project create new unprotected vehicle movement across the State Facility?

Standards:

Are proposed changes inclusive of appropriate safety enhancements and consistent with current design standards?



Step 5: Mitigations

Site Layout and Access:

Are there alternative access and layout opportunities that could reduce a conflict and collision potential for vehicles, bicycles, and pedestrians?

Off-Site Improvements:

Are additional off-site improvements that would help site-related traffic get to and from the site more safely for all road users?

California Department of Transportation

DISTRICT 6 OFFICE
1352 WEST OLIVE AVENUE | P.O. BOX 12616 | FRESNO, CA 93778-2616
(559) 908-7064 | FAX (559) 488-4195 | TTY 711
www.dot.ca.gov



June 6, 2024

FRE-33-14.038

Application for STP – Site Plan Review

CUP 24-02

<https://ld-igr-gts.dot.ca.gov/district/6/report/32709>

SENT VIA EMAIL

Sean Brewer, Assistant City Manager
City of Coalinga
155 W. Duran
Coalinga, CA 93210

Dear Mx. Sean Brewer:

This letter is an addendum to our original comment letter for CUP 24-02 dated May 21, 2024.

In further discussions with our internal units, we have the following additional comments on the project.

1. An initial safety analysis was conducted by Caltrans internally and found that the actual collision rates are below the average for similar facilities statewide. The study segments or intersections have not been flagged in safety monitoring reports.
2. **A focused traffic study is needed and shall include a safety analysis of the access points on the two existing shared driveways (north of the hotel) and the intersection at SR 33 (Jayne Avenue) and Juniper Ridge Boulevard for existing conditions and existing plus project conditions to identify safety improvements to mitigate the proposed project's potential impacts.** This analysis should include conducting traffic counts and an operational analysis at the driveways and the intersection.
 - a. Please have the project proponents complete and submit the Crash Data on the State Highway System Request Form to obtain the safety data to begin conducting the safety review, which is included as Attachment "A".
 - b. Please refer to the Safety Review Process, included as Attachment "B".

3. **It is recommended to restrict on-street parking between the two existing driveways along SR 33 and also along the project frontage on SR 33.**
4. **It is recommended to install an eastbound right-turn lane and bike lane at the intersection of SR 33 and Juniper Ridge Boulevard.**
5. As a point of information, there is currently a Caltrans SR 33 Rehabilitation project that will restripe SR 33 directly north of this development.
6. As noted in the May 21, 2024, comment letter and according to the Caltrans Transportation Concept Report, the ultimate concept for SR 33 will be a four-lane conventional highway with 110 feet right-of-way. **It is requested that any permanent onsite improvements should be outside the ultimate right-of-way width.**

If you have any other questions, please call or email Christopher Xiong at (559) 908-7064 or Christopher.Xiong@dot.ca.gov.

Sincerely,



DAVID PADILLA, Branch Chief
Transportation Planning – North

Attachment "A"
Crash Data on State Highway System Request Form

Attachment "B"
Safety Analysis Process

Attachment A



Crash Data on State Highway System Request Form

Please complete this form to request crash data on the State Highway System (SHS):

1. Internal requesters shall submit this form to the respective District Traffic Safety office.
2. External requesters WORKING with Caltrans on SHS projects shall submit this form to Caltrans Engineers assigned to the projects or to the appropriate Caltrans District Public Information Office.
3. External requesters NOT WORKING on SHS projects may submit this form with a CPRA request. It is highly recommended to provide the necessary information on the form for Caltrans to process the request promptly. CPRA link:

[https://caltrans.mycusthelp.com/WEBAPP/_rs/\(S\(h2yg4jgtjvs3zld55xux1qsd\)\)/support/home.aspx](https://caltrans.mycusthelp.com/WEBAPP/_rs/(S(h2yg4jgtjvs3zld55xux1qsd))/support/home.aspx)

Per Caltrans' records retention policy for Traffic Safety and Traffic Accident Surveillance and Analysis System, crash data is only available for the most recent 10 complete calendar years plus the current year.

Requester Information:

Date Requested:		
Name	Title	Division/Office:
Address	Phone	Email

Crash Data Requested: Use the space below to describe your request and the basic data element desired. Data will be provided in PDF format only.

Request Date Range: Start Date: End Date: 1 year 3 years 5 years 10 years or Other (specify):	Crash Count (# of crashes) Crash Rate
Severity Level: <u>All</u> or: Fatal Serious Injury Minor Injury Possible Injury PDO	
How data will be used (include any federal or state program): DSDD or Other (specify): Project EA# (if available):	
Location Description (*please include District, County, Route and Postmile info or lat/long): Location Tool Link: https://postmile.dot.ca.gov/PMQT/PostmileQueryTool.html?	

*If a request is for multiple locations, a separate listing can be attached to the form if needed.

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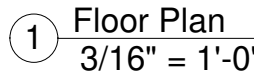
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Off-Site Improvements:

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Scale As indicated

BLDG INC.

CONTRACTOR TO CONFIRM ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING OF ROOF.
(2.08% MIN. SLOPE)

ROOF DRAIN FLASHING PER MANUFACTURER INSTRUCTIONS

R903.4.1 SECONDARY (EMERGENCY OVERFLOW) DRAINS OR SCUPPERS
OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF, OR OVERFLOW SCUPPERS HAVING THREE TIMES THE SIZE OF THE ROOF DRAINS AND HAVING A MINIMUM OPENING HEIGHT OF 4 INCHES SHALL BE INSTALLED IN THE ADJACENT PARAPET WALLS WITH THE INLET FLOW LOCATED 2 INCHES ABOVE THE LOW POINT OF THE ROOF SERVED. THE INSTALLATION AND SIZING OF OVERFLOW DRAINS, LEADERS AND CONDUCTORS SHALL COMPLY WITH THE CALIFORNIA PLUMBING CODE.

ROOF COVERING MATERIALS SHALL BE DELIVERED IN PACKAGES BEARING THE MANUFACTURER'S IDENTIFYING MARKS AND APPROVED TESTING AGENCY LABELS REQUIRED. BULK SHIPMENTS OF MATERIALS SHALL BE ACCOMPANIED BY THE SAME INFORMATION ISSUED IN THE FORM OF A CERTIFICATE OR ON A BILL OF LADING BY THE MANUFACTURER. CBC R904.4 PRODUCT IDENTIFICATION

UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19-INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES. STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES. END LAPS SHALL BE 4 INCHES AND SHALL BE OFFSET BY 6 FEET. CBC TABLE R905.1.1(2)

FLASHING AND COUNTERFLASHING SHALL BE MADE WITH SHEET METAL. VALLEY FLASHING SHALL BE NOT LESS THAN 15 INCHES (381 MM) WIDE. VALLEY AND FLASHING METAL SHALL BE A MINIMUM UNCOATED THICKNESS OF 0.0179-INCH (0.5 MM) ZINC COATED G90. CHIMNEYS, STUCCO OR BRICK WALLS SHALL HAVE NOT LESS THAN TWO PLYS OF FELT FOR A CAP FLASHING CONSISTING OF A 4-INCH-WIDE (102 MM) STRIP OF FELT SET IN PLASTIC CEMENT AND EXTENDING 1 INCH (25 MM) ABOVE THE FIRST FELT AND A TOP COATING OF PLASTIC CEMENT. THE FELT SHALL EXTEND 2 INCHES (51 MM) OVER THE BASE FLASHING. CBC R905.6.6 FLASHING

THERMOPLASTIC SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE). R905.13.1

[illegible]

② Roof
3/16" = 1'-0"

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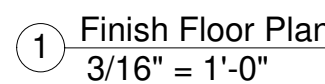
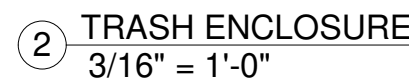
ROOF PLAN

Project number	1028
Date	12/01/2024
Drawn by	Author
Checked by	Checker

A2

Scale $3/16" = 1'-0"$

BLDG INC.



<u>FINISH SCHEDULE.</u>				
AREA	FLOOR	FLOOR BASE	WALLS	CEILINGS
OFFICE	SMOOTH CONC.	Vinyl- 6" x 6" Sanitary 3/8" Cove Base	WASHABLE GLOSS OR SEMI-GLOSS PAINT. OVER BRICK	GLOSS OR SEMI-GLOSS WASHABLE PAINT- WHt
WOMENS ROOM	SMOOTH CONCRETE W/ CLEAR SURFACE FINISH	Tile- 6" x 6" Sanitary 3/8" Cove Base Slim Foot	WATER RESISTANT SMOOTH GYP. BD. W/ SMOOTH WASHABLE GLOSS OR SEMI-GLOSS PAINT FINISH FOR MENS AND WOMENS ROOM	GLOSS OR SEMI-GLOSS WASHABLE PAINT- WHt
MENS ROOM				

1. CONCRETE FLOOR SEALANT SHALL BE GREASE, WATER, AND ACID RESISTANT, USDA AND/ OR FDA APPROVED.
IT SHALL BE TWO-PART WATER BASED EPOXY CONCRETE SEALER. CONCRETE FLOORS WITH CRACKS, OPEN SEAMS, PITTED, CHIPPED, OR ROUGH SURFACE AREAS, SHALL BE REPAIRED PRIOR TO INSTALLATION OF THE SEALER.
2. PAINT USED ON WALLS AND CEILINGS OF ALL KITCHEN, FOOD PREPARATION WORK, AND STORAGE AREAS SHALL BE A GLOSS OR SEMI-GLOSS ENAMEL.
3. FINISH MATERIAL SHALL BE A LIGHT COLOR WITH REFLECTANCE VALUE OF 70% OR GREATER.
4. ALL COVERED FLOOR BASE SHALL EXTEND 4-6 INCHES UP WALLS, COUNTERS, CURBS AND TOEICKS WITH A MIN. 3/8" RADIUS COVE. THE BASE COVE SHALL BE AN INTEGRAL UNIT WITH THE FLOOR.
5. ALL INTERIOR WALL AND CEILING FINISHES IN THE "M" OCCUPANCY SHALL HAVE A CLASS "C" FLAME SPREAD RATING OF 76-200, PER CBC 2022 TABLE 803.9
6. WALL AND CEILING SURFACES ABOVE THE BEVERAGE COUNTER, RESTROOMS AND UTILITY/ STORAGE ROOM SHALL BE SMOOTH & WASHABLE WITHOUT ANY TEXTURE OR STIPPLING AND BE LIGHT COLORED. PAINT SHALL BE SEMI-GLOSS OR GLOSS ENAMEL W/ 70% MIN. REFLECTANCE VALUE.

CONTRACTOR:
ROBBIE'S CONSTRUCTION LLC
 Robert Arthurton
 Lic# 874900
 191 Adobe Ct.
 Coalinga, CA 93210
 559-493-8907

OWNER:

[illegible]

SHELL

FINISH FLOOR PLAN

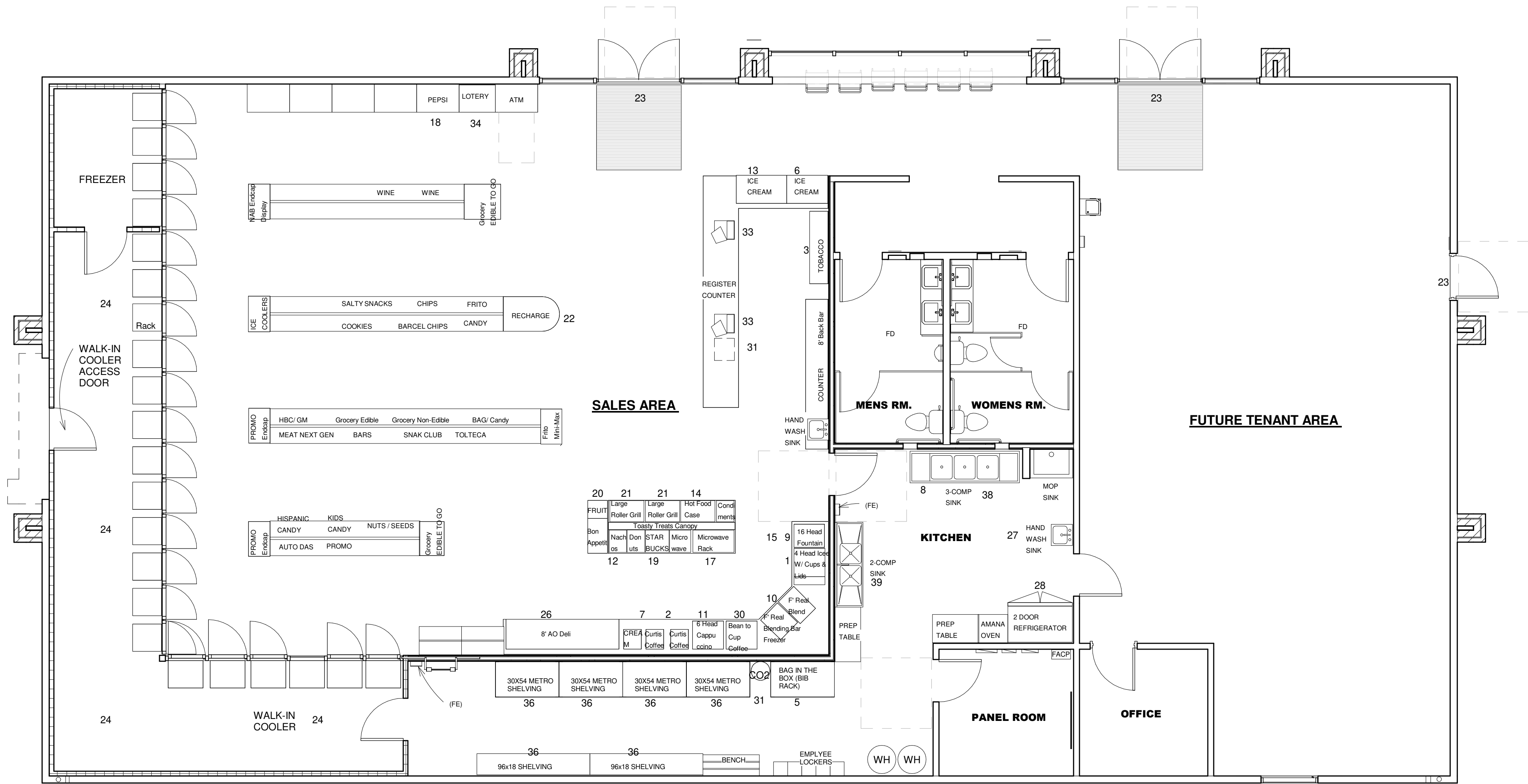
Project number	1028
Date	12/01/2024
Drawn by	Author
Checked by	Checker

A3.1

Scale $3/16" = 1'-0"$

BLDG INC.

1. ATM AND POINT OF SALE EQUIPMENT TO BE USED BY THE PUBLIC SHALL BE ACCESSIBLE PER CBC SEC. 11B-308
2. PROVIDE SANITARY LEVERS ON ALL SELF-SERVE BEVERAGE AND/OR ICE DISPENSERS.
3. LOCKERS SHALL BE INSTALLED 6" ABOVE FINISH FLOOR WITH LEGS. ANCHOR LOCKERS TO WALL & PROVIDE SOLID BLOCKING AS NECESSARY.
4. ALL EQUIPMENT CAPABLE OF TIPPING OVER TO BE SECURED TO WALL.
5. PROVIDE A MINIMUM 6-INCH LEGS, CASTERS, TABLETOP MOUNTING, OR A MIN. 4-INCH HIGH INTEGRITY COVERED BASE ON ALL EQUIPMENT. IF CASTERS ARE USED, THE EQUIPMENT MUST BE READILY MOVABLE, AND SECURED BY OTHERS TO THE SATISFACTORY OF LOCAL FIRE DEPARTMENT STANDARDS. IF TABLE-TOP MOUNTED, THE EQUIPMENT MUST BE ON LEGS, READILY MOVABLE, OR SEALED IN AN APPROVED MANNER.
6. ALL CONDUITS, PLUMBING, ELECTRICAL, GAS AND SIMILAR LINES SHALL BE INSTALLED WITHIN WALLS, CEILINGS, CABINETS AND FLOORS TO THE GREATEST EXTENT POSSIBLE. EXPOSED LINES SHALL BE INSTALLED AT LEAST 1/2" FROM WALL & CEILING AND AT LEAST 6" ABOVE FLOORS USING STAND-OFF TYPE BRACKETS. ALL EXPOSED CONDUITS, PLUMBING LINES AND OTHER LINES SHALL HAVE A SMOOTH AND EASILY CLEANABLE SURFACE. ALL LINES AND WIRES TO BE ENCASED IN APPROVED RUNWAYS, CHASES, RIGID CONDUIT, OR APPROVED ENCLOSURES. WHERE PIPE LINES OR CONDUIT ENTER A WALL, CEILING OR FLOOR, THE OPENING AROUND THE LINE SHALL BE TIGHTLY SEALED WITH AN APPROVED MATERIAL.
7. ALL EQUIPMENT SHALL BE NSF APPROVED, OR APPROVED EQUAL.
8. COAT HOOKS SHALL BE INSTALLED @ 6"-8" AFF (MOUNT AT LEAST (1) ONE ACCESSIBLE COAT HOOK @ 40" -48" AFF.
9. ALL INTERIOR GRAPHICS AND MENU BOARD BY OTHERS.
10. ALL OPERABLE PARTS OF ALL CONTROLS, DISPENSERS, EQUIPMENT AND ATM MACHINE IN SALES AREA TO BE ACCESSIBLE TO GENERAL PUBLIC AND WITHIN REACH PER CBC SEC. 11B-308 AND ADAAG 308
11. TRANSACTION ACCESS & WRITING SHELF MANUFACTURE BY QUIKSERV CORP. MODEL #PR-1515 MOUNTED @ +34" AFF.



① EQUIPMENT PLAN
3/16" = 1'-0"

	QNTY	ITEM DESCRIPTION	MANUFACTURER	MODEL #	VOLTAGE	PHASE	AMPS /W	FILTERED WATER	WATER PRESSURE	FLOOR SINK	WEIGHT	DIMENSIONS	NOTES
1)		4 BARREL ICEE	ICEE COMPANY	774	230/60HZ	1	30	YES	70-72	YES	464LBS	34.5" X 26" X 32.5"	
2)	3	CURTIS TWIN COFFEE BREWERS	CURTIS	G4 (GEMX10A1000)	220/60HZ	1	23/34	YES	20/90	YES	85LBS	31.87 X 18.17 X 22.69"	
3)		8 FOOT TOBACCO BACKBAR MERCHANDISER	IMAGE WORKS	CHV801-A								98.5" WIDE	LADDERBACK 6" SPLIT SET (BACKLIT)
4)	2	AMANA OVEN	AMANA COMMERC	ACE 14V	209/240 HZ	1	16/3200				114LBS	18.5" X 19.25" X 26.5"	2700 WATT CONV./1400 WATT MICROWAVE
5)		BAG IN THE BOX RACKS	MANITOWOC	BAC N BOX RACK								39" X 39" X 20"	FOOR STAND ONE UNIT 39" WIDE
6)	2	ICE CREAM BUNKER (NESTLE)	AHT	RIO SD-575	115/60 HZ	1	6		YES			33.5" X 66.25" X 27.25"	NEED ELECTRICAL AND FLOOR SINK
7)	2	CREAMISER	M400		120	1	2.9				58LBS	31"X16"X21"	USED FOR ICED COFFEE CREAMER
8)	1	WATER FILTER HIGH FLOW CSR TRIPLE MC2	EVERPURE	EV9328-05	120/60 HZ	1	2	YES	10-125 PSI		49LBS	25.59" X30"X6.75"	WALL MOUNTED FILTRATION SYS. NEED 110V FOR LOW PRESSURE ALARM
9)	1	16 HEAD LACER FOUNTAIN MACHINE	LANCER	FS30	115/60 HZ	1	7	YES	50 PSI YES		620 LBS	40.25"X30" X 30.5"	COUNTER TOP / DRAIN / FLOOR SINK/ 620 LBS GROSS WEIGHT
10)	1	F'REAL BLENDER- DOUBLE	F'REAL	DBL BLENDING	120/60HZ	1	6.5				390 LBS	56"X58.75"X32.2"	COUNTER TOP/ SEVERAL DIFFERENT MODELS
11)	1	CURTIS CAPPUCCINO G3 PRIMO	CURTIS	PCGT6	120/60HZ	1	15	YES	20-90 PSI	YES	160 LBS	34.75"X21"X23.63"	COUNTER TOP/ FIXED
12)	2	GEHL'S NACHO CHEESE WARMER	GEHL'S	GEHL'S 2.0	110/60HZ	1	10				50LBS		CHEESE HEATING UNIT
13)	2	HELADOS MEXICO ICE CREAM NOVELTY FREEZER		SD-516	115/60 HZ	1	4					36.25"X59.5"X27.5"	FLOOR MODEL / 6 BASKETS
14)	2	VENDO SANDEN (HOT FOOD CASE)	VENDO	3' HFD FULL SERV	115/60HZ				1 6				154LBS 2736" X35.3" X 19.7"
15)	1	MANITOWOC ICE MAKER	MANITOWOC	INDIGO SERIES 600	208/60HZ	1	15	YES	YES	YES		65.530"X34"	FLOOR FREE STANDING, NEED WATER LINE AND DRAIN
16)	1	MANITOWOC REMOTE CONDENSER	MANITOWOC	IJC-0895	208/60HZ	1	10.6/7.8					34"X24.5"X28"	ROOF MOUNT MAX LINE 100" MAX RISE 35'
17)	3	MICROWAVE	MIDEA	1025F1A	20/60HZ	1	15				32LBS	16"X23.75"X19.35"	1500 watt
18)	1	PEPSI FRONT END MERCHANDISER	QBD	PC8	115/60HZ	1	3					74.24"X19.625"X24.65"	FREE STANDING
19)	1	STARBUCKS MERCHANDISER											
20)	1	REFRIGERATED CONDIMENTS	APW WYOTT	RTR-8	120/ 60HZ	1	4					8.5" X 27.5" X 25.81"	COUNTER TOP REFRIGERATED UNIT
21)	2	ROLLER GRILL	APW WYOTT	HR(S)-50S	208/240V	1	6.2					11.75"X34.75"X18.65"D	1260 WATT WITH SNEEZE GUARD
22)	1	"RECHARGE THE DAY" OPEN AIR MERCHANDISER											
23)	3	AIR CUTRAIN	BERNER	CLC08-1072AB-G	120/60HZ	1	1						MOUNT 7'-0" ABOVE FINISH FLOOR. (36" OR 73" WIDE). 8'-0" AFF MAX
24)	1	REFRIGERATION (WALK IN COOLER)											
25)	1	REMOTE CONDENSER FOR WALK-IN COOLER											
26)	1	OPEN AIR DELI CASE	TURBO AIR	TOM-96EB-N	220/60HZ	1	18					81"X93"WX30"D	FREE STANDING
27)	1	1-COMP SINK & PRE-RINSE W/ FAUCET	BK RESOURCE	BKS-1-1620-12-18									NEEDS HOT AN COLD WATER
28)	2	BACKROOM FREEZER	TRUE	T-49F-HC 54"	115/60HZ	1	9.6				480LB	78.38" X 54.13" X 29.5"	DOOR ACCESS
29)	1	REMOTE CONDENSER FOR RECHARGE UNIT											ROOF MOUNT
30)	4	BEAN TO CUP COFFEE BREWER											
31)	1	TIDEL ACCEPTOR SAFE	TIDEL	SERIES 4	120/ 60 HZ	1					216LBS	30.75" X 19.75" X 24"	
32)	1	CO2 TANK	CHART INDUSTRIES	CARBO-MIZER #450									SECURE TO WALL
33)	2	PASSPORT POS											
34)		LOTTERY TERMINAL											
35)	1	IN-COUNTER HAND SINK	ADVANCE TABCO	D1-1-10SP									HOT AND COLD WATER
36)		WIRE SHELVING	TSS										6

BLDG INC.

DESIGNER:

Faraj Fayad
4312 S. Chestnut ave,
Fresno, CA 93725
559-369-0128
Fresnobuilds@gmail.com

CONTRACTOR:

ROBBIE'S CONSTRUCTION LLC
Robert Artherton
Lic# 874900
191 Adobe Ct.
Coalinga, CA 93210
559-493-8907

OWNER:

[illegible]

SHELL

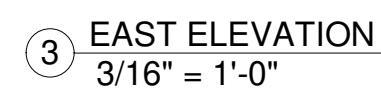
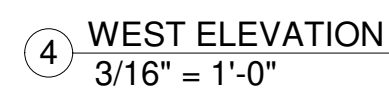
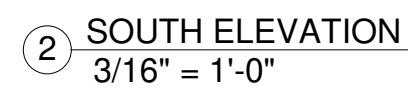
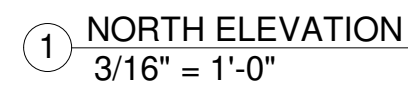
EQUIPMENT PLAN

Project number	1028
Date	12/01/2024
Drawn by	Author
Checked by	Checker

A3.2

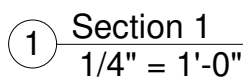
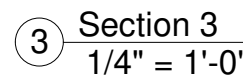
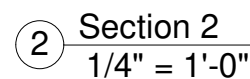
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ELASTOMERIC COATINF SYSTEM SHALL BE USED ON ALL EXTERIOR CEMENT PLASTER.



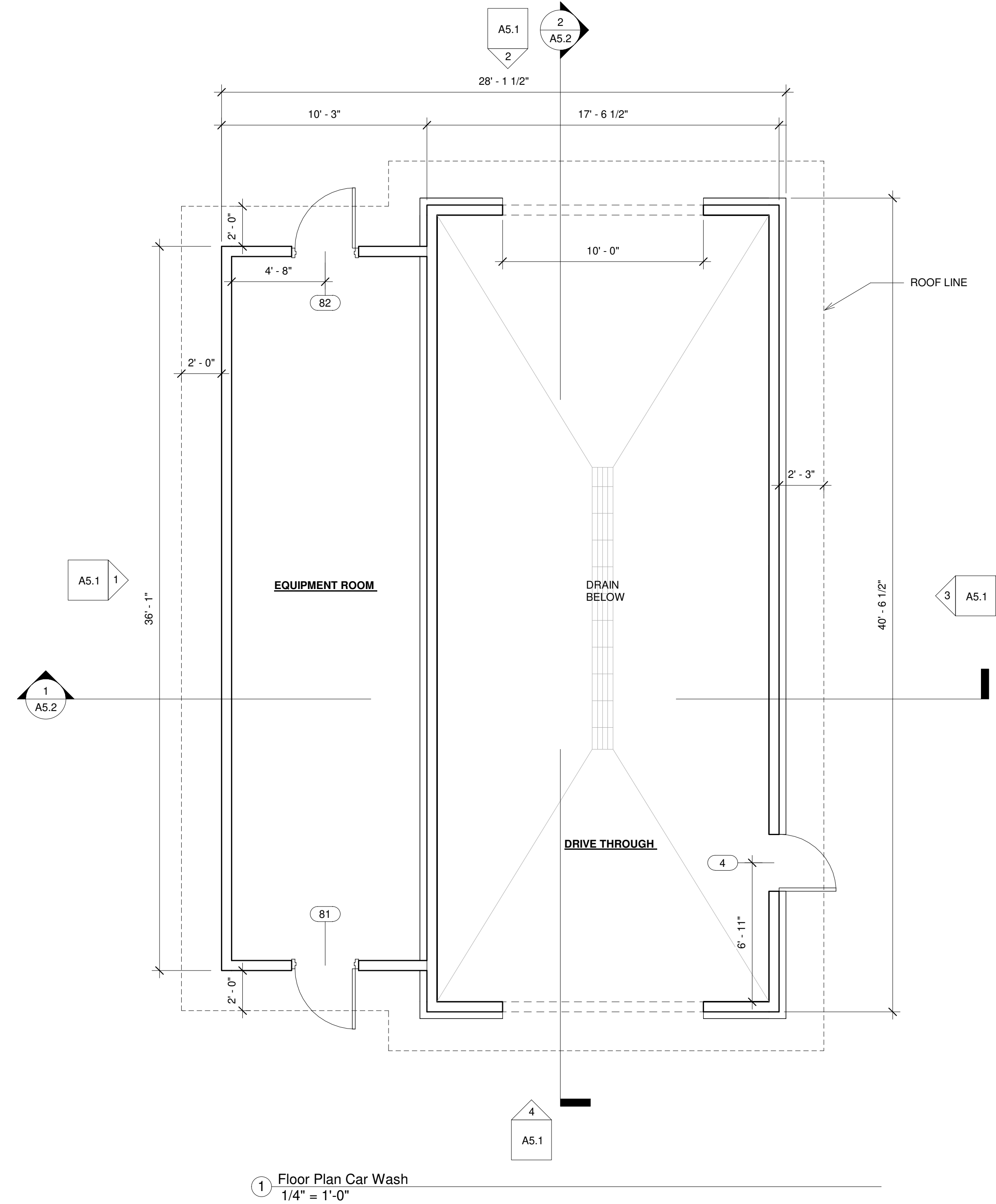
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BLDG INC.



Scale $1/4" = 1'-0"$

BLDG INC.



BLDG INC.

DESIGNER:

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Fresno, CA 93725
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Fresnobuilds@gmail.com

CONTRACTOR:

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OWNER:

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SHELL

FLOOR PLAN
CARWASH

Project number	1028
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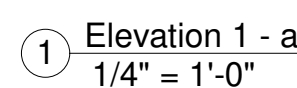
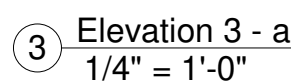
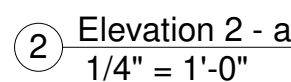
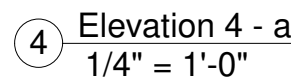
Date	12/01/2024
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Drawn by	Author
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Checked by	Checker
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A5.0

Scale	1/4" = 1'-0"
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Faraj Fayad
4312 S. Chestnut ave,
Fresno, CA 93725
559-369-0128
Fresnobuilds@gmail.com

ROBBIE'S CONSTRUCTION LLC
Robert Artherton
Lic# 874900
191 Adobe Ct.
Coalinga, CA 93210
559-493-8907

OWNER:

[illegible]

SHELL

CARWASH ELEVATIONS

Project number	1028
Date	12/01/2024
Drawn by	Author
Checked by	Checker

A5.1

Scale	1/4" = 1'-0"
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CITY OF COALINGA
CONDITIONAL USE PERMIT APPLICATION

Application Number _____

Date _____

APPLICANT INFORMATION:

Applicant/Property Owner: _____

Mailing Address: _____

Telephone Number: _____ Assessor Parcel Number: _____

Property Location: _____

Legal Description (lot, block, Tracts, etc.) _____

PROPERTY USE INFORMATION:

Current Zoning: _____

Existing Number of Lots: _____ Proposed Number of Lots: _____ Area of Parcel: _____

Proposed Use: _____

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures). _____



(If additional space is required attach separate sheet of paper)

Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

 _____ Signature of APPLICANT/AGENT	 _____ Signature of OWNER
_____ Name of APPLICANT/AGENT (Please Print)	_____ Name of OWNER (Please Print)
_____ Mailing Address	_____ Mailing Address
_____ Telephone Number	_____ Telephone Number

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

Application Number _____

Date _____

APPLICANT INFORMATION:

Applicant/Property Owner Name: _____

Mailing Address: _____

Telephone Number: _____ Assessors Parcel Number: _____

Property Location (Street Address): _____

Property is located: _____ side of _____ Street, between _____ Street and _____ Street

PROJECT INFORMATION:

Current Zoning: _____ Proposed Zoning _____

Existing Floor Plan: _____ Proposed Floor Area: _____

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) _____

Is project: ☐ new construction or ☐ remodeled.

Residential

Number of dwelling units _____ Total of area (in square feet) _____

Total lot coverage of buildings or structures (in square feet) _____ Percentage of lot coverage _____ %

Number of off street parking spaces provided. Covered _____ Open _____

Total square feet of sign area _____ Total square feet devoted to recreation and open space _____ sq ft.

Give total percentage of lot devoted to recreation and open space _____ sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area _____

Describe type and material to be used on exterior walls and doors _____

Commercial

Gross floor area or building when complete _____ sq ft.

Describe sign (free standing, affixed to wall etc.) _____

Number of parking spaces provided _____ Number of customers expected per day _____

Hours and days of operation _____

Describe any outside storage of equipment or supplies: _____

Industrial

Describe any outside storage of equipment or supplies: _____

Maximum number of employees in any daily shift: _____

Number of delivery or shipping trucks per day: _____

Number of delivery or shipping trucks per day when construction is complete: _____

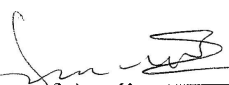
Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.



Signature of Applicant

Date



Signature of Record Property Owner

Date

CITY OF COALINGA
ENVIRONMENTAL REVIEW APPLICATION

Application Number

Date

APPLICANT INFORMATION:

Applicant: _____

Mailing Address: _____

Telephone Number: _____ Assessor Parcel Number: _____

Property Owner's Name: _____

Property Owner's Address: _____

Contact Person: _____

PROPERTY USE INFORMATION:

Size of Parcel (Square Feet/Acres) _____

Describe Existing Use of Property: _____

Square Feet of Existing Building Area _____ Square Feet of Existing Paved Area _____

Current Zoning _____ Proposed Zoning _____

Describe in General Terms Existing Uses to the:

North: _____

South: _____

East: _____

West: _____

Are there any man-made or natural water channels on property? _____

If there are, where are they located _____

Number of existing trees on the site _____ Number of trees to be moved (Age & Type) _____

Residential

a. Number of Dwelling Units: _____ b. Unit Size(s) _____

c. Range of Sales Prices and/or Rents (projected): _____

d. Type of Household Size Expected: _____

Commercial

a. Orientation:

Neighborhood: _____

City or Regional: _____

b. Square Footage of Sales Area: _____

c. Range of Sales Prices and/or Rents (Projected): _____

d. Type of Household Size Expected: _____

e. Number of Employees: Full Time _____ Part Time _____ Seasonal _____


f. Days and Hours of Operation _____

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.



Signature of APPLICANT/AGENT



Signature of OWNER

Name of APPLICANT/AGENT (Please Print)

Name of OWNER (Please Print)

Mailing Address

Mailing Address

Telephone Number

Telephone Number



City of Coalinga
Community Development Department

APPLICATION FOR ENVIRONMENTAL EVALUATION

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: _____

PROPERTY OWNER'S ADDRESS: _____

TELEPHONE: _____ EMAIL: _____

APPLICANT'S NAME, COMPANY/ORGANIZATION: _____

APPLICANT'S ADDRESS: _____

TELEPHONE: _____ EMAIL: _____

CONTACT FOR PROJECT INFORMATION: _____

ADDRESS: _____

TELEPHONE: _____ EMAIL: _____

2. Location and Classification

STREET ADDRESS OF PROJECT: _____

CROSS STREETS: _____

ASSESSOR'S PARCEL NUMBER(S): _____

LOT DIMENSIONS: _____ LOT AREA (SQ FT): _____

ZONING DESIGNATION: _____ GENERAL PLAN DESIGNATION: _____

3. Project Description (please check all that apply)

- ☐ Change of Use
- ☐ Change of Hours
- ☐ New Construction
- ☐ Alterations
- ☐ Demolition
- ☐ Other (please clarify): _____

PRESENT OR PREVIOUS USE: _____

PROPOSED USE: _____

BUILDING APPLICATION PERMIT #: _____ DATE FILED: _____

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Project Features				
Dwelling Units				
Parking Spaces				
Loading Spaces				
Bicycle Spaces				
Number of Buildings				
Height of Buildings				
Number of Stories				
Gross Square Footage (GSF)				
Residential				
Retail				
Office				
Industrial				
Parking				
Other _____				
Other _____				
Other _____				
Total GSF				

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

All Projects

Land Use

What is the current use of the site? _____

Please list all previous land uses of the site for the last 10 years. _____

Neighborhood Contact

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, Neighborhood Associations, Business Associations, or Community Groups in the project area.

Site Characteristics

Providing the following information regarding the environmental setting with your application is one of the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested in order to conduct the environmental review of your project.

Are there any structures or buildings on the project site? ☐ Yes ☐ No

If yes, how many? _____

What is the construction date of each structure? _____

Current use of existing structure(s)? _____

Proposed use of existing structure(s)? _____

Are there any trees on the project site? ☐ Yes ☐ No

Are any trees proposed to be removed? ☐ Yes ☐ No

Does the site contain any natural drainage ways? ☐ Yes ☐ No

Does the site contain any wetland areas or areas where water pools during the rainy season? ☐ Yes ☐ No

What land uses surround the project site? (i.e., single-family residential, commercial, etc.)

Please describe: _____

Are you proposing any new fencing or screening? ☐ Yes ☐ No

If yes, please describe the location, the height, and the materials (i.e., wood, masonry, etc.) of the fencing. _____

Is there parking on-site? ☐ Yes ☐ No

If yes, how many spaces are existing (for the entire property) and how many are proposed on-site for the project?

Existing _____

Proposed _____

Is any parking proposed off-site? ☐ Yes ☐ No

If yes, where will it be located and how many spaces? _____

Are you proposing new signs with the project? ☐ Yes ☐ No

If yes, please describe the number and type. _____

Are there any easements crossing the site? ☐ Yes ☐ No

Are there any trash/recycling enclosures on-site? ☐ Yes ☐ No

If yes, what is the size/height/materials of the enclosure(s) and where are they located?

What is the total number of cubic yards allocated for recycling? _____

Building Setback from Property Lines		
	Existing (feet/inches)	Proposed (feet/inches)
Front		
Rear		
Streetside		
Interior Side		

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other properties, please write "N/A."

1st Address: _____ 2nd Address: _____

Setback: _____ Setback: _____

Exterior Materials

Existing Exterior Building Materials: _____

Existing Roof Materials: _____

Existing Exterior Building Colors: _____

Proposed Exterior Building Materials: _____

Proposed Roof Materials: _____

Proposed Exterior Building Materials: _____

Residential Projects

Fill in this section if your project has residential units. Complete both residential and non-residential sections if you are submitting a mixed-use project. Provide information below for the proposed project unless the question specifically requests information on the existing conditions of the property.

Total Number of Lots: _____

Net Acreage of Site: _____

Total Dwelling Units: _____

Density/Net Acre: _____

of Single-Family Units: _____

of Duplex/Half-Plex Units: _____

of Multi-Family/Apartment Units: _____

of Condominium Units: _____

Structure Size

Please identify the size of all existing structures to be retained (identify separately).

Residence

Gross Square Footage: _____

Garage

Gross Square Footage: _____

Other

Gross Square Footage: _____

Size of new structure(s) or building addition(s):

Gross Square Footage: _____

Total Square Footage: _____

Building Height

Building height means the vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the plate line, where the roof meets the wall.

Existing Building Height and # of Floors (from ground to the plateline): _____

Existing Building Height and # of Floors (from ground to the top of the roof): _____

Proposed Building Height and # of Floors (from ground to the plateline): _____

Proposed Building Height and # of Floors (from ground to the top of the roof): _____

Lot Coverage

Total Building Coverage Area* (proposed new and existing to be retained) (sq. ft.): _____

Project Site Lot Area (sq. ft.): _____

Total Lot Coverage Percentage: _____

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)

* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Non-Residential Projects

Fill in this section if your project has a non-residential component. Complete both residential and non-residential sections if you are submitting a mixed-use project.

Hours of operation of the proposed use: _____

If your project includes fixed seats, how many are there? _____

Building Size

Total Building Square Footage On-Site (gross sq. ft.) _____

Breakdown of Square Footage – Please Mark All That Apply		
	Existing	Proposed
Warehouse Area		
Office Area		
Storage Area		
Restaurant/Bar Area		
Sales Area		
Medical Office Area		
Assembly Area		
Theater Area		
Structured Parking		
Other Area*		
*Describe use type of "Other" areas.		

Building Height

Existing Building Height and # of Floors: _____

Proposed Building Height and # of Floors: _____

Lot Coverage

Total Existing and Proposed Building Coverage Area* (sq. ft.): _____

Project Site Lot Area (sq. ft.): _____

Total Lot Coverage Percentage: _____

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)

* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Environmental Evaluation Application Submittal Checklist

Application Materials	Provided	Not Applicable
Two (2) originals of this application signed by owner or agent, with all blanks filled in.		
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.		
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically.		
Photos of the project site and its immediate vicinity, with viewpoints labeled.		
Check payable to Coalinga Community Development Department.		
Letter of authorization for agent, if applicable.		
Available technical studies.		

For Department Use Only

Application Received by Community Development Department:

By:  _____

Date: _____



Staff Report- Chairman and Planning Commission

Subject: Planning Commission Adopt Resolution No. 025P-002 Approving, Subject to Conditions of Approval, a Sign Permit and Variance for the Construction of Two (2) New Freestanding Monument Directional Signs for the Coalinga Regional Medical Center Located on the North Side of Phelps Avenue, East of Gregory Way at 1191 Phelps Avenue (APN 070-060-67ST).

Meeting Date Tuesday, March 11, 2025

Project Location: 1191 Phelps Ave., Coalinga, Ca 93210

Applicant: Coalinga Regional Medical Center

Owner: Gurpreet Singh

Prepared By: Sean Brewer, Interim City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 025P-002 approving, subject to conditions of approval, a sign permit and variance for the construction of two (2) new freestanding monument directional signs for the Coalinga Regional Medical Center located on the north side of Phelps Avenue, east of Gregory Way at 1191 Phelps Avenue (APN 070-060-67ST).

II. BACKGROUND:

On October 29, 2024, the City of Coalinga received an application for Sign Permit and Variance, submitted by the applicant, Coalinga Regional Medical Center, LLC., to construct two (2) new freestanding monument signs located at 1191 Phelps Avenue, Coalinga, CA 93210. The two (2) new signs will be utilized as directional signs to assist patients and visitors with wayfinding to and within the hospital campus. The variance is requested because the proposed signage does not meet certain Coalinga Municipal Code (CMC) standards for signage, specifically related to the height and number of proposed signage. CMC Section 9-4.509(f) – Specific Standards for Monument and Panel Signs establishes regulations to ensure the orderly display of signs as a city-wide information system, consistent with State and federal law. A sign permit is required for all new signage. In the case of this application, The proposed monument signs would exceed the maximum number of monument signs allowed per site by one (1) signs and would exceed the maximum allowable height requirement by 1’-10”. Therefore, a variance is requested. Once the applications were deemed complete, staff reviewed the proposal for compliance with the CMC. This report incorporates staff’s analysis of the proposal.

III. PROPOSAL AND ANALYSIS:

Coalinga Regional Medical Center, LLC. proposes the construction of two (2) new freestanding monument directional signs for the Coalinga Regional Medical Center located on the north side of Phelps Avenue, east of Gregory Way at 1191 Phelps Avenue (APN 070-060-67ST). The proposed freestanding sign would be approximately 8'-4" tall and 6'-8" wide with each sign sitting on one (1)-foot-tall concrete brick stands. Each signage area would be approximately 55.56 square feet.

Land Use Compliance

The General Plan designation for the parcel is (PF) Public Facilities with a zoning designation for (PF) Public Facilities.

The (PF) Public Facilities designation is designed to ensure the provision of services and facilities needed to accommodate planned population densities, employment intensities, and traffic regulation. More specifically, the PF designation is designed to provide areas for needed public and institutional facilities, including, but not limited to City, County and other government agency properties including post offices, the Civic Center, public schools, public playgrounds and fire stations. Public utility rights-of-way are also included.

Goal LU1: Preservation of the City's small town character and neighborhood quality and long-term economic vitality of the community.

Policy LU1-2: Retain and expand diversified business opportunities that are compatible with the environment, community values and community vision of the City.

The proposed project consists of two new monument signs that demarcate certain locations within the hospital campus. The new signage does not hinder the City's small-town character, neighborhood quality, or long-term economic vitality, and instead assists the City's residents with wayfinding at the hospital campus while allowing the City to retain a strong economic opportunity in the hospital.

Surrounding Land Use Setting:

Direction	Zoning
South	Residential Single-Family (separated by Phelps Ave)
West	Public Facilities
East	Planned Residential Single-Family
North	Planned Residential Single-Family

Variance

According to CMC Article 7 – Variances and Minor Exceptions, a variance shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria listed below. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record.

Applications for variances shall be reviewed administratively in accordance with these findings.

1. There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property privileges enjoyed by other property of the same classification in the same zoning district;
2. Such special circumstances were not by the owner or applicants;
3. The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the Zoning Ordinance.

Section 9-4.503 – Design Principles for All Signs

Legibility: The CMC requires the proportion of the elements of the sign's message, including logos, letters,

icons and other graphic images, to be selected based on the anticipated distance and travel speed of the viewer. The colors chosen for the sign text and graphics shall have sufficient contrast with the sign background in order to be easily read during both day and night hours. The proposed signage provides large lettering for maximum visibility for cars that drive by the hospital.

Finish: The CMC requires signs to have finished edges with a clean, smooth, consistent surface, and lettering shall be of complementary size, proportion, and font. The proposed signage provides large lettering that compliments the size of the overall sign. Additionally, the style and character of the signage is typical of hospital centers around the area and compliments the signage on the interior of the site.

Visibility: The CMC requires signs to be conspicuous and readily distinguishable from its surroundings. The proposed signage is clearly visible from its surroundings and the public road.

Address: The CMC requires the address of the business to be incorporated into a sign where appropriate, however, the site is proposed to be a wayfinding sign for the interior buildings on site. The hospital address is posted elsewhere; therefore, the sign does not need to post the address.

Section 9-4.509(f) – Specific Standards for Monument and Panel Signs

Maximum number of signs: The CMC allows a maximum of one (1) monument sign or panel sign per site.

The project proposes two (2) monument signs on one (1) site and therefore, a variance is requested to exceed this CMC requirement by one (1) sign.

Maximum sign area per sign: The CMC allows a maximum sign area per sign of 60 square feet. The project proposes a maximum signage area of approximately 55.56 square feet and therefore, the project as proposed does not exceed and thereby meets this CMC requirement.

Height: The CMC allows a maximum of six (6) feet and six (6) inches measured from the curb for both monument and panel signs. In addition, panel signs showing business names on a property with multiple businesses shall be a maximum of 12 feet measured from the curb. The project proposes a maximum height of 8'-4" for both signs and therefore, a variance is requested to exceed this CMC requirement by one (1) foot and 10 inches.

Setbacks: The CMC requires a minimum setback of five (5) feet from the property line for monument signs. Based on aerial footage, the proposed signage would be set back approximately 10 feet from the property line. Regardless, the project has been conditioned to comply with this requirement.

Landscaping: According to the CMC, landscaping is highly encouraged for panel signs and is required for monument signs. All monument signs with surrounding landscaping at the base shall require automatic irrigation equivalent to two (2) times the area of the sign copy. The project has been conditioned to comply with this requirement.

Environmental Considerations

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and has been determined to be categorically exempt (Class 1) pursuant to Section 15301 of the CEQA Guidelines regarding existing facilities.

The proposed project involves negligible or no expansion of the existing on-site facilities.

None of the exceptions to Categorical Exemptions set forth in the CEQA Guidelines, Section 15300.2 apply to the project. Furthermore, the proposed project is not expected to have a significant effect on the environment. A categorical exemption, as noted above, has been prepared for the project and the area is not environmentally sensitive.

Public Notification

On February 27, 2025, public hearing notices were posted and mailed in accordance with state and local regulations. As of the writing of this report, no written or verbal communication has been presented to staff related to this project.

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the CMC in the following respects:

Variance Findings:

A variance shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record. Applications for variances shall be reviewed administratively in accordance with these findings.

1. There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property privileges enjoyed by other property of the same classification in the same zoning district;

The request to exceed the maximum allowable height by 1'-10" and the request to exceed the number of allowable monument signs by one (1) sign is necessary to provide maximum visibility of the proposed signage. Strict application of the CMC would deprive the hospital of providing necessary directional signage.

2. Such special circumstances were not by the owner or applicants;

The increase in height and number of signs is not a special circumstance created by the owner or applicant. The hospital campus has two (2) entrances, and one (1) sign would be placed at each entrance. The height increase would increase visibility and wayfinding around the hospital campus. The signage would benefit the surrounding properties by providing a more efficient site that is intended to get patients and visitors to their destination faster.

3. The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

The proposed signage is not intended to advertise a business such as typical sign applications. Rather, the signage is intended to assist visitors and patients to the hospital in wayfinding and getting to their destination in a faster manner. This is a unique case in which the directional signs, which are typically exempt from sign permits, are located on one (1) sign. The proposed signage is merely to point people in the right direction.

ATTACHMENTS:

Description

- ☐ Resolution No 025P-002
- ☐ Application Documents

RESOLUTION 025P-002

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A SIGN PERMIT AND VARIANCE FOR THE CONSTRUCTION OF TWO FREESTANDING MONUMENT DIRECTIONAL SIGNS FOR THE COALINGA REGIONAL MEDICAL CENTER LOCATED ON THE NORTH SIDE OF PHELPS AVENUE, EAST OF GREGORY WAY (APN 070-060-67ST)

WHEREAS, the City of Coalinga Community Development Department received an application for a Sign Permit and Variance for the construction of two freestanding monument directional signs for the Coalinga Regional Medical Center located on the north side of Phelps Avenue, east of Gregory Way; and,

WHEREAS, the proposed project requires approval of a sign permit and variance, in accordance with Title 9, Chapter 4 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on October 24, 2024; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code (Class 1) Section 15301 related to existing facilities, and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code including subsequent approvals; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on March 11, 2025; and

WHEREAS, the Planning Commission has made the following variance findings based on the development proposal:

- There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property privileges enjoyed by other property of the same classification in the same zoning district; and
- Such special circumstances were not by the owner or applicants; and
- The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the Sign Permit Application and Variance Application for application No. SP 24-04 subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 11th Day of March 2025.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman/Vice Chairman

ATTEST:

City Clerk/Deputy City Clerk

Exhibit “A”
CONDITIONS OF APPROVAL
APPLICATION NO. SP 24-04

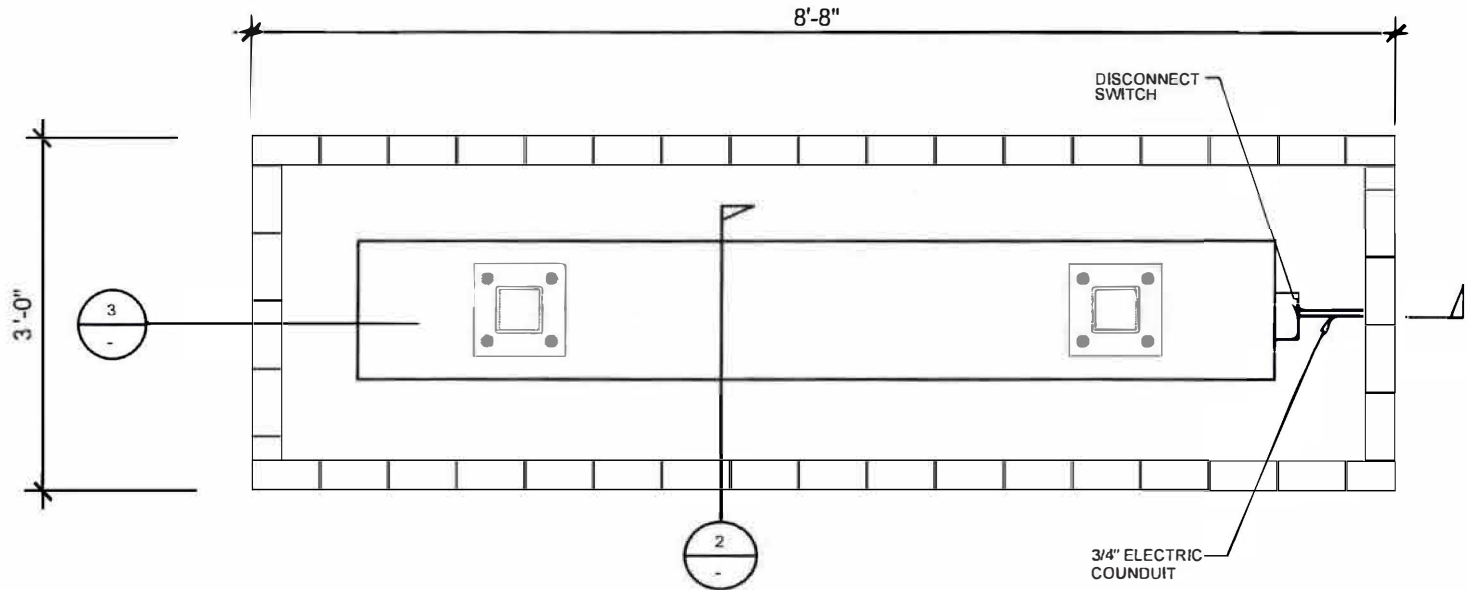
The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

- COA-1. The signs shall be set back from the front property line a minimum of five (5) feet.
- COA-2. The base of each sign shall be landscaped with greenery that includes automatic irrigation equivalent to two (2) times the area of the sign canopy.
- COA-3. The sign permit and variance approval shall lapse and shall become void one (1) year following the date of approval by the Commission, unless, prior to the expiration of one (1) year, a building permit is issued by the Building Official and construction is commenced and diligently pursued toward the completion of the structures which were the subject of the sign permit. Approval of the sign permit and variance may be extended for an additional period of one (1) year upon a written application to the Community Development Department before the expiration of the first approval. Further extensions would require approval by the Planning Commission.
- COA-4. Minor revisions to the signage after Commission approval may be reviewed and approved by the City Manager. Those revisions determined to be major shall be referred to the Commission for review and approval.
- COA-5. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
- COA-6. The applicant, within fifteen (15) days of approval, shall provide in writing a letter/email agreeing to comply with all of the conditions of approval stated in the project resolution.
- COA-7. The applicant shall file with the Community Development Department a final site plan for review which includes all conditions of approval. This may be submitted simultaneously with the Building Permit package.

- COA-8. All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA-9. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-10. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- Weekdays from 7:00 a.m. to 6:00 p.m.;
 - Saturday from 8:00 a.m. to 5:00 p.m.;
 - Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.
- COA-11. The applicant shall comply with all ADA accessibility guidelines, including the following:
- Provide an ADA accessible path of travel from the ADA parking stalls to the building entrance(s); this includes providing a delineated path of travel from the eastern parking area to the western office building.
 - All ADA handicap parking stalls shall be marked and signage provided in accordance with City Standard P-13, P-14 and P-15.
 - Provide an ADA accessible path of travel from the public street sidewalk to the building entrance.
- COA-12. Construction activities shall comply with applicable Municipal Code and Zoning Ordinance sections, including Chapter 4, Article 4, Performance Standards.
- COA-13. If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.

COALINGA REGIONAL MEDICAL CENTER

1191 PHELPS AVENUE
COALINGA, CA 93210



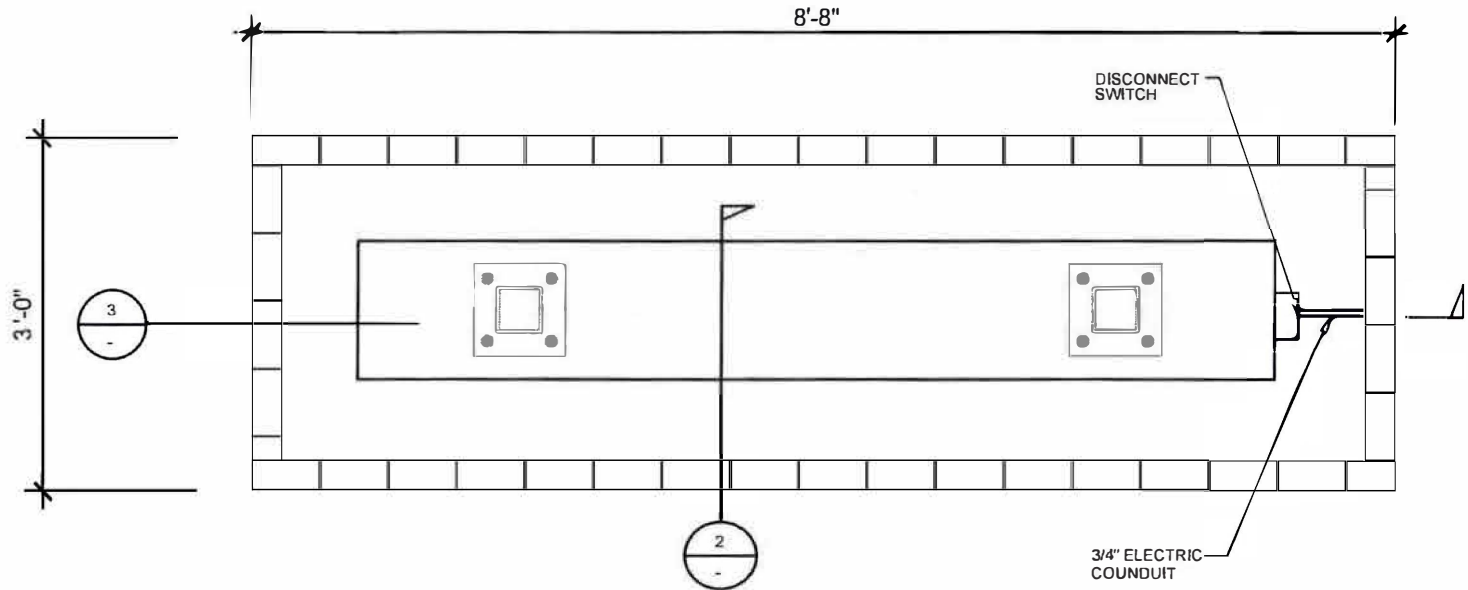
1

SIGNAGE PLAN

SCALE: 3/4"=1'-0"

COALINGA REGIONAL MEDICAL CENTER

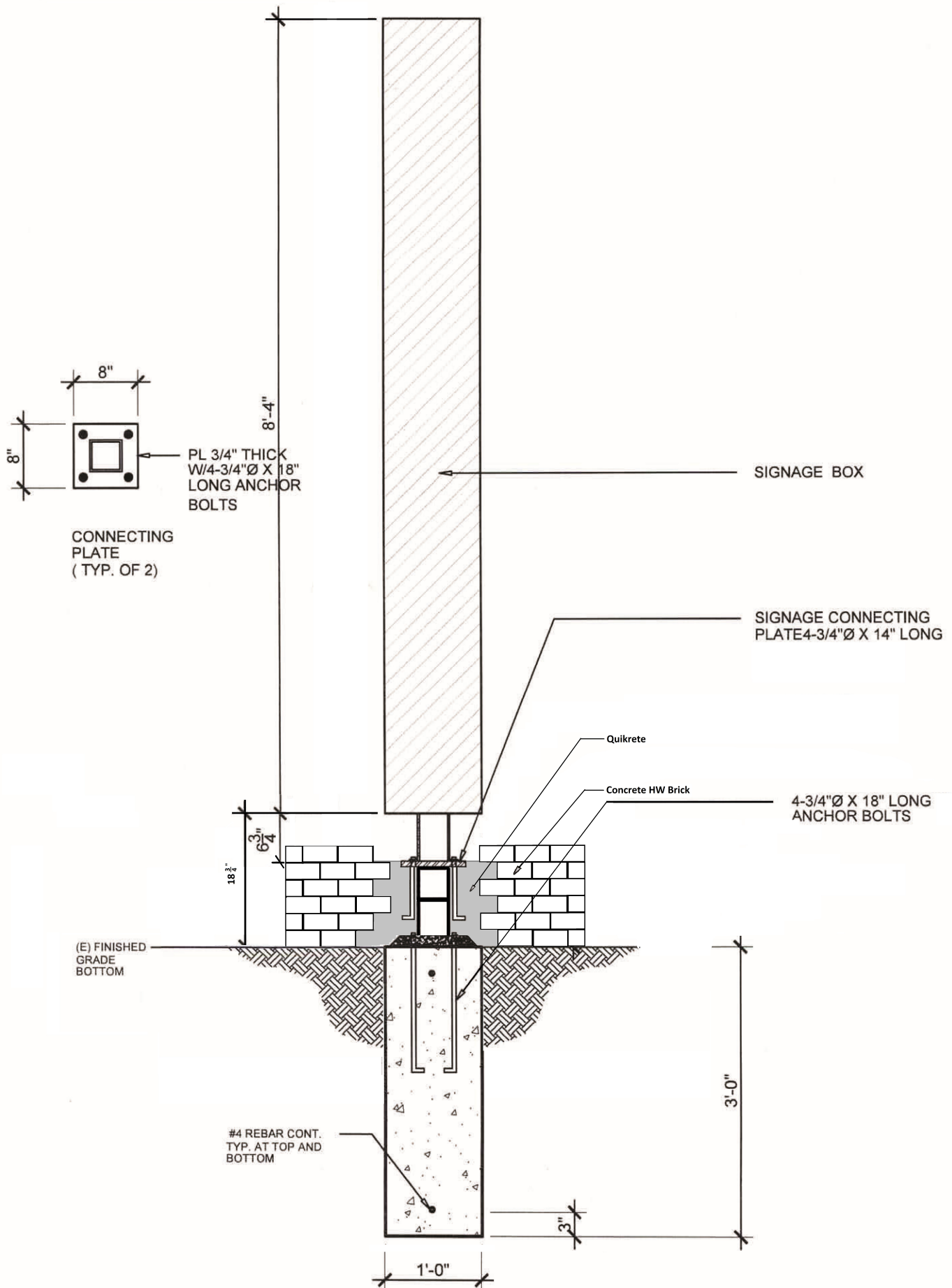
1191 PHELPS AVENUE
COALINGA, CA 93210

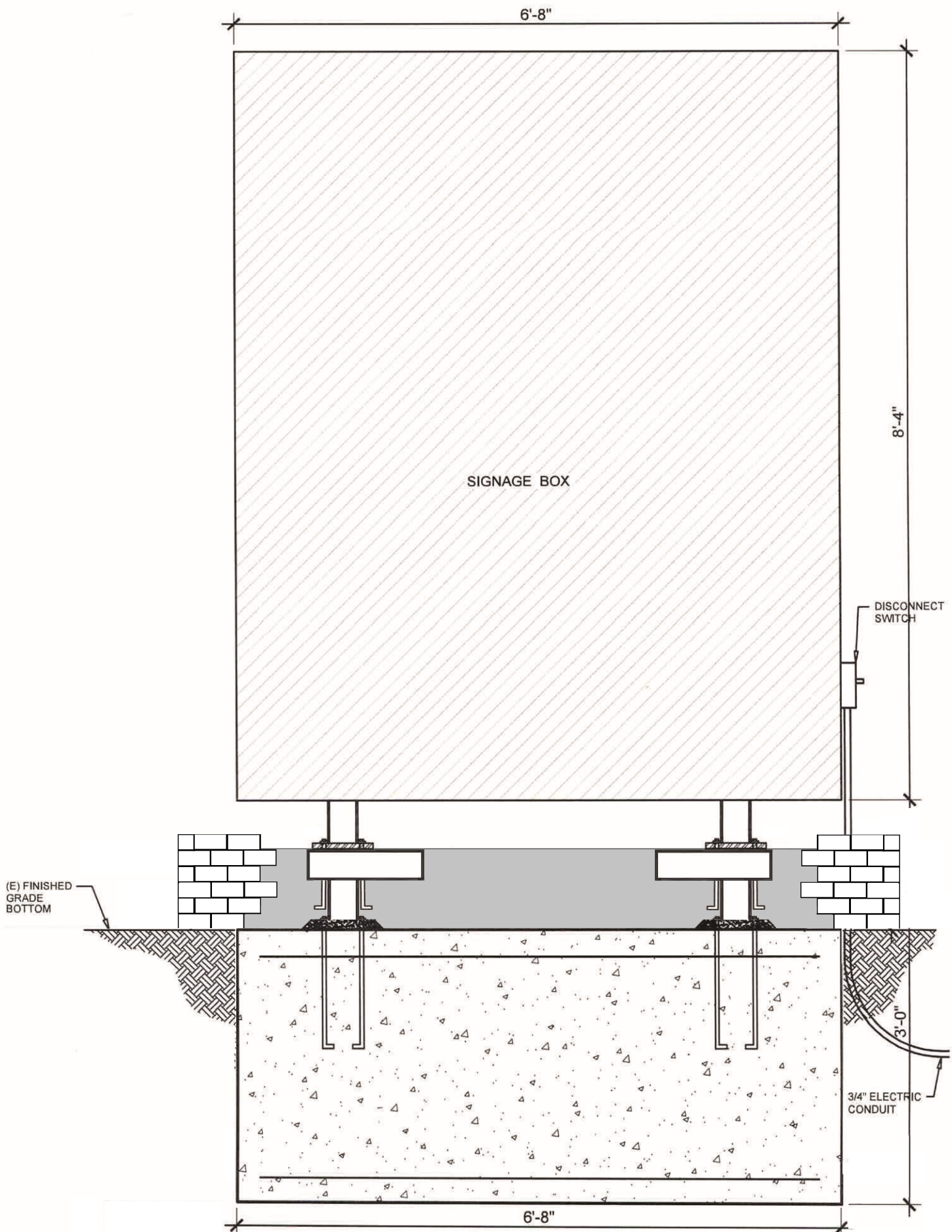


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SIGNAGE PLAN

SCALE: 3/4"=1'-0"

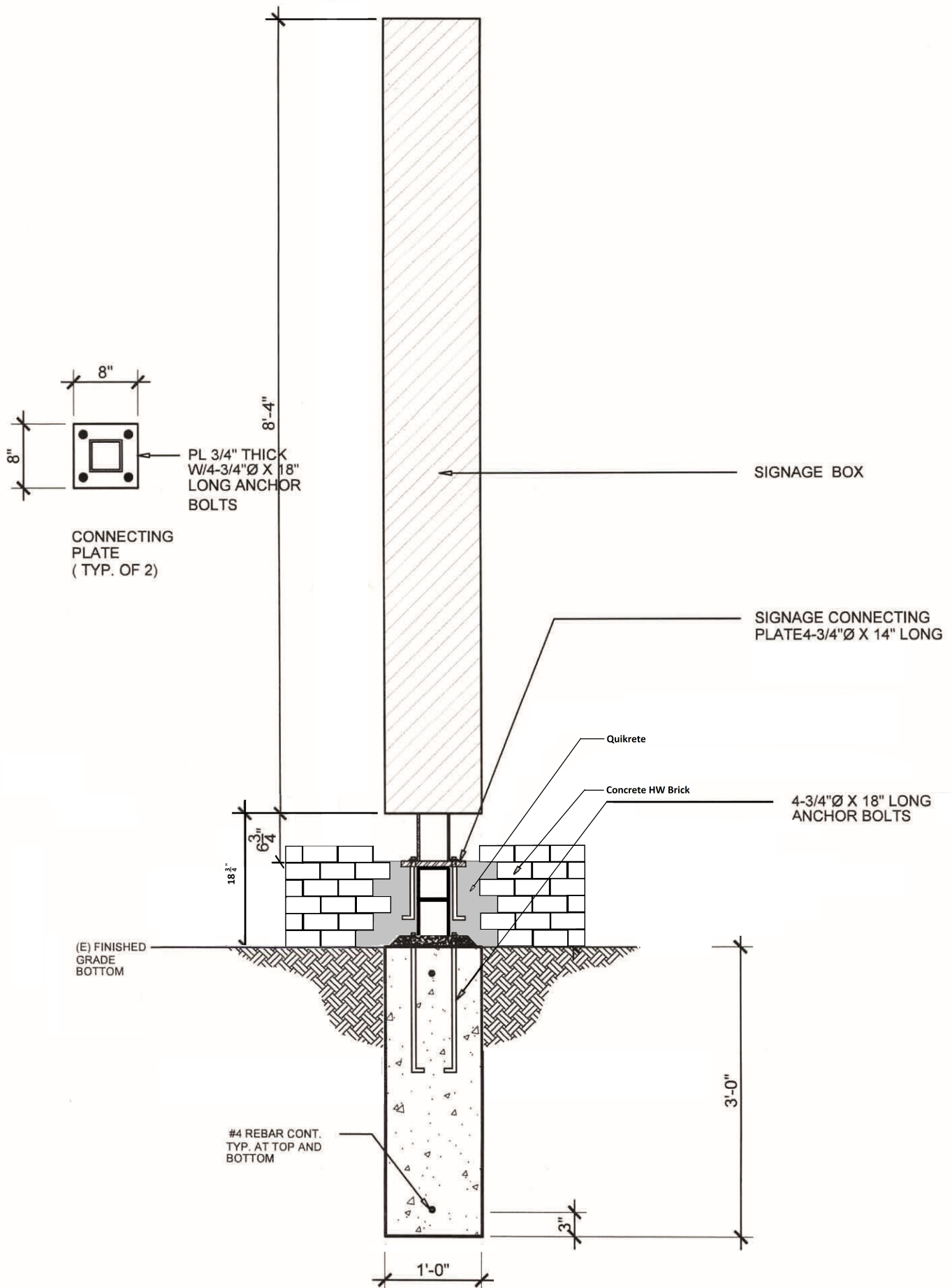


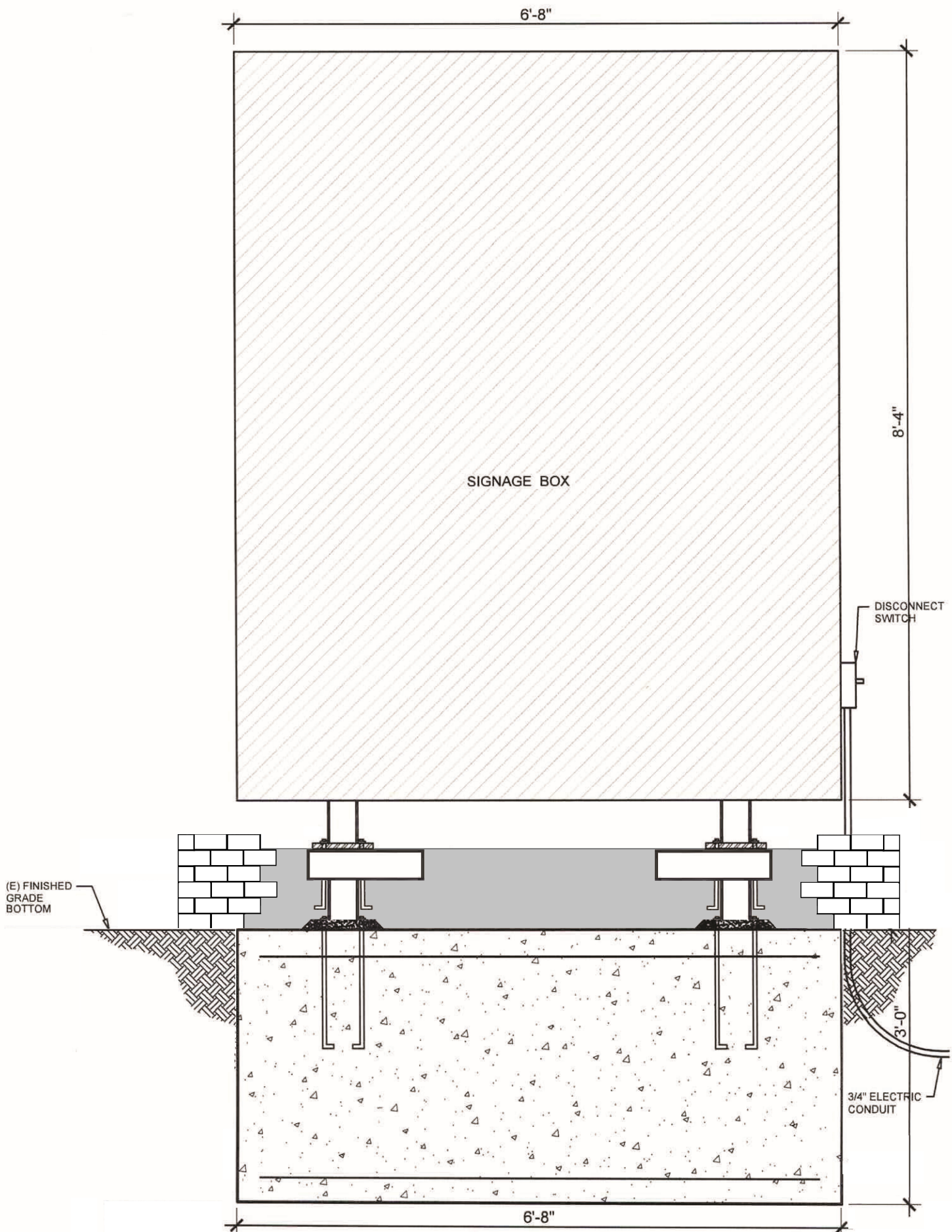


3

SIGNAGE FOOTING - FRONT VIEW

SCALE: 3/4"=1'-0"





3

SIGNAGE FOOTING - FRONT VIEW

SCALE: 3/4"=1'-0"



SIGN PERMIT / MASTER SIGN PERMIT APPLICATION

City of Coalinga, Community Development Department
155 W. Durian Avenue, Coalinga, CA 93210
(559) 935-1533

COMMUNITY DEVELOPMENT PERSONNEL ONLY

--- THIS SECTION SHALL BE COMPLETED BY COMMUNITY DEVELOPMENT PERSONNEL ONLY ---

FILE NUMBER	SP -		RECEIPT #:	
PROPERTY ADDRESS:			DATE:	
CITY:			AMOUNT:	
STATE:			BY:	
ZIP:			NOTES:	
ZONING:				
PROPERTY TYPE:	<input type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INDUSTRIAL	


SIGN INFORMATION

PROPERTY ADDRESS:	1191 Phelps Ave.		ASSESSOR'S PARCEL NUMBER(S):	ATTACH MAP	
CITY:	Coalinga				
STATE:	CA				
ZIP:	93210				
DESCRIPTION OF PROPOSED SIGNAGE: <small>(include the number of signs; indicate whether attached or freestanding; dimensions and total square footage)</small>	2 signs, freestanding, Double Sided Monument: 26 sq. ft. per sign, 3 ft. wide x 8 ft. 3 in. long x 9 ft. 4 in. tall				

CONTACT PERSON

NAME / COMPANY:	Coalinga Medical Center, LLC dba "Coalinga Regional Medical Center"			
ADDRESS:	1191 Phelps Ave.			
CITY:	Coalinga	PHONE:	(209) 401-1888	
STATE:	CA	FAX:	() -	
ZIP:	93210	EMAIL:	j.maruca@crmcmcd.org	

PROPERTY OWNER

* PROPERTY OWNER:	Coalinga Regional Medical Center	ORIGINAL SIGNATURE REQUIRED	
ADDRESS:	1191 Phelps Ave.	X  SIGNATURE OF PROPERTY OWNER *	
CITY:	Coalinga		
STATE:	CA		
ZIP:	93210		
DAYTIME PHONE:	(559) 821-6100	DATE:	10/29/2024

* PROPERTY OWNER IS DEFINED AS THE PERSON(S) WHO OWNS THE LAND/PROPERTY OR THE PROPERTY MANAGEMENT COMPANY WHO MAINTAINS THE SUBJECT BUILDING/SPACE AND HAS AUTHORITY OR POWER OF ATTORNEY TO SIGN LEGAL DOCUMENTS ON BEHALF OF THE PROPERTY OWNER(S).

PLEASE SUBMIT THIS APPLICATION IN PERSON TO THE COMMUNITY DEVELOPMENT DEPARTMENT AT CITY HALL OR VIA EMAIL AT SBREWER@COALINGA.COM. PAYMENT MUST BE MAILED TO CITY HALL AT 155 W. DURIAN AVENUE, COALINGA, CA 93210.

PLEASE PROVIDE THE FOLLOWING

PLEASE COMPLETE THIS APPLICATION IN ITS ENTIRETY AS IT WILL ENSURE A MORE TIMELY APPROVAL OF THIS REQUEST
- INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED -

☐ **FILING FEE**

PLEASE MAKE CHECK PAYABLE TO "CITY OF COALINGA".

☐ **ASSESSOR'S PARCEL MAP**

MAP SHALL BE MARKED TO INDICATE PROJECT LOCATION.

☐ **PHOTOGRAPHS**

PLEASE SUBMIT PHOTOS OF SUBJECT BUILDING(S); EXISTING SIGNAGE; AND SURROUNDING AREA.

☐ **SIGN PLANS – THREE (3) COPIES ARE REQUIRED**

PLANS MUST BE DRAWN TO SCALE AND CONTAIN THE FOLLOWING INFORMATION:

- Dimensions of subject property; lot lines; & existing driveways.
- Streets adjoining the subject property.
- Existing buildings & structures.
- Setback dimensions of existing & proposed sign(s).
- Existing off-street parking, loading & circulation areas.
- The location of the proposed sign.
- Dimensioned drawings of proposed sign(s) indicating height; width; lighting source; color; & materials to be used.

FOR "ATTACHED" SIGNS (INCLUDE THE FOLLOWING):

- Dimensioned elevations of building(s) and occupancy frontage(s) including proposed location of sign on building frontage.

FOR "FREESTANDING" SIGNS (INCLUDE THE FOLLOWING):

- Dimensioned elevations of the proposed free standing sign.
- Dimensions of subject property; lot lines; & existing driveways.
- Setback dimensions of existing & proposed signs.
- Existing off-street parking; loading; & circulation areas.
- The location of the proposed sign.
- Show all property lines & setback to proposed sign.

☐ **MASTER SIGN PROGRAM (5 or more signs for a building or site)**

MASTER SIGN PROGRAM APPLICATIONS SHALL CONTAIN ALL WRITTEN AND GRAPHIC INFORMATION NEEDED TO FULLY DESCRIBE THE PROPOSED SIGN PROGRAM, INCLUDING THE PROPOSED LOCATION AND DIMENSION OF EACH SIGN, AS WELL AS PROPOSED COLOR SCHEMES, FONT TYPES, MATERIALS, METHODS OF ATTACHMENT OR SUPPORT, AND METHODS OF ILLUMINATION.

SIGN PERMIT WORKSHEET

PLEASE REFER TO SIGN ORDINANCE (TITLE 9) FOR SIGN REGULATIONS

EXISTING SIGNAGE

PLEASE INDICATE THE NUMBER OF **EXISTING "ATTACHED"** SIGNS AS SHOWN ON SIGN PLANS _____

PLEASE INDICATE THE NUMBER OF **EXISTING "FREESTANDING"** SIGNS AS SHOWN ON SIGN PLANS 2

PROPOSED NEW SIGNAGE

PLEASE INDICATE THE NUMBER OF **PROPOSED NEW "ATTACHED"** SIGNS AS SHOWN ON SIGN PLANS _____

PLEASE INDICATE THE NUMBER OF **PROPOSED NEW "FREESTANDING"** SIGNS AS SHOWN ON SIGN PLANS 2

SURFACE AREA OF PROPOSED NEW "ATTACHED" SIGNAGE

PROPOSED SIGN AREAS IS APPROXIMATELY _____ SQUARE FEET

PROPOSED SIGN AREAS IS APPROXIMATELY _____ SQUARE FEET

PROPOSED SIGN AREAS IS APPROXIMATELY _____ SQUARE FEET

PROPOSED SIGN AREAS IS APPROXIMATELY _____ SQUARE FEET

SURFACE AREA OF PROPOSED NEW "FREESTANDING" SIGNAGE

PROPOSED SIGN AREAS IS APPROXIMATELY 26 SQUARE FEET

DOUBLE SIDED = _____ SQUARE FEET

PROPOSED SIGN AREAS IS APPROXIMATELY 26 SQUARE FEET

DOUBLE SIDED = _____ SQUARE FEET

HEIGHT: PROPOSED NEW "FREESTANDING" SIGN IS APPROXIMATELY 9 FEET

FRONT SETBACK: 18 FEET

SIDE SETBACK: 15 FEET

PLEASE SUBMIT THIS APPLICATION IN PERSON TO THE COMMUNITY DEVELOPMENT DEPARTMENT AT CITY HALL OR VIA EMAIL AT SBREWER@COALINGA.COM. PAYMENT MUST BE MAILED TO CITY HALL AT 155 W. DURIAN AVENUE, COALINGA, CA 93210.

SIGN PERMIT APPLICATION PROCEDURES

1. BUILDING PERMITS FOR SIGNS

SIGN BUILDING PERMITS ARE ISSUED TO LICENSED SIGN INSTALLATION CONTRACTORS, GENERAL CONTRACTORS, OR THE OWNERS OF THE PROPERTY WHEN SUCH OWNER IS UTILIZING THE ENTIRE PROPERTY FOR HIS/HER OWN USE. IN ADDITION TO THE ADMINISTRATIVE ZONING PERMIT, A BUILDING PERMIT IS REQUIRED TO ASSURE COMPLIANCE WITH THE 2019 BUILDING CODE AND THE 2016 ELECTRICAL CODE. UPON RECEIVING ZONING APPROVAL, THE APPLICANT SHALL OBTAIN A SIGN PERMIT FROM THE BUILDING DEPARTMENT. **PLEASE NOTE - NO FOOTINGS FOR A FREESTANDING SIGN SHALL BE POURED UNTIL STRUCTURAL COMPONENTS HAVE BEEN APPROVED BY THE BUILDING DEPARTMENT.**

2. SIGN PERMIT APPLICATION AND SIGN ORDINANCE AVAILABILITY

SIGN PERMIT APPLICATIONS MAY BE OBTAINED FROM THE PLANNING AND DEVELOPMENT DIVISION OF CITY HALL OR VIA THE CITY'S WEBSITE AT WWW.COALINGA.COM. CITY HALL IS LOCATED AT 155 W. DURIAN AVENUE, COALINGA, CA 93210. APPLICATIONS, AS WELL AS COPIES OF THE CITY'S SIGN ORDINANCE, ARE AVAILABLE AT THE FRONT RECEPTIONIST'S DESK. **PLEASE NOTE - APPLICATION(S) FOR A CITY SIGN PERMIT DOES NOT PRECLUDE AN APPLICATION BEING SUBMITTED TO THE CALIFORNIA DEPARTMENT OF TRANSPORTATION FOR ERECTION OF SIGNS ON ALL APPLICABLE STATE RIGHT-OF-WAY AREAS.**

3. SUBMITTAL AND PROCESSING OF COMPLETED PERMIT APPLICATION

A COMPLETED PERMIT APPLICATION AND ALL ASSOCIATED FEES SHALL BE SUBMITTED TO THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT STAFF. STAFF SHALL REVIEW EACH PERMIT APPLICATION TO ASSURE THAT THE APPLICATION COMPLIES WITH THE CITY'S SIGN ORDINANCE. IF AN APPLICATION IS FOUND TO BE INCOMPLETE OR OTHERWISE INCONSISTENT WITH THE SIGN ORDINANCE, THE APPLICANT SHALL BE NOTIFIED WITHIN FIVE (5) WORKING DAYS FROM THE DATE RECEIVED. APPLICATIONS FOUND TO BE CONSISTENT WITH THE SIGN ORDINANCE SHALL RECEIVE AN ADMINISTRATIVE ZONING PERMIT AND SHALL SUBSEQUENTLY BE REVIEWED FOR COMPLIANCE WITH THE 2019 CALIFORNIA BUILDING CODE (BUILDING PERMIT FEE SHALL APPLY).

4. PERMIT APPLICATION INFORMATIONAL REQUIREMENTS

- (A) SIGN LOCATION (ADDRESS); LEGAL DESCRIPTION; AND ASSESSOR'S PARCEL NUMBER (APN).
- (B) DESCRIPTION OF ANY/ALL EXISTING SIGNAGE AND THEIR LOCATION ON THE PROPERTY.
- (C) DESCRIPTION OF PROPOSED SIGNAGE AND PROPOSED LOCATION ON THE PROPERTY. **PLEASE NOTE - THREE (3) COPIES OF SCALED DRAWINGS ARE REQUIRED AS SPECIFIED ON PAGE 2 OF THIS APPLICATION.**
- (D) SIGNATURE OF APPLICANT AND PROPERTY OWNER AUTHORIZING PLACEMENT OF SIGNAGE IS REQUIRED AS SPECIFIED ON PAGE 1 OF THIS APPLICATION.

5. DETERMINATION OF SIGNAGE DIMENSIONAL REQUIREMENTS

SIGNAGE SIZE AND NUMBER OF ALLOWANCES ARE DETERMINED IN ACCORDANCE WITH THE CRITERIA SET FORTH IN THE CITY'S SIGN ORDINANCE. PLANNING STAFF ARE AVAILABLE TO ANSWER ANY QUESTIONS THAT MAY ARISE IN THE INTERPRETATION OF ORDINANCE REQUIREMENTS.

6. SIGN PERMIT FEE

SIGN APPLICATION FEE:

\$88.00

MASTER SIGN APPLICATION FEE: \$279.00

PLEASE SUBMIT THIS APPLICATION IN PERSON TO THE COMMUNITY DEVELOPMENT DEPARTMENT AT CITY HALL OR VIA EMAIL AT SBREWER@COALINGA.COM. PAYMENT MUST BE MAILED TO CITY HALL AT 155 W. DURIAN AVENUE, COALINGA, CA 93210.

**CITY OF COALINGA
VARIANCE TO
ZONING ORDINANCE APPLICATION**

Application Number _____

Date _____

APPLICANT INFORMATION:

Applicant/Property Owner Name: Coalinga Regional Medical Center LLC

Applicant's Mailing Address: 1191 Phelps Ave. Coalinga CA 93210

Telephone Number: 559-349-0208 Assessor Parcel No. _____

Property Location (Street Address): 1191 Phelps Ave. Coalinga CA 93210

Legal Description (lot, block, tracts, etc.): _____

PROPERTY USE INFORMATION:

Current Zoning: _____ Existing Use: _____

Existing Number of Lots: _____ Proposed Number of Lots: _____

Area of Parcel (s) _____

Proposed Use: _____

The answers to the following questions must be made full and complete.

1. What are the special circumstances applicable to the property involved or to the intended use of the property, including size shape topography location, or surroundings (but not including monetary hardship), That do not apply generally to other property in the same zone or vicinity? *The special circumstances for the facility to request to amend the existing sign program to meet the signage needs of the public health facility.*

2. What are the reasons that the property involved is unique and that such variance is necessary for the preservation and enjoyment of a substantial property right?

3. *The property is a public healthcare facility which is used for the community needs. The intended use of the larger signage is so the community does not continue having difficulty when seeing the signage and hence bettering access to care. In many cases we get patients that are critical, and minutes can determine the overall outcome, enlarged signage can make it easier for patients to travel to correct area*

4. Would the proposed uses be materially detrimental to the public welfare or injurious to persons or property in the vicinity? *The proposed use would not be detrimental to the public welfare or injurious to persons in the vicinity.*

5. What were the original deed restrictions, if any, affecting the use of the property involved? Give the expiration date of these restrictions.

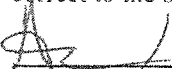
There are no restrictions from our understanding.

5. When was the above described property acquired by the applicant? *The property is currently in the process of being acquired but is current lessee.*

6. What are the provisions of the ordinance from which you are requesting a variance? *Sec. 9-4501. - Signage*

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required as applicable.

The forgoing statement and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.


Signature of APPLICANT/AGENT

AMARDEEP BRAR - Administrator
Name of APPLICANT/AGENT (Please Print)

1191 PHELPS AVE, COALINGA
Mailing Address

559-349-0208
Telephone Number


Signature of OWNER

Gurpreet Singh
Name of OWNER (Please Print)

1420 Dale Rd Mojave
Mailing Address

209-485-6400
Telephone Number