



AGENDA

PLANNING COMMISSION

TUESDAY AUGUST 13, 2024

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

Notice is hereby given that the Planning Commission will hold a Regular Meeting, on August 13, 2024 in the City Council Chambers, 155 West Durian Avenue, Coalinga, CA.

Persons with disabilities who may need assistance should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. Anyone interested in translation services should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. The Meeting will begin at 6:00 p.m. and the Agenda will be as follows:

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

- Chairperson Pruitt*
- Vice Chairman Stoppenbrink*
- Commissioner Helmar*
- Commissioner Hill*
- Commissioner Papietro*

Staff:

- Sean Brewer, Assistant City Manager*
- Marissa Trejo, City Manager*

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during

the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

1. Meeting Minutes for Approve 07-09-2024

PUBLIC HEARINGS

1. Adoption of Resolution No. 024P-006 Recommending to the City Council, Consideration and Approval of Ordinance No. 868, Amending the Planning and Zoning Code Related to Permitting vehicle washing facilities, gymnasiums, and drive-through facilities. (Zoning Text Amendment Application ZTA 24-03).
2. Approval of a Tentative Subdivision Map (TSM 24-01) and Site Plan Review (46 Lot Single-Family Residential Development)

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Planning Commission Reorganization

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Meeting Minutes for Approve 07-09-2024
Meeting Date August 13, 2024
Project Location:
Applicant:
Owner:
Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

- ☐ Minutes for Approval 7-09-2024

MINUTES

PLANNING COMMISSION

155 W. Durian Avenue, Coalinga, CA 93210

Tuesday, July 9, 2024

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

Assistant City Manager Sean Brewer announced the following changes to the Agenda:

None

ROLL CALL

Commissioners: *Chairperson (Vacant)*
 Vice Chairman Stoppenbrink
 Commissioner Helmar
 Commissioner Hill
 Commissioner Papietro (Absent)

Staff: *Assistant City Manager, Sean Brewer*
 City Clerk, Shannon Jensen

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

None

INFORMATION/CONSENT CALENDAR

1. Meeting Minutes for Approval 04-09-2024

*Motion by Helmar, Second by Hill to Approve Information/Consent Calendar Item No. 1. Motion **Approved** by a 3/0 Majority Voice Vote. (Papietro – Absent)*

PUBLIC HEARINGS

1. Planning Commission Recommendation to the City Council Adoption of a General Plan Amendment Adopting the Fresno Multi-Jurisdictional Housing Element 2023-2031

Assistant City Manager Sean Brewer gave a brief overview of the item.

Cynthia Walsh of Placeworks presented Cycle 6 of the 2023–2031 General Plan Amendment and the Fresno County Multi-Jurisdictional Housing Element.

Vice Chairman Stoppenbrink opened the Public Hearing for public comment. Seeing none, Vice Chairman Stoppenbrink closed the Public Hearing.

*Motion by Hill, Second by Helmar to Adopt Resolution No. 024P-005 Recommending the City Council Adopt the 2023-2031 General Plan Amendment and the 2023–2031 Fresno Multi-Jurisdictional Housing Element. **Approved** by a 3/0 Majority Roll-Call Vote. (Papietro – Absent)*

2. Planning Commission Consideration of Conditional Use Permit No. CUP 24-03

Assistant City Manager Sean Brewer gave a brief overview of the item.

Vice Chairman Stoppenbrink opened the Public Hearing for public comment. Seeing none, Vice Chairman Stoppenbrink closed the Public Hearing.

*Motion by Hill, Second by Helmar to Adopt Resolution No. 024P-004 Approving the Site Plan Review, Environmental Review, and Conditional Use Permit for the Construction of Two New Food Service/Coffee Shop Buildings Located at the Southwest Corner of Cherry Lane and Elam Avenue/SR33/198. **Approved** by a 3/0 Majority Roll-Call Vote. (Papietro – Absent)*

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

None

DEPARTMENT REPORTS

None

COMMUNICATIONS

1. Staff Announcements

None

2. Commissioner Announcements

None

3. Chairperson Announcements

Vice Chairman Stoppenbrink announced that Staff has been recruiting for the vacant seat on the Planning Commission. The City Council will be considering applicant(s) at their July 18, 2024 City Council Meeting.

ADJOURN 6:49PM

APPROVED:

Chairperson / Vice Chairperson

ATTEST:

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Adoption of Resolution No. 024P-006 Recommending to the City Council, Consideration and Approval of Ordinance No. 868, Amending the Planning and Zoning Code Related to Permitting vehicle washing facilities, gymnasiums, and drive-through facilities. (Zoning Text Amendment Application ZTA 24-03).

Meeting Date Tuesday, August 13, 2024

Project Location: City of Coalinga

Applicant: City of Coalinga, 155 W. Durian, Coalinga, CA 93210

Owner: City of Coalinga, 155 W. Durian, Coalinga, CA 93210

Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff is recommending that the Planning Commission approve Resolution No. 024P-006 Recommending to the City Council Consideration and Approval of Ordinance No. 868, Amending the Planning and Zoning Code updating language in the code and lessen regulations on vehicle washing facilities, gymnasiums and drive-through facilities in order to encourage business growth and attraction (Zoning Text Amendment Application ZTA 24-03).

II. BACKGROUND:

The City Council directed staff to prepare a recommendation regarding a proposed zoning text amendment to develop an ordinance amending the planning and zoning code regulations related to vehicle washing facilities, gymnasiums, and drive-through prohibitions to expand their permitted uses within various commercial and industrial zones.

III. PROPOSAL AND ANALYSIS:

The Council wishes to update the planning and zoning code to amend the following regulation in the code:

Gymnasiums: Update definitions of a gym and fitness centers and include allowing this use classification in the Manufacturing/Business Light (MBL) zoning designation with additional criteria limiting outdoor activities during certain hours. The ordinance will permit gymnasiums in the MBL zoning designation by right with the restriction that there shall be no outdoor activity between the hours of 10:00pm and 6:00am if the property is adjacent to a residential zoning district.

Vehicle Washing Facilities: Amending the vehicle washing facilities land use classification into two categories

self-serve/automated vs. hand washing and detail services (including tenting). In addition, the ordinance would allow handwashing and detail facilities as permitted by-right in commercial zones subject to local and state regulations. The current code requires the issuance of a conditional use permit for all vehicle washing facilities.

Drive-Through Facilities: Council wishes to remove the prohibitions on drive-through facilities in the General Commercial (CG) zoning district which is currently prohibited. This would expand where drive through facilities are permitted in the City considering many restaurants are moving to the drive-through model due to changes in customer behaviors.

A copy of the proposed ordinance is attached to this report. Redlines and track changes have been used to see the original text vs. the amended text.

Environmental Review: Staff believes that these ordinance amendments do not serve to intensify land uses however just amends the permit requirements for different uses and amending the definitions of said land use categories to better fit their operational characteristics. The “General Rule” exemption (CEQA Guidelines § 15061(b)(3)) is often used if a project does not fit into one of the classes of categorical exemptions. The “General Rule” exemption means that CEQA only applies to projects which have the potential for causing a significant impact—if there is no possibility that the activity in question may have a significant impact, the activity is not covered by CEQA.

Public Notification: A public hearing notice was prepared and circulated in accordance with State and Local law as it relates to zoning text amendments. The Public hearing notice was posted at City Hall, the Police Department, Fire Department, Coalinga Library, Coalinga Area Chamber of Commerce, City's Website and it ran in the Coalinga Press.

IV. FISCAL IMPACT:

No fiscal impact determined at this time.

V. REASONS FOR RECOMMENDATION:

The following standard findings must be made for each Zoning Ordinance amendment:

- The proposed Zoning Ordinance amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.
- The proposed Zoning Ordinance amendment is consistent and compatible with the goals, policies, and actions of the General Plan, and the other applicable provisions of the Zoning Ordinance.
- If applicable, the site is physically suitable (including, but not limited to access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land uses/developments.
- The proposed Zoning Ordinance amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act.

ATTACHMENTS:

Description

- ☐ PC Resolution No. 024P-006- Vehicle Wash, Gym, Drive
- ☐ Ordinance No. 868 - Gyms, Vehicle Washing

RESOLUTION 024P-006

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION RECOMMENDING APPROVAL OF A ZONING TEXT AMENDMENT TO AMEND THE PLANNING AND ZONING CODE RELATED TO VEHICLE WASHING FACILITIES, GYMNASIUMS, AND DRIVE-THROUGHS.

WHEREAS, the City of Coalinga desires to update the zoning regulations related to gyms in industrial districts with limitations, expand vehicle washing facility regulations, and remove existing prohibitions on drive-throughs in particular commercial zones, furthermore the City Council of the City of Coalinga directed staff to initiate a zoning text amendment for the abovementioned; and

WHEREAS, a Notice of Public Hearing was provided to the Coalinga Press, posted at City Hall, Police Department bulletin board, Fire Department Bulletin Board, Coalinga District Library, Chamber of Commerce, and City of Coalinga website, on August 1, 2024, and;

WHEREAS, the Planning Commission held the noticed Public Hearing on August 13, 2024 to take testimony with regard to the proposed Zoning Text Amendment; and

WHEREAS, the Planning Commission completed its review of the proposed Zoning Text Amendment and details in the Staff Report and has considered the testimony received during the public hearing process, and;

WHEREAS, the Planning Commission has made the following findings based on the Zoning Text Amendment proposal:

- The proposed Zoning Ordinance amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.
- The proposed Zoning Ordinance amendment is consistent and compatible with the goals, policies, and actions of the General Plan, and the other applicable provisions of the Zoning Ordinance.
- If applicable, the site is physically suitable (including, but not limited to access, provision of utilities, compatibility with adjoining land uses, and absence of physical constraints) for the requested zoning designations and anticipated land uses/developments.
- The proposed Zoning Ordinance amendment has been processed in accordance with the applicable provisions of the California Government Code and the California Environmental Quality Act.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission recommends approval to the City Council adoption of Ordinance No. 868 (Exhibit "A") to amend the planning and zoning code related to permitting accessory structures within the required rear yard setbacks in residential zoning districts.

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at a regular meeting held on the 13th day of August 2024.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman/Vice Chairman

ATTEST:

City Clerk/Deputy City Clerk

Exhibit "A"
Ordinance No. 868

ORDINANCE NO. 868

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF COALINGA AMENDING THE PLANNING AND ZONING CODE RELATED TO VEHICLE WASHING FACILITIES, GYMNASIUMS, AND DRIVE-THROUGHS.

WHEREAS, the City of Coalinga has always promoted itself as the most business-friendly City on the State of California; and,

WHEREAS, on May 13, 2024, the City Council directed staff to proceed with a zoning text amendment to update language in the code and lessen regulations on vehicle washing facilities, gymnasiums and drive-through facilities in order to encourage business growth and attraction; and,

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Coalinga does ordain as follows:

Section 1. New language is in red and deletions are in ~~strikethrough~~. Article 2. – Definitions of the Coalinga Municipal Code is amended to read as follows:

Article 2 – Definitions

Amend:

~~Automobile/vehicle washing. Washing, waxing, or cleaning of automobiles or similar light vehicles, including self-serve washing facilities.~~

Cinema/theaters. Facilities for indoor display of films, motion pictures, or dramatic, musical, or live performances. This classification may include incidental food and beverage services to patrons.

Large-scale. This classification includes large outdoor facilities such as amusement and theme parks, casinos, sports stadiums and arenas, racetracks, amphitheaters, drive-in theaters, driving ranges, golf courses, and facilities with more than 10,000 square feet in building area, including ~~fitness centers, gymnasiums~~, handball, racquetball, or large tennis club facilities; ice or roller skating rinks; swimming or wave pools; miniature golf courses; bowling alleys; archery or indoor shooting ranges; riding stables; campgrounds; or stables. This classification may include restaurants, snack bars, and other incidental food and beverage services to patrons.

Small-scale. This classification includes small, generally indoor facilities that occupy less than 10,000 square feet of building area, such as billiard parlors, card rooms, ~~health clubs~~, dance halls, small tennis club facilities, poolrooms, and amusement arcades. This classification may include restaurants, snack bars, and other incidental food and beverage services to patrons.

Add:

Gym (interchangeable with Fitness Club and Health Club). A facility that is focused on a wide range of physical fitness and wellness services. These services often include the use of exercise equipment (including free weights and resistance equipment), fitness classes, personal training, and wellness services. This classification would include specialized training centers for disciplines such as boxing and mixed-martial arts subject to limited outdoor activities.

Automobile/Vehicle Washing (Self-Serve or Automated): Vehicle washing facilities that require customers to clean their vehicles using provided equipment in washing bays. Automated Carwashes allow vehicles to be driven into a washing bay or tunnel, where they undergo a series of automated steps such as pre-soaking, soap application, scrubbing, rinsing, and drying. This also includes facilities with vacuums.

Automobile/Vehicle Washing (Hand Washing and Detail): A hand washing business refers to a service where vehicles are cleaned by hand, typically by trained staff using specialized cleaning products, tools, and techniques. This service usually involves thorough cleaning of both the exterior and interior of the vehicle, including washing, waxing, polishing, vacuuming, and detailing. This would also include auto related ancillary services such as window tinting, ceramic and similar paint protection film application. Hand washing businesses may not use the public right-of-way or designated parking areas to wash or detail vehicles. Washing and detailing must occur entirely on the property of the business location.

Section 2. Section 9-5.107 of the Coalinga Municipal Code is amended to read as follows:

Sec. 9-5.107. Auto service stations and automobile/vehicle washing.

- (b) Service stations, automobile/vehicle washing facilities (self-serve or automated), and any other commercial use that includes fuel pumps for retail sales of gasoline shall be located, developed, and operated in compliance with the following standards:
- (1) *Landscaping.* At least ten (10) percent of the site shall be landscaped. All landscaped areas shall be permanently maintained in compliance with Section 9-4.204, Landscaping and the following standards:
 - a. A landscaped planter with a minimum five-foot wide inside dimension, exclusive of curb, and a six-inch high curb shall be provided along the front and street property lines, except for vehicular circulation openings. Where the planter is adjacent to a sidewalk, no curb is required. A three-foot wide landscaping buffer shall be provided along all other property lines.
 - b. A 600-square-foot planter with a minimum dimension of twenty (20) feet shall be provided at the corner of intersecting streets unless a building is located at the corner.
 - c. Additional landscaping may be required where necessary to prevent visual impacts on adjacent properties.
 - (2) *Bay doors.* On corner lots fronting two (2) or more streets with different classifications in the General Plan, bay doors shall face the street with the highest classification.
 - (3) *Pump islands.* Pump islands shall be located a minimum of fifteen (15') feet from any property line to the nearest edge of the pump island.
 - (4) *Canopies and roof structures.* Canopies and roof structures over a pump island, including associated signage, shall be designed as an integral design element of a building's architecture and architecturally compatible, including materials, color and design details, with surrounding structures. A canopy or roof structure over a pump island must be set back at least five (5) feet from any property line.
 - (5) *Washing facilities.* No building or structure **for automated or self-serve washing facilities** shall be located within thirty (30) feet of any public street or within twenty (20) feet of any interior lot line of a residential use or an Residential district.
 - (6) *Hours of operation.* **All** Automobile/vehicle washing facilities are limited to 7:00 a.m. to 10:00 p.m., seven (7) days a week. When adjacent to an Residential district, the hours of operation shall be 8:00 a.m. to 8:00 p.m., seven (7) days a week.
 - (7) *Application review and findings for approval.* In reviewing proposals, emphasis shall be placed on quality design of building materials and landscape features. The Planning Commission shall only approve a Conditional Use Permit for an auto service station, **and/or an automated or self-serve car**

washing facility if it makes the required findings below, in addition to the other findings required for Conditional Use Permits per Chapter 6, Article 5, Conditional Use Permits.

- a. The project is designed so that form and scale are harmonious and consistent with the character of the specific site, the adjacent uses and structures, and the surrounding neighborhood.
 - b. The site design, including the location and number of driveways, will promote safe and efficient on-site and off-site traffic circulation.
 - c. Service bay openings are designed to minimize the visual intrusion on surrounding streets and properties.
 - d. Lighting is designed to be low-profile, indirect or diffused, create a pleasing appearance, and avoid adverse impacts on surrounding uses.
- (8) *Conditions of approval.* Conditions of approval of a Conditional Use Permit for auto servicing stations and car washing (**automated/self-serve**) may address operational characteristics of the use; impose restrictions on outdoor storage and display, location of pump islands, canopies and service bay openings; and/or require buffering, screening, lighting, planting areas, or other site elements, in order to avoid adverse impacts on properties in the surrounding area., ~~including but not limited to the following:~~
- (9) **All vehicle washing facilities shall obtain and maintain the appropriate stormwater permits from the Central Valley Water Quality Control Board while in operation. At anytime the City has the right to request a copy of said permit.**
- (10) *Abandonment.* Any service station shall in the case of abandonment or non-operation of the primary use be dismantled and the site cleared within twelve (12) months subsequent to the close of the last business day.

Section 3. Section 9-2.302 of the Coalinga Municipal Code is amended to read as follows:

Table 2.5: Land Use Regulations - Commercial Districts					
Use Classifications	CG	CR	CS	MX	Additional Regulations
Automobile/Vehicle Washing (Self-Serve or Automated)	CUP	CUP	CUP	No	Section 9-5.107, Auto Service Stations and Car Washing
Automobile/Vehicle Washing (Hand Washing and Detail)	Yes	Yes	Yes	Yes	Section 9-5.107, Auto Service Stations and Car Washing
Small-scale Cinema Theaters (300 seats and under)	No Yes	Yes	Yes	CUP	
Gym	Yes	Yes	Yes	CUP	Outdoor activities limited to the hours of 6:00am - 10:00pm if adjacent to residential zoning districts.
Coffee Shops/Cafes	Yes	Yes	Yes	Yes	(CG) Drive-through facilities are prohibited.
Restaurants, equal to or less than 3,000 square feet	Yes	Yes	Yes	Yes	Section 9-5.103, Alcoholic Beverage Sales. (CG) Drive-through facilities are prohibited.
Restaurants, greater than 3,000 square feet	CUP	Yes	Yes	Yes	Section 9-5.103, Alcoholic Beverage Sales (CG) Drive-through facilities are prohibited.

Section 4. Section 9-2.402 of the Coalinga Municipal Code is amended to read as follows:

Table 2.7: Land Use Regulations - Manufacturing/Business Districts			
Use Classifications	MBL	MBH	Additional Regulations
Commercial Uses			
Automobile/Vehicle Washing (Self-Serve/Automated & Hand Washing/Detail)	Yes	Yes	Section 9-5.107, Auto Service Stations and Car Washing
Gym	Yes	Yes	Outdoor activities limited to the hours of 6:00am - 10:00pm if adjacent to residential zoning districts.

The foregoing resolution was approved and adopted at a regular meeting of the City Council of the City of Coalinga on the 19th day of September 2024, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED:

Mayor of the City of Coalinga

ATTEST:

City Clerk of the City of Coalinga



Staff Report- Chairman and Planning Commission

Subject: Approval of a Tentative Subdivision Map (TSM 24-01) and Site Plan Review (46 Lot Single-Family Residential Development)

Meeting Date Tuesday, August 13, 2024

Project Location: APN: 083-410-41s (Warthan Meadows Master Plan)

Applicant: WM Estates, LLC, 2837 Hidden Valley road, Templeton, CA 93465

Owner: WM Estates, LLC, 2837 Hidden Valley road, Templeton, CA 93465

Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution No. 024P-007 with conditions approving a Tentative Subdivision Map and Site Plan for a 46 single-family detached residential units in the Warthan Meadows Master Planned neighborhood.

II. BACKGROUND:

On June 13, 2024, the City of Coalinga received an application from WM Estates, LLC for Site Plan Review and Tentative Subdivision Map approval of a proposed 46-unit detached single-family residential development located on the northside of Chardonnay Lane, near Merced Avenue located in the existing Warthan Meadows Master Plan. The proposed project site is a 8.69-acre vacant lot is currently zoned and designated Residential Single Family-Planned Development (RSF-PD). This staff report incorporates feedback from all City Departments.

III. PROPOSAL AND ANALYSIS:

The proposed project includes the subdivision and development of 46 detached single-family residential homes, with three different single-story floorplans ranging from 1,450 square feet (sq. ft.) to 1,850 sq. ft. The proposed single-family subdivision's lots range from 5,280 to 10,950 sq. ft. Access to the proposed project would be provided from Chardonnay Lane. The proposed project includes curb, gutter, and sidewalk improvements that would connect the project site with the existing residential neighborhood to the south. The General Plan designation for the subject parcel is RSF with a zoning designation of RSF with a planned development overlay. The project is consistent with all development regulations for single-family housing as discussed below.

Surrounding Land Use Setting

North	Existing Single-Family Development/Open Space (ponding basin)
West	Existing Single-Family Development
East	Existing Single-Family Development
South	Existing Single-Family Development

The proposed project site is surrounded by existing/proposed single-family residential development in all directions. The land to the east and west is part of the future master plan residential development, and the land located to the south is an existing residential development.

Development Density

The proposed project includes the development of 46 single-family residential homes on 8.69 net acres, resulting in a proposed development density of 5.2 dwelling units per acre (du/ac), which is consistent with the RSF-PD designation approved when the Warthan Meadows Master Plan was approved in 2005 which allowed for smaller lot sizes and a slight increase in density.

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code, a Site Plan Review is required for all residential development projects within the City. The purpose of the Site Plan Review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects to qualify for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Tentative Subdivision Map

According to Section 9-7.201 of the City of Coalinga Municipal Code, a tentative map shall be required for all divisions of land where the land would be divided into five (5) or more parcels. The tentative map review procedure is designed to ensure that such improvements as drainage, street alignment, grade and width, and sanitary facilities conform to City regulations and policies and are arranged in the best possible manner to serve the public.

Tentative Map Requirements

The City Engineer has reviewed the proposed Tentative Subdivision Map for compliance with Section 9-7.301 of the City of Coalinga Municipal Code and has included conditions of approval (attached) for the proposed project.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, City of Coalinga Municipal Code, and any applicable plans adopted by the City.

Residential Single Family Development Regulations

The following discussion describes the proposed project’s conformance with the applicable development standards included the in the City of Coalinga Municipal Code.

Zoning Standards Conformance Table

Major Standards	Required	Proposed
Lot Size	6,000 sq. ft. min	5,280-10,950 sq. ft.
Lot Coverage	45% max	24%
Maximum Density	5.0 du/ac	5.2 du/ac (allowed per PD overlay)
Building Height	Two Stories/25' max	One Story/17'-3.5" max
Yards		
<i>Front</i>	20' min	20' min
<i>Side</i>	5' min	5' min
<i>Rear</i>	15' min	15' min
Parking	Two covered vehicle spaces per unit	Two covered vehicle spaces per unit

As seen in the above Zoning Standards Conformance Table, the proposed single-family development meets or exceeds all the zoning standards applicable to single-family development included in the City of Coalinga Municipal Code.

Coalinga City-Wide Design Guidelines

The guidelines are discretionary tools to be used with the development standards in the City’s Zoning Ordinance to guide a range of development types. The discretionary review under the design guidelines is conducted by members of City staff and, at times, the Planning Commission. The objective of the City-Wide Design Guidelines is to preserve the small-town character of Coalinga in future single-family residential, multi-family residential, commercial, and mixed-use development.

The Single-Family Residential Design Guidelines aim to assist homeowners, designers, and builders achieve better design in the development of single-family homes. The Design Guidelines include best practices that have worked successfully in other communities to maintain strong property values, increase neighborhood desirability and character, improve privacy and aesthetics, and promote sustainable design and development.

The Single-Family Residential Design Guidelines encompass concepts ranging from overall context to specific building details. The guidelines are organized by “Neighborhood Context/Fit,” “Building Design,” and “Landscaping and Fencing,” which work to address the desired quality of design expected throughout the City.

Neighborhood Context/Fit

As described in the City of Coalinga Design Guidelines, the proposed project is consistent with the existing neighborhood patterns of the adjacent single-family development; such as setbacks, front yard area, and garage location and type. In addition, building placement will be in conformity with the predominant pattern of building orientation found in the existing neighborhood, and the primary façades and building entrances are facing towards the street to create a strong street presence.

Building Design

The proposed project includes the development of 46 single-story detached single-family homes in an area consisting of existing single-family development. The proposed project provides articulation (varying wall planes) along the home’s primary frontage in order to generate visual interest, enhance the home’s identity,

and create opportunities for incorporating unique architectural spaces and features. In addition, the project includes multiple floor plans with varying elevations, porches, and will be required to have varied front yard setbacks. Furthermore, consistent with the City of Coalinga Design Guidelines, the project minimizes excessive ridgelines, gables, hips, and differing roof heights, and matches roof styles and pitches found in the immediate neighborhood context. The proposed roofing forms would allow solar access to adjacent properties that may utilize solar panels, as described in the City of Coalinga Design Guidelines.

Consistent with the City of Coalinga Design Guidelines, the proposed project includes prominent entries and doorways to establish a clear point of entry for the residences. In addition, each floor plan includes three different elevation designs to add variation among compatible styles within the neighborhood, including varied window shutters and trim. In addition, staff has included a condition of approval, which requires the installation of EPA “Energy Star” labeled windows with low-e coatings, and window types that can be fully opened and sealed to allow for cross breezes to facilitate passive cooling of the home.

Landscaping and Fencing

As homes are constructed, plot plans will be submitted to the Community Development Department to verify setbacks, fencing lot coverage and landscaping areas. The project site does not include existing trees; however, the proposed project requires one new tree planting per residential lot and two new plantings for corner lots. Staff has included a condition of approval, which requires the submittal of a separate landscape plan to the Community Development Department for review and approval prior to building permit issuance.

In addition, the proposed project includes six-foot-high wood fencing for each residential lot. The overall design of the fences would be compatible with the existing adjacent neighborhood and would not include front-yard fences that could create a walled-off appearance.

Lighting

Lighting will be reviewed and approved by the Coalinga Police Department to ensure that there will be adequate lighting for public safety while also ensuring no spill over lighting. Off-site lighting shall be installed per City standards as part of the off-site improvements along the development frontage (curb, gutter, sidewalk and lighting). In addition, according to Section 9-2.203(c)(4)(d)(6) of the Coalinga Municipal Code, all outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination. As part of the lighting plan for this project, the applicant will have the opportunity to utilize solar street lighting once a standardized plan has been approved by the City Council. If the plan is not approved, then standard street lighting requirement will remain applicable.

Signage

All signs related to this development shall be submitted in a separate application and reviewed and approved by the Community Development Department in accordance with the applicable signage regulations. If the developer chooses to have models they will need to apply and secure a sign permit for the model home signage and community sales signage in accordance with the sign regulations.

Access

Access to the proposed project would be provided from Burgundy Way off Chardonnay Lane. The project includes the improvement of proposed Zinfandel Circle.

Utilities

All utilities are readily available for connection within the adjacent right-of-way on Chardonnay Lane. All

utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. On-site storage of storm runoff is not required, therefore the development will discharge storm water runoff into the existing surface system.

Environmental Clearance

This project falls within an area of an approved master planned development from 2005 where an Initial Study and Mitigated Negative Declaration was prepared and approved by the City of Coalinga. The proposed subdivision map is consistent with the 46 units that were proposed in 2005 for this location. Preliminary grading and site improvements have already been completed as this was going to be phase two (2) of the Bellara Subdivision located directly south of the proposed subdivision. All mitigation measures that applied to the subdivision in the approved IS/MND at the time of approval will be applied to this subdivision through its own conditions in order to maintain consistency with the master planned development. No further environmental review will be required as part of this application. A copy of the above IS/MND can be found at the City Website [HERE](#).

IV. FISCAL IMPACT:

None determined at this time.

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the City of Coalinga Municipal Code in the following respects.

Site Plan Findings

According to Section 9-6.404 of the City of Coalinga Municipal Code, the Planning Commission, as part of the approval of a Site Plan shall consider the following findings to approve a Site Plan. Staff feels that with the proposed conditions included, the following findings have been met.

- The proposed construction are in substantial conformance with the General Plan, Municipal Code, and any applicable plans adopted by the City.
- The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Tentative Subdivision Map Findings

According to Section 9-7.204 of the City of Coalinga Municipal Code, the Planning Commission shall consider the following conditions for a tentative map. Staff feels that with the proposed conditions included, the following findings have been met.

The Planning Commission shall not approve an application for a subdivision, unless it finds that the proposed subdivision, together with the provisions for its design and improvement, is consistent with the Coalinga General Plan and any other applicable plans. A proposed subdivision shall be consistent with the General Plan or applicable plans only if the proposed subdivision or land use is compatible with the objectives, policies, general land uses, and programs specified in such plans.

The Planning Commission shall deny an application for a subdivision if it makes any of the following findings:

- That the proposed map is not consistent with the Coalinga General Plan, or with other applicable plans;
- That the design or improvement of the proposed subdivision is not consistent with the Coalinga General Plan or with other applicable plans;
- That the site is not physically suitable for the proposed type of development;
- That the site is not physically suitable for the proposed density of development;
- That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
- That the design of the subdivision or type of improvements is likely to cause serious public health problems;
- That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. The Planning Commission may approve a tentative map if it finds that alternative easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This provision shall apply only to easements of record or to easements established by a court of competent jurisdiction;
- That the map fails to meet or perform one or more requirements or conditions imposed by the “Subdivision Map Act” or by this title. Any such requirement or condition shall be specified.

Notwithstanding the provisions of Section 9-7.204(b)(5) of this article, a tentative map may be approved if an environmental impact report was prepared with respect to the project and a finding was made pursuant to Section 21081(c) of the Public Resources Code that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

ATTACHMENTS:

	Description
☐	Resolution 024P-007
☐	Exhibit A - Conditions of Approval
☐	Tentative Tract Map - Engineers Comments
☐	Tentative Tract Map
☐	Tentative Map Application
☐	Site Plan Review Application
☐	Housing Plans

RESOLUTION 024P-007

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A SITE PLAN REVIEW AND TENTATIVE SUBDIVISION MAP APPLICATION NO. TSM 24-01 TO BE LOCATED AT THE NORTH SIDE OF CHARDONNAY AND NEAR MERCED AVENUE IN THE WARTHAN MEADOWS MASTER PLANNED DEVELOPMENT

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review and Tentative Subdivision Map for the construction of 46 detached single-family residential homes located in the warthan meadows master planned development near Merced Ave and Chardonnay; and

WHEREAS, the subject project requires approval of a Site Plan Review, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, the subject project requires approval of a Tentative Subdivision Map, in accordance with Title 9, Chapter 7 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on June 13, 2024; and

WHEREAS, the project has been determined that no further environmental review is required as the proposed development is consistent with the certified initial study mitigated negative declaration approved in 2005 that covers the entire master planned area, and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on August 13, 2024; and

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

Site Plan Review

- (1) The proposed construction are in substantial conformance with the General Plan, Municipal Code, and any applicable plans adopted by the City.
- (2) The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- (3) The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- (4) The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Tentative Subdivision Map

- (a) The proposed subdivision, together with the provisions for its design and improvement, is consistent with the Coalinga General Plan's objectives, policies, and general land uses.
- (b) That site is physically suitable for the proposed type of development and density, the design of the subdivision is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The design of the subdivision is not likely to cause serious public health problems, or conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In addition, the map does not fail to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act".
- (c) The project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15332 (Infill Development) and an environmental impact report was not prepared for the proposed subdivision.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission hereby recommends the approval of the Site Plan Review and the Tentative Subdivision Map Application No. TSM 24-01 subject to the conditions attached hereto (Exhibit "A") which are also incorporated by this reference.

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 13th of August 2024.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman

ATTEST:

City Clerk/Deputy City Clerk

Exhibit "A"
CONDITIONS OF APPROVAL
SITE PLAN REVIEW AND TENTATIVE SUBDIVISION MAP,
APPLICATION NO. 24-01

The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

General Conditions

- COA 1. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
- COA 2. An approved site plan becomes void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan. Approval of the site plan may be extended for an additional period or periods of twelve (12) months upon a written request to the Community Development Department before the expiration of the first approval.
- COA 3. This tentative subdivision map shall expire within the time frames prescribed under the State Subdivision Map Act. Any minor changes may be approved by the Director. Any substantial changes will require the filing of an application for an amendment to be considered either by the Director, the Planning Commission or City Council as deemed appropriate. All requirements of any law, ordinance or regulation of the State of California, City of Coalinga, and any other governmental entity shall be complied with in the exercise of this approval.
- COA 4. Minor revisions to the site plan after Commission approval may be reviewed and approved by the Community Development Director. Those revisions determined to be major shall be referred to the Commission for review and approval.
- COA 5. This tentative tract map is granted for the land described in the application on file with the City of Coalinga. The locations of all buildings and other features shall be located and/or designed substantially as shown in the aforementioned applications, unless otherwise specified herein.
- COA 6. Within thirty (30) days after the effective date of tentative subdivision map approval, the subdivider shall file with the Director written acceptance of the conditions of approval stated herein.
- COA 7. Compliance with and execution of all conditions listed herein shall be necessary, unless otherwise specified, prior to obtaining a certificate of occupancy. Deviation from this requirement shall be permitted only by written consent from the Director and/or as

authorized by the Planning Commission. Failure to comply with these conditions shall render this entitlement null and void.

- COA 8. All heating and air conditioning units shall be ground/surfaced mounted and approved for location by the Building Official.
- COA 9. All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA 10. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- a. Weekdays from 7:00 a.m. to 6:00 p.m.;
 - b. Saturday from 8:00 a.m. to 5:00 p.m.;
 - c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.
- COA 11. The project proponent shall adhere and comply with the requirements and mitigation measures in the Initial Study/Mitigated Negative Declaration Certified by the City Council on January 4, 2005. This document shall become part of this approval. This document can be found on the City's website.
- COA 12. Construction activities shall comply with applicable Municipal Code and Zoning Ordinance sections, including Chapter 4, Article 4, Performance Standards.
- COA 13. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Local, Federal and State regulations.
- COA 14. All required local, County, State, or Federal permits shall be obtained prior to the start of operations.
- COA 15. If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA 16. On-site Construction Site, Grading, Utility, and Landscape & Irrigation plans shall be submitted to the Community Development Department for review and approval by City Engineer prior to building permit issuance.
- COA 17. A landscaping plan shall be submitted to the Community Development Department for review and approval.
- a. Water efficient landscaping. The model Water Efficient Landscaping Ordinance, as published by the California Department of Water Resources, pursuant to California Water Conservation in Landscaping Act (Government Code § 65591, et seq.), was adopted in full, by reference, and effective in the City of Coalinga commencing on

January 1, 2010. A copy of the Water Efficient Landscaping Ordinance is retained on file in the Office of the City Manager, the Community Development Department, and the Office of the Coalinga City Clerk at all times. Landscaping plans must be consistent with the adopted Water Efficient Landscaping Ordinance.

- b. Landscaping required. A minimum of fifty (50) percent of the front yard in Residential Districts must remain pervious, and shall be planted or landscaped with trees, shrubs, groundcover, or may be treated with ornamental gravel, crushed rock or similar landscape material.
- c. Maintenance. Property owners shall maintain landscaped areas in a neat and weed-free fashion and may be required by the Community Development Director to provide a permanent underground irrigation system equipped with an automatic irrigation timer or controller. Property owners shall trim trees to avoid entanglement in power lines and other utility lines above ground.
- d. Plant species. Property owners shall use native and compatible non-native plant species to fulfill landscaping requirements. Drought-resistant species are highly encouraged.

COA 18. The applicant shall submit a revised/corrected final construction site plan including all conditions of approval for review and approval by the City Engineer and Community Development Director prior to the issuance of a building permit.

COA 19. All windows shall be of EPA "Energy Star" labeled windows with low-e coatings that can be fully opened and sealed to allow for cross breezes to facilitate passive cooling of the home.

COA 20. All Community Development Department, Engineering and applicable Development Impact Fees shall be paid in full prior to the issuance of a building permit.

COA 21. Plans submitted for Building Permit shall be in substantial conformance with plans approved by the Community Development Department.

Subdivision Design

COA 22. This subdivision shall meet all applicable requirements of the City of Coalinga Municipal Code including Article 9, Chapter 7.

COA 23. The project proponent shall be required to pay water, landscaping/irrigation and sewer impact fees as specified by the City of Coalinga Municipal Code at the time building permit applications are filed.

COA 24. The project proponent shall construct drainage, sewage, water, and natural gas facilities in accordance with the plans and calculations which must be submitted to the Public Works Department for review and approval prior to construction.

COA 25. All outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination, of the Coalinga Municipal Code.

- COA 26. The project proponent shall offer in dedication all necessary easements for drainage, sewer, water and other public utilities as determined by the improvement plans and as approved by the Coalinga Public Works Department.
- COA 27. Hydraulic calculations, required and approved by the Public Works Department shall be required for all drainage and sewer facilities.
- COA 28. Any construction work within the City of Coalinga right-of-way shall be accomplished under an encroachment permit issued by the Public Works Department.
- COA 29. No construction of improvements shall commence until all plans and/or calculations required by these conditions have been approved by the Public Works Department.
- COA 30. Owner/Contractor must comply with the Federal Clean Water Act, Section 402(p) and the Phase II Rule regulations under the National Pollutant Discharge Elimination System (NPDES). Since the site grading is one (1) acre, or more, the Owner/Contractor must file a Notice of Intent (NOI) with the State Water Control Board, and submit a Storm Drain Pollution Prevention Plan (SWPPP) to the City of Coalinga, prior to obtaining a Grading Permit.
- COA 31. All improvements required by the herein, stated conditions shall be:
- a. Completed prior to final approval and recordation of the subdivision by the City or;
 - b. Guaranteed for completion within one year by furnishing security in a form as provided by Section 66499 through 66499.10 of the Government Code. The security shall be in the form and in amounts as set forth in the Coalinga Municipal Code;
 - c. Any required improvements which have been guaranteed shall be completed and approved prior to approval of any further divisions of the parcels, and;
 - d. If improvements are deferred and surety posted for completion, the applicant shall enter into an agreement with the City as provided for in the Municipal Code.
- COA 32. The project proponent shall be required to pay all taxes, past and current, including those amounts levied as of March 1, but not yet billed, on the property prior to the recording of the Final Map.
- COA 33. A Preliminary Title Report shall accompany three Final Map Check Prints at time of filing with the Public Works Department for review.
- COA 34. Subdivision Signs. Signs advertising a subdivision are subject to the following requirements and the project proponent shall obtain a sign permit for said signage:
- a. *On-site signs.* One sign per street frontage with a maximum of two (2) temporary real estate subdivision signs may be permitted on the subdivision site in accordance with the following:
 - b. *Maximum sign area.* The maximum sign area may be no more than 100 square feet.

- c. *Height.* A maximum of ten (10) feet measured from the curb.
 - d. *Duration.* Subdivision signs shall be removed twenty-four (24) months from the date the permit for same is issued, or when the last lot of the subdivision has been sold for the first time, whichever comes first.
 - e. *Letter of Agreement.* A Letter of Agreement from the property owners giving the City right of entry to remove signs in the event the above stipulations are not complied with shall be submitted to the Community Development Director prior to the issuance of a Sign Permit. If at any time the property on which the signs are located is sold, the signs shall be removed or a new Letter of Agreement shall be submitted from the buyer to permit the sign to remain and granting the City right to enter the property and remove the sign.
- COA 35. Proposed lighting contained within the subdivision shall be so arranged as to deflect light away from adjoining properties.
- COA 36. The project applicant shall follow the provisions of the Section 9-5.126(c) as it relates to permitting models homes.
- COA 37. Street lights shall be required for all interior streets. Street lights along interior streets shall be spaced at 300 foot maximum spacing between street intersections. The standard luminaries shall be 70 watts except 200 watts at intersections. Solar Street lighting is permitted subject to approval of the City and to approved city lighting standards approved by the City Council.
- COA 38. The applicant shall provide two (2) 24 inch box trees for each interior lot. Additional number of street trees shall be required for corner lots as determined by the City Engineer. All street trees shall conform to the requirements listed in the publication entitled, Coalinga Street Tree and Shade Information available through the Public Works Department.
- COA 39. Project proponent shall provide varying front yard set-backs of between 20 and 25 feet as approved by the Chief Building Inspector. This includes varying elevations and home sizes to ensure continuity among the neighborhood.
- COA 40. Fire hydrants shall be required for this development. City of Coalinga Fire Chief shall verify and approve all fire hydrant locations and spacing.
- COA 41. Fencing Plans shall be provided as part of the submitted plot plans to ensure compliance with the planning and zoning code.
- COA 42. No single source water mains allowed. Provide a looped water main system between lots 20 and 21 and connect to the existing 10" water main on Merced Avenue.
- COA 43. Permanent storm water drainage service is available to serve this development. The developer shall comply with all construction requirements as directed by the City Engineer.
- COA 44. The developer shall provide for side yard entrances (gates) that will accommodate the City's 96-gallon solid waste containers:

- a. The developer shall also provide for a concert walkway from the side yard fence access to the driveway for the transportation of the refuse containers.

COA 45. The developer shall agree to annexation into the City of Coalinga's Landscape and Lighting Maintenance District No. 1993-1A (Coalinga) at time of Final Map approval.

Engineering Conditions

COA 46. The proposed development shall construct storm drainage pipeline and drain inlet facilities within the development and connect to the existing storm drain pipeline on Chardonnay Lane.

COA 47. All sidewalks shall conform to the requirements of Title 7, Chapter 2, Sidewalks, Crosswalks, Curbs, Gutters and Driveways, of the Municipal Code. Street trees shall be provided per the requirements of Title 7, Chapter 3, Trees and Shrubs, of the Coalinga Municipal Code.

COA 48. Comply with requirements of the Coalinga Fire Department and Coalinga Police Department.

COA 49. All improvements within City right-of-way, including but not limited to, new sidewalk, curb and gutter and approaches shall conform to current City of Coalinga Standards and be approved by the City Engineer.

COA 50. The provisions of the San Joaquin Valley Air Pollution Control District Rule 8021 shall be complied with during construction. All permits shall be provided to the City Building Department at the time of Building Permit Issuance.

COA 51. Provide 10-foot public utility easements along all lots fronting on a public street.

COA 52. Provide 2-foot public pedestrian walkway easements along all residential lots fronting on a public street.

COA 53. Burgundy Way shall be dedicated as a 64' right-of-way and shall include 2- 20' lanes, 10' raised curb median island and concrete sidewalks. A 4.5' landscape Easement shall be dedicated from the corner cutoff on Chardonnay Lane and extend 50' along the street right-of-way. A 6' masonry block wall shall be constructed along the rear of the landscape easement. Provide landscaping along the landscape easement to match existing landscaping and connect to the existing irrigation system.

COA 54. Zinfandel Circle shall be dedicated as a 54' right-of-way and shall include 2-20' travel lanes, curb & gutter and sidewalk. Exception to the 54' right-of-way shall be the side yards of lots 33, 39, 40 and 46 that shall be 25' right-of-way from the street centerline.

COA 55. Road construction of public right-of-way/easements shall comply with the City Standards and requirements as specified by the City Engineer.

COA 56. Available sewer mains to serve this proposed development is located at Chardonnay Lane. Extend sewer facilities to the project site as directed by the City Engineer.

COA 57. The nearest available water and natural gas facilities to serve this proposed development are located at Chardonnay Lane. It shall be the responsibility of the project developer to extend water and natural gas facilities to the project site as directed by the City Engineer.

COA 58. Direct vehicular access shall be prohibited on all residential lots adjacent to and/or abutting Merced Avenue and Chardonnay Lane as shown on the Tentative Map.

Applicant Acknowledgement

I _____, (Applicant) have read and will fully comply with all of the conditions stated above, and understand if they are not followed, my permit may be revoked in accordance with Section 13 of the above conditions.

Applicant: _____ Date: _____

Signature

CITY OF COALINGA
TENTATIVE SUBDIVISION MAP APPLICATION

TSM 24-01
Application Number

6-4-2024
Date

APPLICANT INFORMATION:

Applicant's Name: W M Estates, LLC
Property Owner's Name: Greg Sanders
Applicant's Mailing Address: 2837 Hidden Valley Rd. Templeto, CA. 93465
Telephone Number: 661 889-8880 Assessor Parcel Number: 083-410-41s
Property Location (Street Address): Intersection of Chardonnay Lane and Merced Avenue, Coalinga, CA, 93210
Legal Description (lot, block, tracts, etc.): BEING A SUBDIVISION OF LOT 57 OF TRACT 5776, "WARTHAN MEADOWS 11", ACCORDING TO THE MAP THEREOF RECORDED NOVEMBER 20, 2007 IN BOOK 80, PAGE 20 OF PLATS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. ALSO BEING A PORTION OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 15 EAST, M.D.B.&M., CITY OF COALINGA, COUNTY OF FRESNO, STATE OF CALIFORNIA.

PROPERTY USE INFORMATION:

Current Zoning: AE-5 Existing Use: Open/Undeveloped Land
Existing Structures: 0 Proposed Number of Lots: 46
Existing Number of Lots: 0 Minimum Lot Size (Sq. Ft.): 5,274
Area of Parcel (Sq. or Acs.): 8.69 Acres Proposed Use: Single Family Residential

Existing Easement and Use AN EASEMENT FOR PUBLIC UTILITIES PURPOSES, GRANTED TO PACIFIC GAS AND ELECTRIC COMPANY, RECORDED AUGUST 11, 2006 AS DOCUMENT NUMBER 2006-0167919 OF OFFICIAL RECORDS OF FRESNO COUNTY.

Proposed Restrictive Requirements (if any): N/A

Will all improvement meet City of Coalinga Requirements Yes No

If no, list exceptions and give justification: N/A

If no, list exceptions and give justification: N/A

Describe Improvement for:

Street Trees (List type & interval of spacing): N/A

Drainage Collection & Disposal: On-site retention w/ city S.D.M.P Basin

Domestic Water Supply (include Fire Hydrants): City of Coalinga

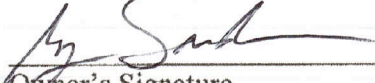
Proposed Sewer Collection & Disposal: City of Coalinga

Other Public Utilities (Power, Telephone, Irrigation, Cable T.V.): Electrical - Pacific Gas and Electric, Telephone - SBC, Cable TV - Central Valley Cable/Comcast

ATTACH PRELIMINARY TITLE REPORT DESCRIBING THE STATUS OF ALL INTEREST IN PARCEL.

CERTIFICATION:

Owner of property hereby certifies that he is the owner of the property on which the map is proposed for subdivision, and that he has examined the map and consents to the submissions of the map and this application.


Owner's Signature

Owner's Agent

Greg Sanders
Owner's Name (Please Print)

Address

2837 Hidden Valley Rd. Templeton, CA - 93465
Address

Telephone

661 809-8880
Telephone

Michael E. Dauster, PLS 9047

Engineer of Map
4524 District Boulevard, Bakersfield, CA 93313

Address
(661) 859-1923
Telephone

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

TSM 24-01

6/10/2024

Application Number

Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: Greg Sanders

Mailing Address: 2837 Hidden Valley Road, Templeton, CA 93465

Telephone Number: 661-809-8880

Assessors Parcel Number: _____

Property Location (Street Address): Legal Description: A PORTION OF THE NORTH HALF OF SECTION 4, TOWNSHIP 21 SOUTH RANGE 15 EAST, MOUNT DIABLO BASE AND MERIDAN

Property is located: North side of "A" St Street, between "D" St Street and

Merced Ave Street

PROJECT INFORMATION:

Current Zoning: AE-5 - Agricultural Estate Proposed Zoning RSF - Residential Single Family

Existing Floor Plan: _____ Proposed Floor Area: _____

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) _____

Is project: new construction or remodeled.

Residential

Number of dwelling units 46 Lots Total of area (in square feet) _____
SITE SIZE 8.89 ACRES
SMALLEST LOTS 5280 SF
MIN 1982 SF
MAX 2430 SF
Total lot coverage of buildings or structures (in square feet) _____ Percentage of lot coverage MIN 37%
MAX 45% %

Number of off street parking spaces provided. Covered 2 SPACE (GARAGE) Open 2 SPACES (DRIVEWAY)

Total square feet of sign area _____ Total square feet devoted to recreation and open space _____ sq ft.

Give total percentage of lot devoted to recreation and open space _____ sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area _____

Describe type and material to be used on exterior walls and doors _____

Commercial

Gross floor area or building when complete _____ sq ft.

Describe sign (free standing, affixed to wall etc.) _____

Number of parking spaces provided _____ Number of customers expected per day _____

Hours and days of operation _____

Describe any outside storage of equipment or supplies: _____

Industrial

Describe any outside storage of equipment or supplies: _____

Maximum number of employees in any daily shift: _____

Number of delivery or shipping trucks per day: _____

Number of delivery or shipping trucks per day when construction is complete: _____

Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

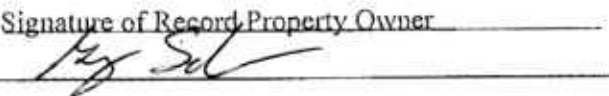
1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

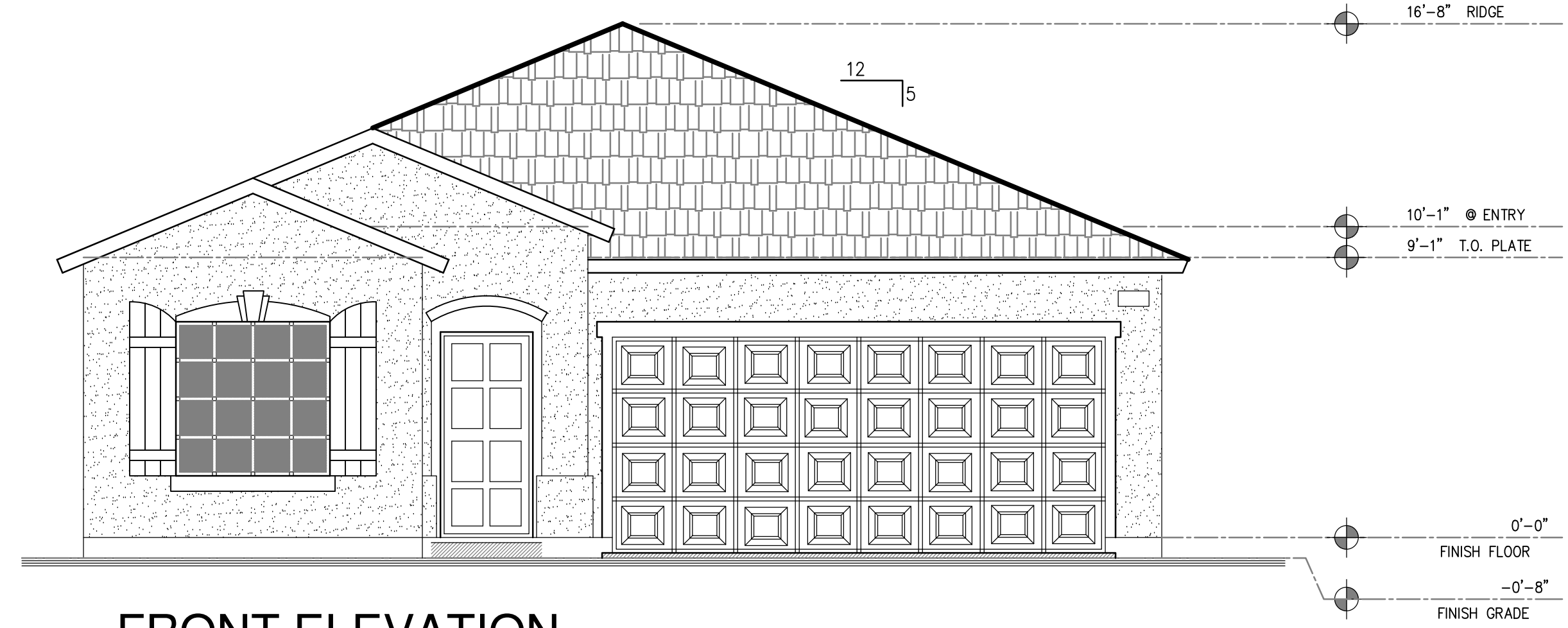
The undersigned hereby certify that the information presented in this application is correct.


Signature of Applicant

6-10-2024
Date

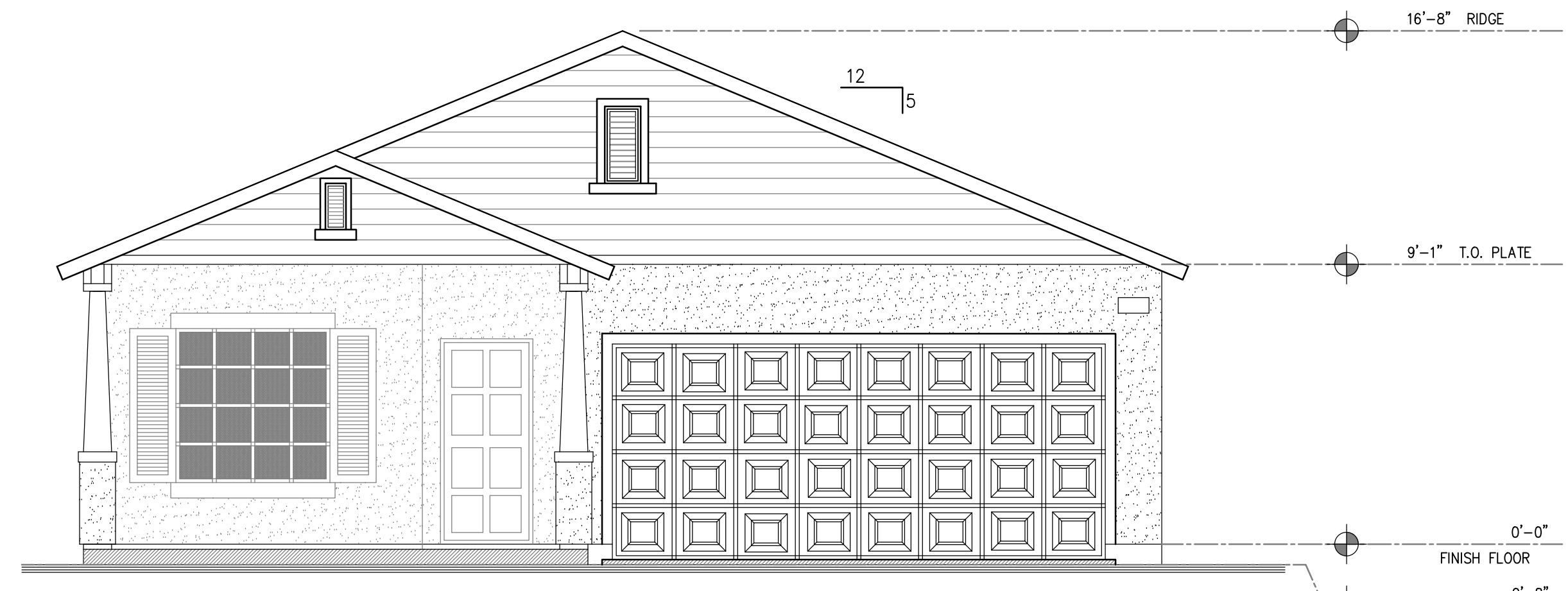

Signature of Record Property Owner

6-5-2024
Date



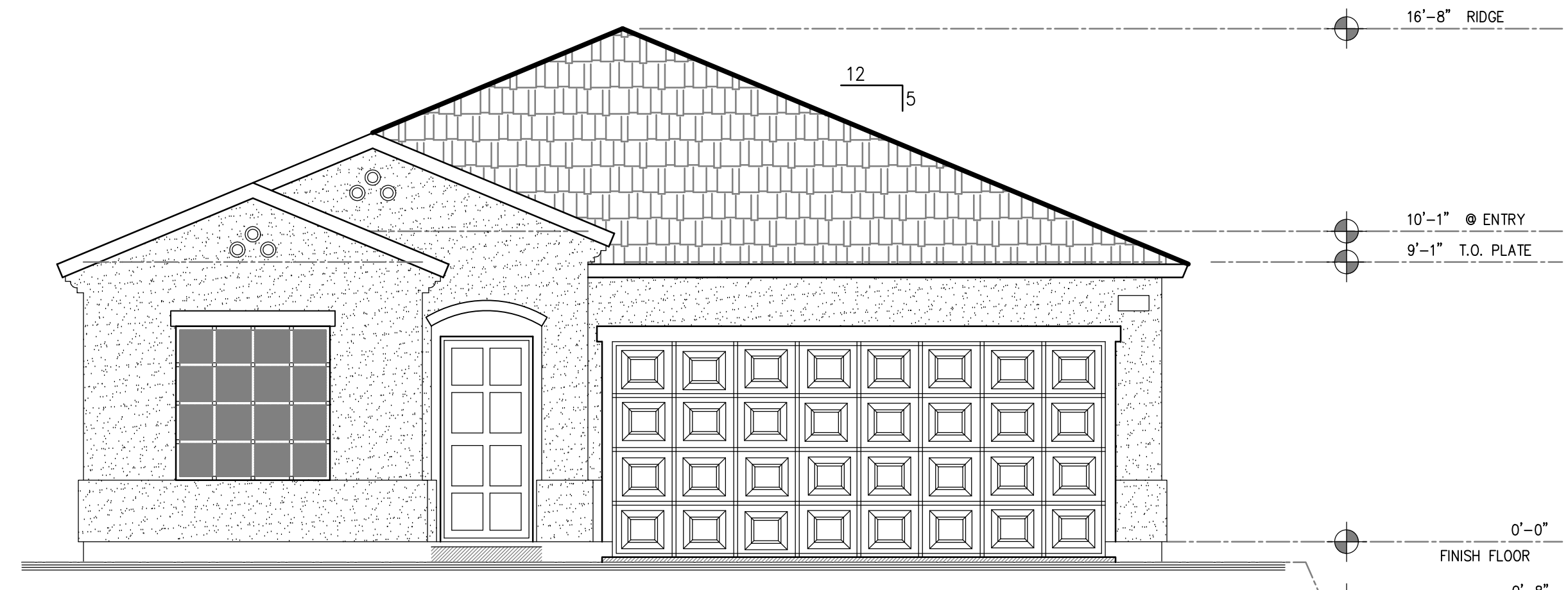
FRONT ELEVATION

ELEVATION "A" SCALE: 1/4" = 1'-0"



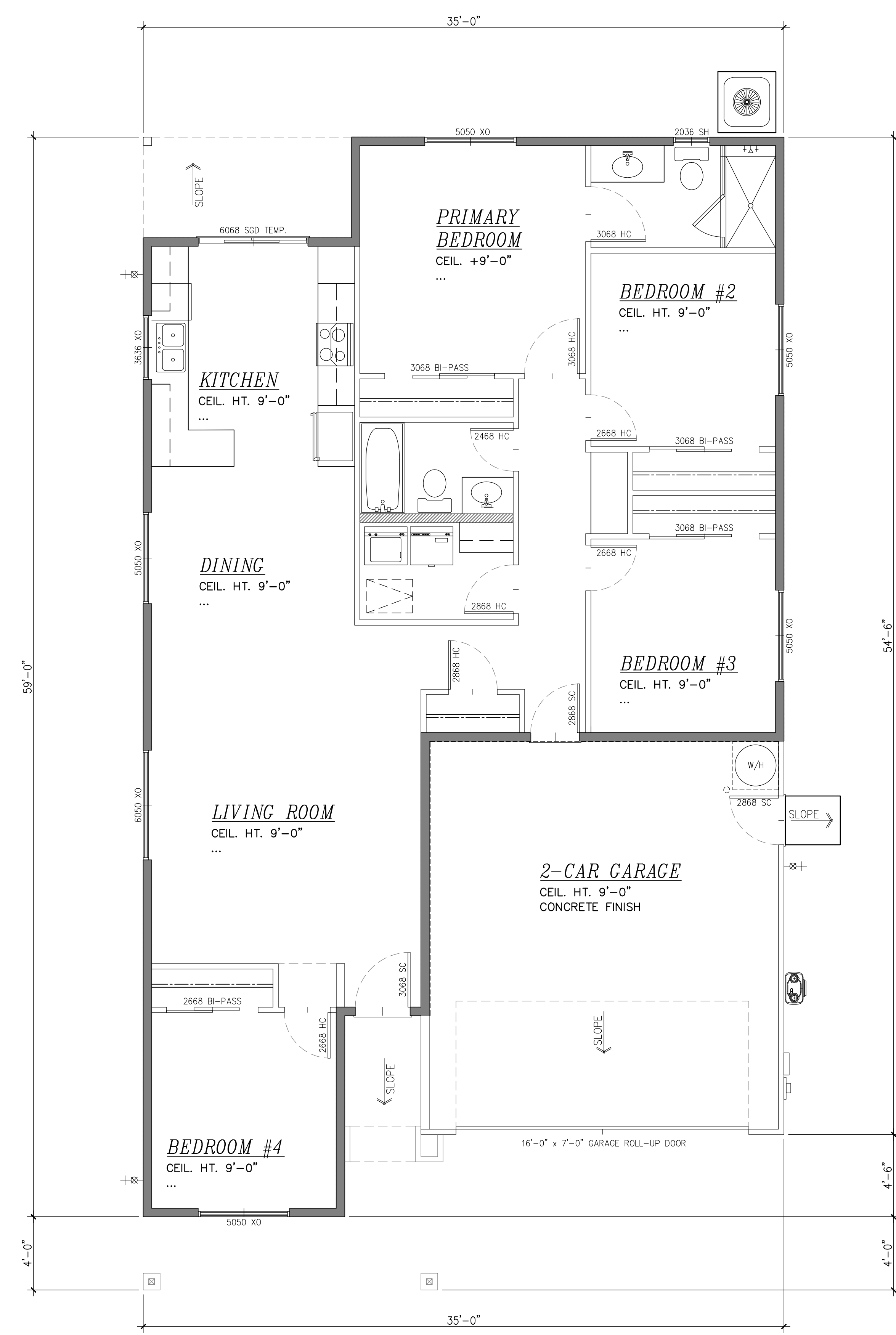
FRONT ELEVATION

ELEVATION "B" SCALE: 1/4" = 1'-0"



FRONT ELEVATION

ELEVATION "C" SCALE: 1/4" = 1'-0"



FLOOR PLAN

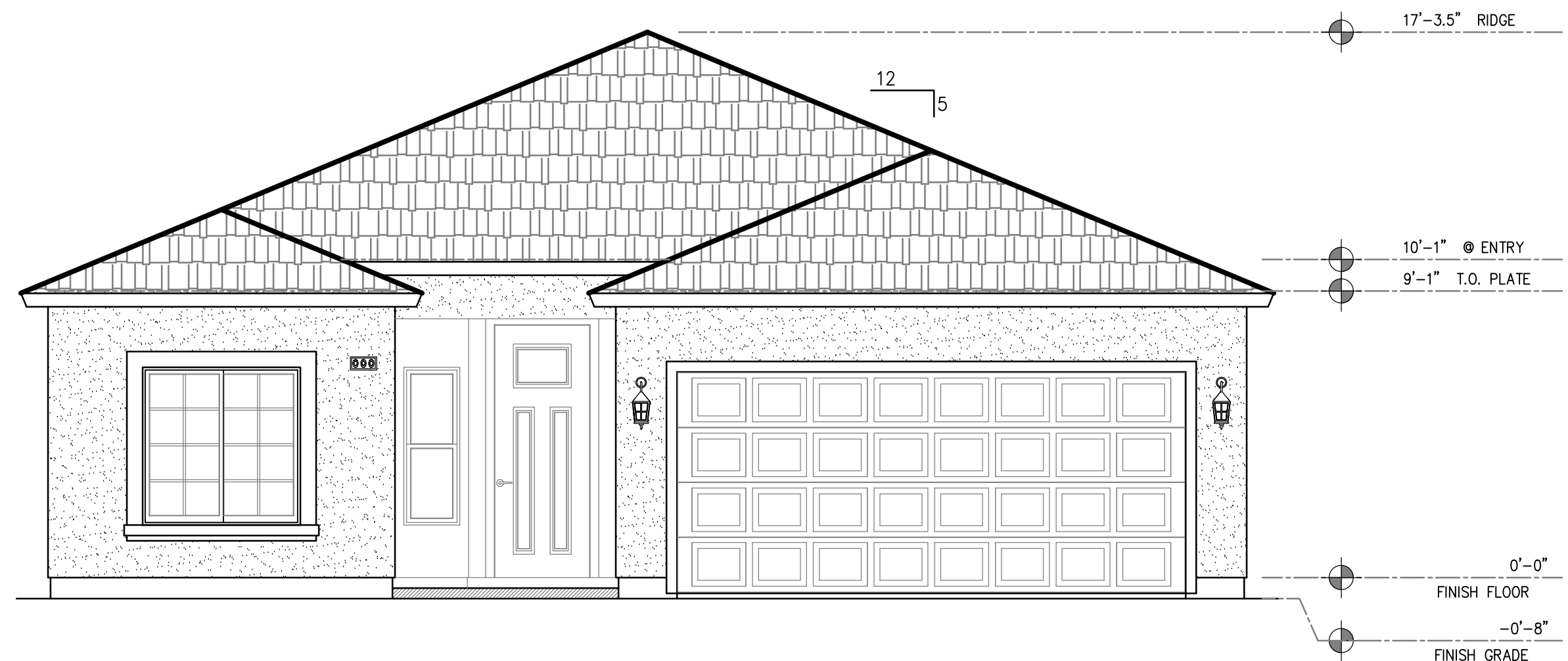
SCALE: 1/4" = 1'-0"

AREA TABULATION

LIVING AREA :	1,450 SQ. FT.
GARAGE AREA :	420 SQ. FT.
FRONT PORCH :	32 SQ. FT.
REAR PATIO :	60 SQ. FT.
TOTAL AREA :	1,962 SQ. FT.
MAX LOT COVERAGE:	1,962 SQ. FT.

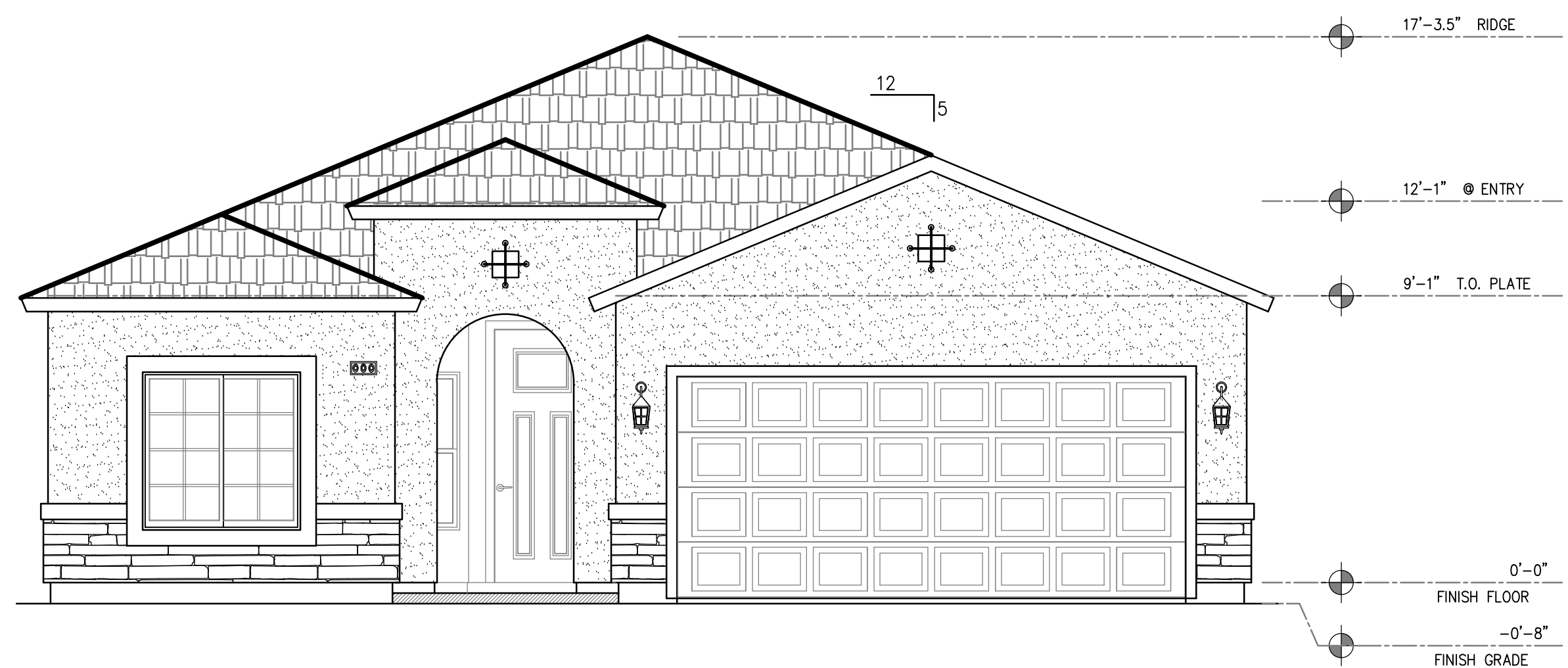
Revisions:

NO.	DESCRIPTION	DATE
0	SUBMITTAL	5/1/2024



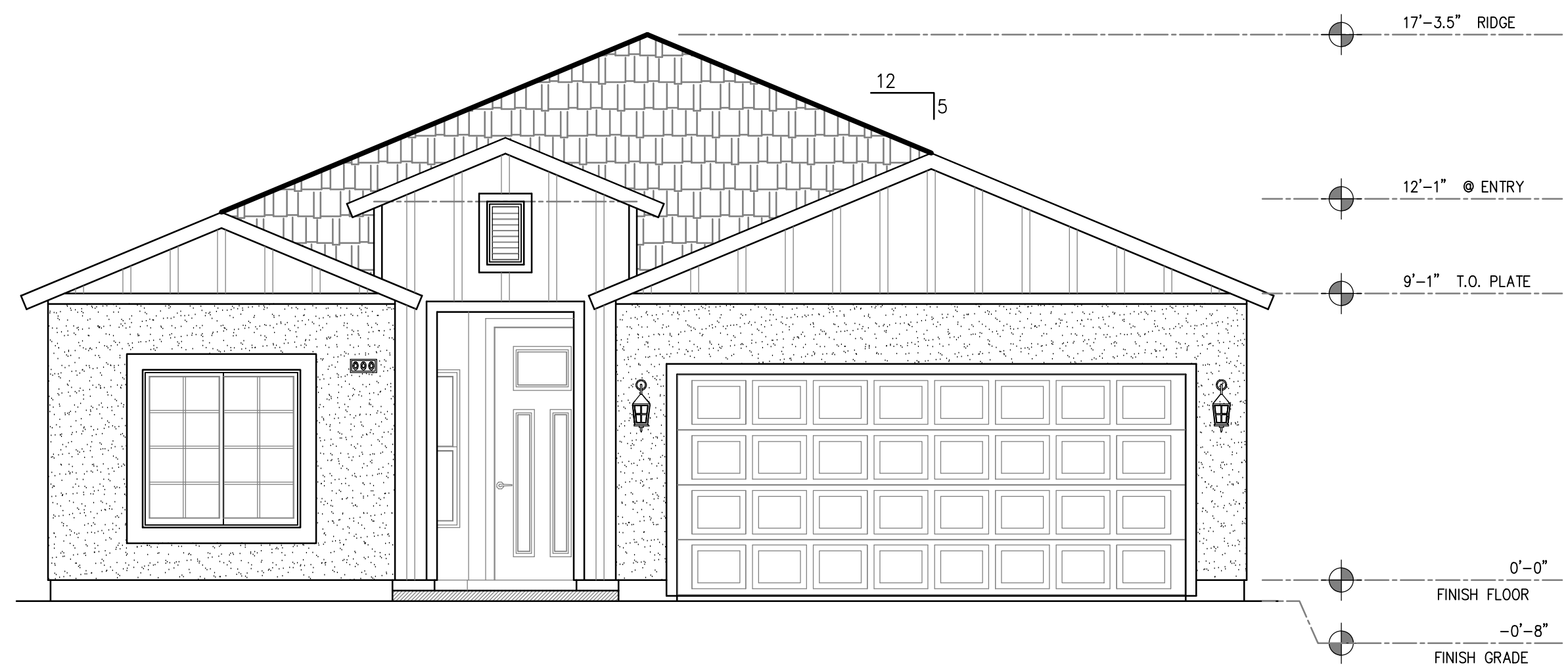
FRONT ELEVATION

ELEVATION "A" SCALE: 1/4" = 1'-0"



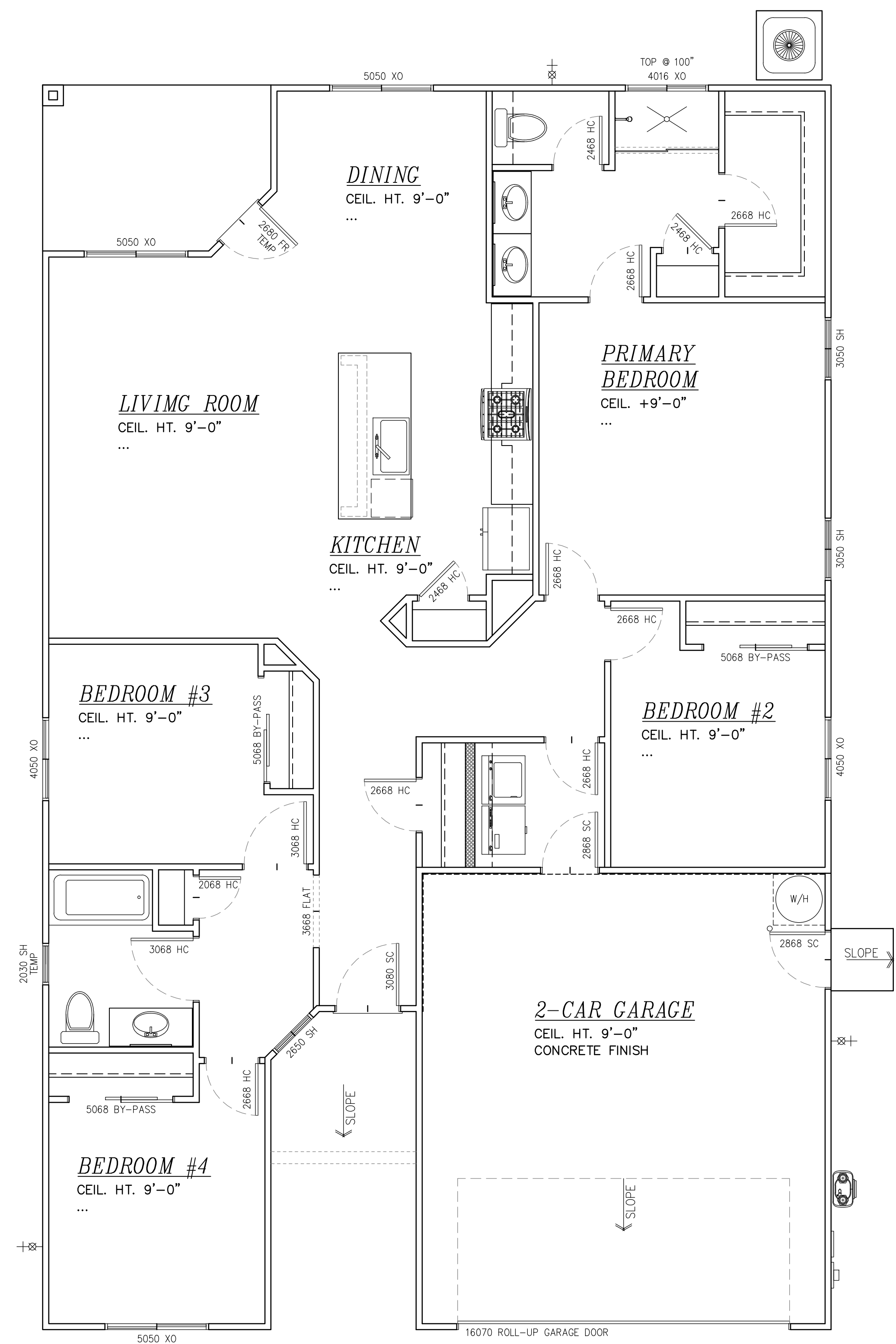
FRONT ELEVATION

ELEVATION "B" SCALE: 1/4" = 1'-0"



FRONT ELEVATION

ELEVATION "C" SCALE: 1/4" = 1'-0"

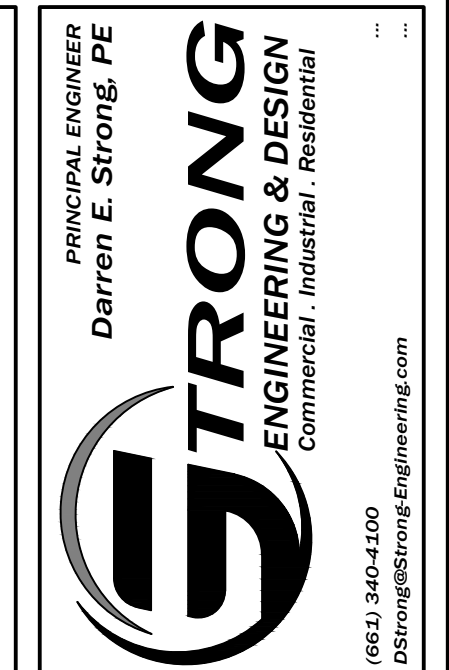


FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA TABULATION

LIVING AREA :	1,650 SQ. FT.
GARAGE AREA :	438 SQ. FT.
FRONT PORCH :	49 SQ. FT.
REAR PATIO :	85 SQ. FT.
TOTAL AREA :	2,222 SQ. FT.
MAX LOT COVERAGE:	2,222 SQ. FT.



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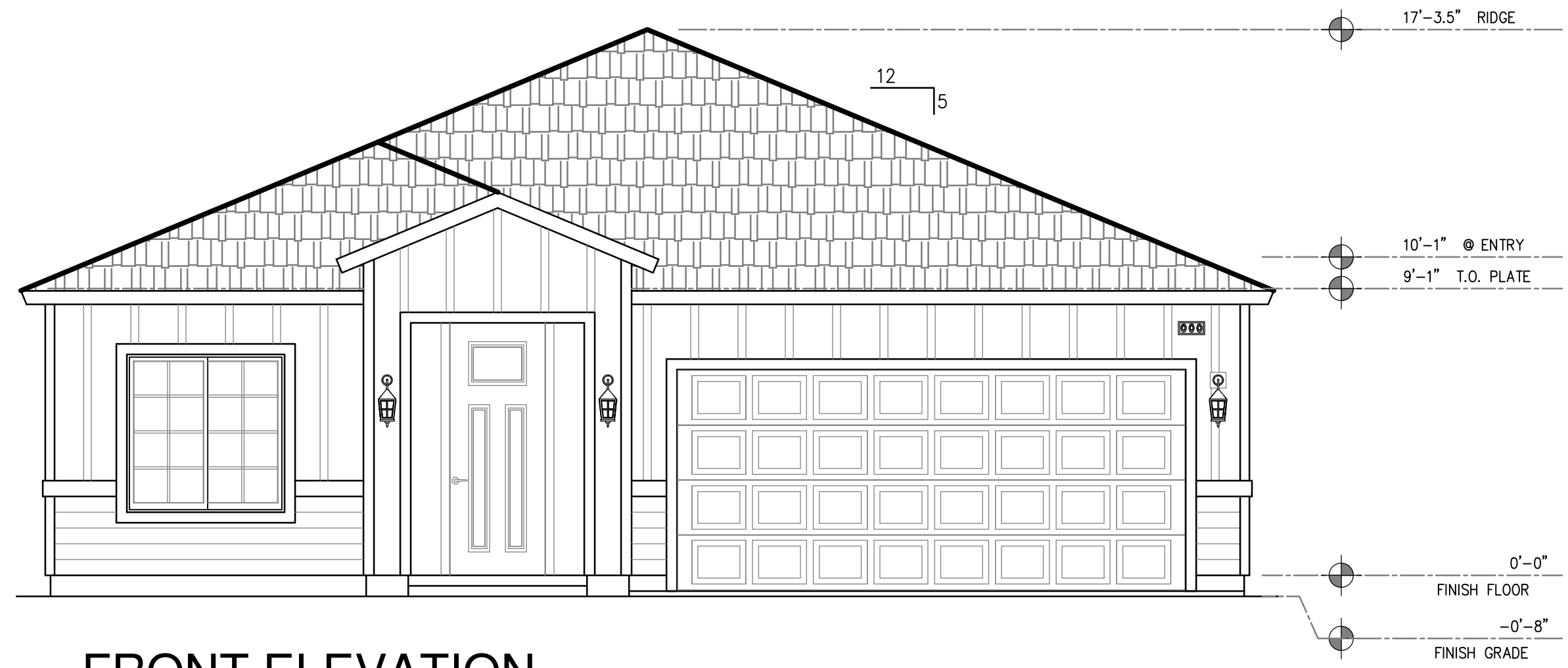
WM LLC
2837 Hidden Valley Road
Templeton, CA 93465

PROJECT:
1650 PLAN
Warthan Meadows II
Coalinga, CA

Revisions:

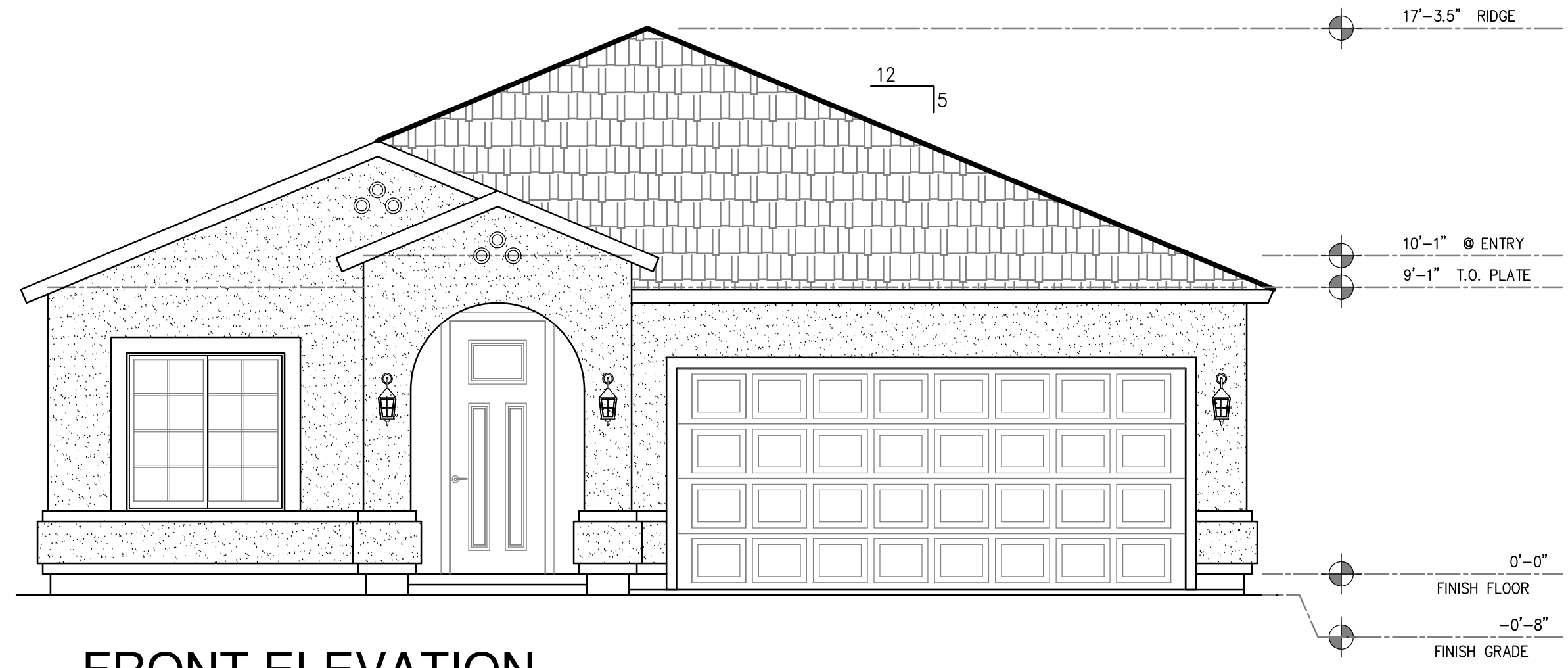
NO.	DESCRIPTION	DATE
0	SUBMITTAL	5/1/2024

PROJECT NO: 2024-2201	SHEET NO. A1.0
DATE: 5/1/2024	SCALE:
DRAWN BY: D. STRONG	PROJECT NAME: FLOOR PLAN
CHECKED BY: D. STRONG	



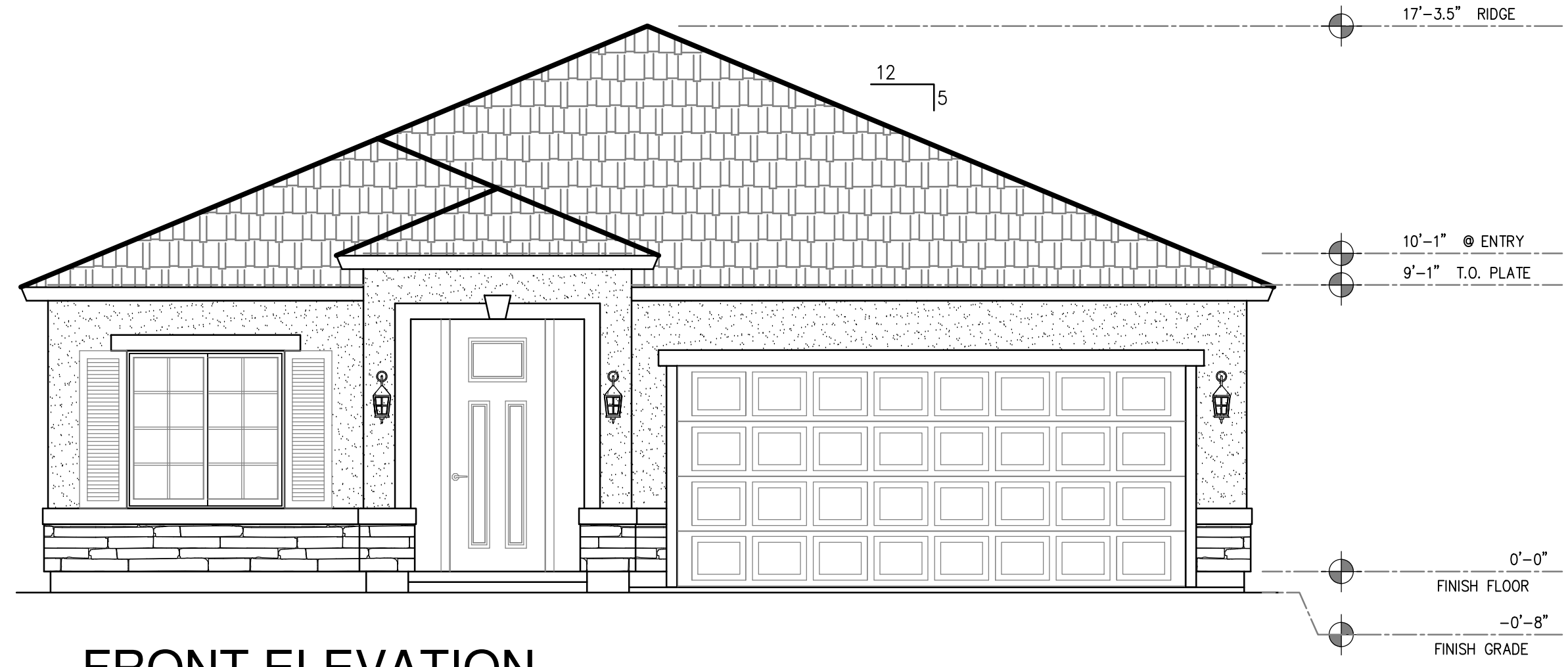
FRONT ELEVATION

ELEVATION "A" SCALE: 1/4" = 1'-0"



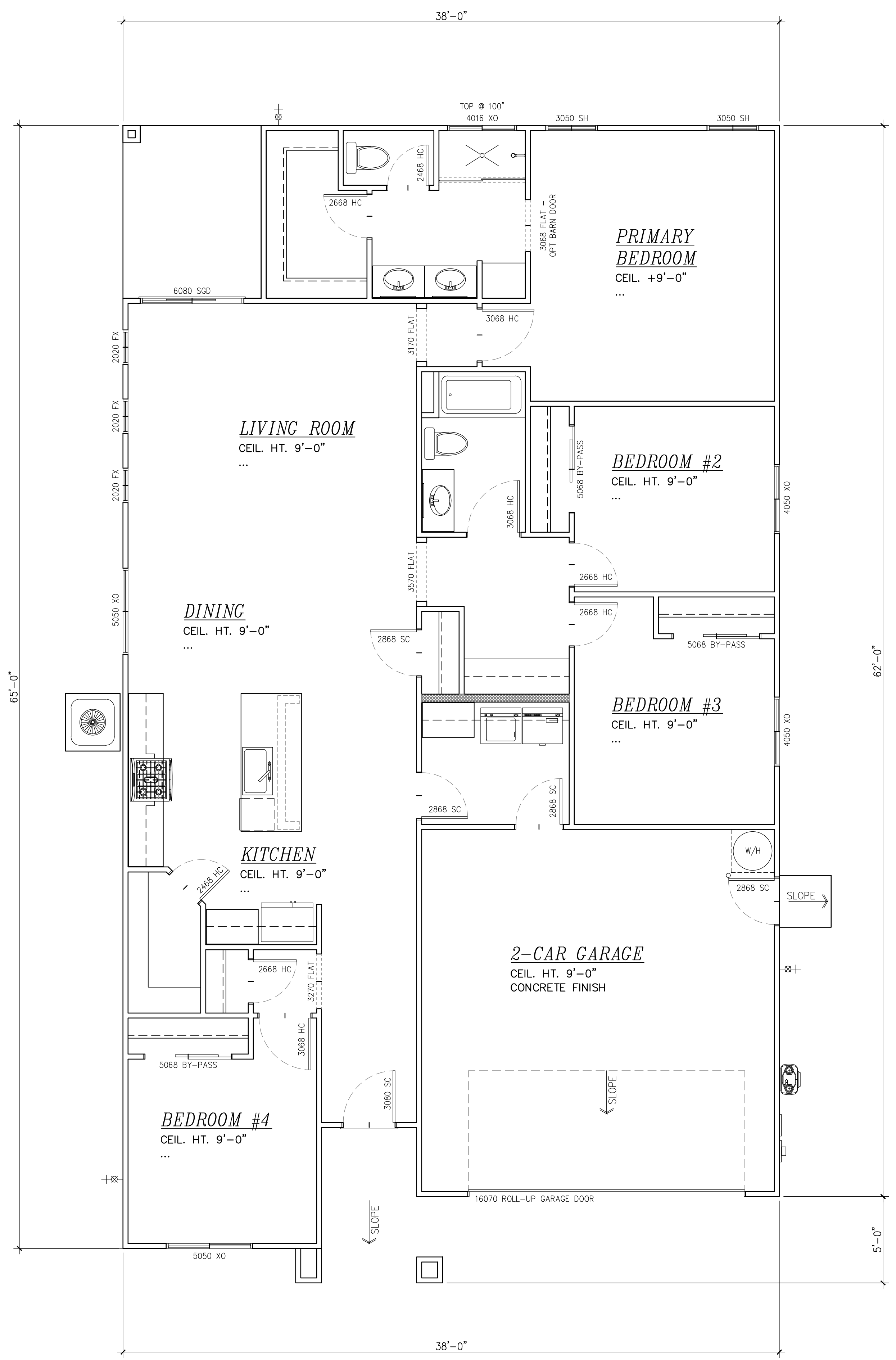
FRONT ELEVATION

ELEVATION "B" SCALE: 1/4" = 1'-0"



FRONT ELEVATION

ELEVATION "C" SCALE: 1/4" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA TABULATION

LIVING AREA :	1,850 SQ. FT.
GARAGE AREA :	440 SQ. FT.
FRONT PORCH :	60 SQ. FT.
REAR PATIO :	80 SQ. FT.
TOTAL AREA :	2,430 SQ. FT.
MAX LOT COVERAGE:	2,430 SQ. FT.

Revisions:

NO.	DESCRIPTION	DATE
0	SUBMITTAL	5/1/2024



Staff Report- Chairman and Planning Commission

Subject: Planning Commission Reorganization
Meeting Date August 13, 2024
Project Location:
Applicant:
Owner:
Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff is recommending that the Commission conduct a reorganization of the Chairman and Vice Chairman seats.

II. BACKGROUND:

The process for selecting a Chairman and Vice Chairman has occurred annually with the sitting Commission selecting a Chairman and Vice Chairman following a process of a nomination and a second of one of its sitting members and a vote. If the person received a simple majority of the vote, he/she becomes Chairman. The same process was then be conducted for the Vice Chairman.

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION: