CITY OF COALINGA
The Sunny Side of the Valley

AGENDA
PLANNING COMMISSION

TUESDAY SEPTEMBER 27, 2022

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

Notice is hereby given that the Planning Commission will hold a Regular Meeting, on September 27, 2022 in the City Council Chambers, 155 West Durian Avenue, Coalinga, CA. Persons with disabilities who may need assistance should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. Anyone interested in translation services should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. The Meeting will begin at 6:00 p.m. and the Agenda will be as follows:

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners: *Chairman Sailer*
Vice Chairman Jacobs
Commissioner Helmar
Commissioner Stoppenbrink
Commissioner Pruitt

Staff: *Sean Brewer, Assistant City Manager*
Marissa Trejo, City Manager

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during

the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

PUBLIC HEARINGS

1. Planning Commission Consideration of a Site Plan Review, Environmental Determination, and Master Sign Program with Variance; Land Use Application (CDA 22-01); Division of an Existing Commercial Building into Five (5) Tenant Spaces and Construction of a Thirty (30') Foot Center Identification Sign Located at 25 W. Polk Street.
2. Approval of a Conditional Use Permit for the Grocery Outlet at 25 W. Polk Street for the Approval of a Beer, Wine and Spirits License
3. Planning Commission Consideration of Conditional Use Permit 22-02 and Further Adopting Resolution No. 022P-010 Approving with Conditions a Commercial Cannabis Indoor Cultivation Facility Located at 9900 Cody Street

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN

CITY OF COALINGA
The Sunny Side of the Valley

Staff Report- Chairman and Planning Commission

Subject:	Planning Commission Consideration of a Site Plan Review, Environmental Determination, and Master Sign Program with Variance; Land Use Application (CDA 22-01); Division of an Existing Commercial Building into Five (5) Tenant Spaces and Construction of a Thirty (30') Foot Center Identification Sign Located at 25 W. Polk Street.
Meeting Date	September 27, 2022
Project Location:	25 W. Polk Street, Coalinga, CA 93210
Applicant:	Lorie Wnorowski c/o Homestead MP LLC, 500 Capital Mall, Suite 2350, Sacramento, CA 95814
Owner:	Ahmed M. Alamsi, 237 Academy Ave, Sanger, CA 93657
Prepared By:	Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 022P-009 with conditions for a site plan review, master sign program and variance at 25 W. Polk Street related to the remodel of the existing 100,035 square foot retail (old K-Mart) building.

II. BACKGROUND:

On August 29, 2022, the City of Coalinga received an application for site plan review, environmental review, master sign program and variance for the modification and remodel of the existing 100,035 square foot retail building at 25 W. Polk street (Old K-Mart Building) including the approval of a new multi-tenant pylon sign and variance related to sign height. In accordance with the Coalinga Planning and Zoning Code a site plan review is required for all additions or alterations to non-residential buildings that add or affect more than fifty (50) percent of the existing building floor area. The master sign program and variance are being submitted simultaneously to address the increase in sign area and height.

Once the application was deemed complete staff requested comments from the necessary City Departments. This proposal incorporates feedback from all City Departments.

III. PROPOSAL AND ANALYSIS:

The proposed project consists of taking the existing 100,035 square foot building and sub-dividing it into five (5) tenant spaces. Tenant spaces will include four (4) vanilla shells and one (1) shell with tenant improvements. Four (4) of the spaces will be retail and one (1) will be for future office use. Included will be upgrades to the

exterior elevations of the building including new facades, doors, parking lot improvements, modifications to hardscaping, sidewalks, landscape planters, and adding truck docks to the building. A subsequent conditional use permit (CUP) will be submitted by the future tenant for the office space as office space in the CR zoning designation requires issuance of a CUP.

Building Space	Square Footage
Suite 1 (Retail)	32,112
Suite 2 (Retail)	20,836
Suite 3 (Retail)	18,740
Suite 4 (Retail)	8,510
Suite 5 (Office)	14,902

In addition to the site plan, the project includes an application for the approval of a master sign program for the project signage to establish comprehensive and consistent signage guidelines for the future tenants of the divided buildings including the two (2) retail pads including a variance request for the new 30' pylon multi-tenant sign.

Land Use Compliance

The General Plan designation for the parcel is (CR) Retail Center with a zoning designation for Retail Center (CR). The purpose of the (CR) Retail Centers zoning designation is to maintain areas for regional shopping centers located at major circulation intersections. Large format or "big box" retail and auto sales as well as travel related services, such as hotels and gas stations are allowed.

The proposed changes to the building's architecture, taking the structure from an existing big box retailer to include more variation in building planes, colors, materials, and fenestration, as well as the proposed balance of uses at the site and in the Center help achieve concurrence with the General Plan, including:

- Goal LU-1: Preservation of the City's small-town character and neighborhood quality and long-term economic vitality of the community.
- Policy LU-1: Retain and expand diversified business opportunities that are compatible with the environment, community values and community vision of the City.
- Policy LU-3: Attract new businesses to the City that are compatible with the community vision and improve the balance among commercial, professional office, and industrial businesses so that the needs of Coalinga residents are provided for without compromising the community character, and
- Goal LU-3: High-quality commercial development in the City that provides for the needs of residents and encourages regional retail shopping.

Surrounding Land Use Setting:

Direction	Zoning
South	High Density Residential Use
West	Existing Retail Centers
East	Existing Retail Centers
North	Commercial

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code, a site plan review is required for all development projects within the City. The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in

conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

- The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
- The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, Zoning Ordinance, and any applicable plans adopted by the City.

Structure: The existing structure to be remodeled is 100,035 square foot and will be constructed in accordance with California Building Standards including all tenant spaces. It is the intent of the applicant to improve the site in accordance with the conditions of approval including constructing shells for each anticipated tenant space as described in the proposal and analysis section of this report.

Access: Access to the existing development will be via the existing driveways on Polk Street, Elm Ave and Forest Ave. No new access points will be created as part of this application. The project has been conditioned to review the existing access points for compliance with the latest ADA requirements. Facilities included as part of an ADA path of travel that are not standard will be required to be upgraded to current standards.

Utilities: All utilities are readily available for connection and/or upgrading to serve this development.

Parking: The existing site currently accommodates 385 parking spaces.
The Coalinga Municipal Code requires that when several uses occupy a single structure, the total required parking shall be the sum of the requirements for each individual use. The following table identifies total parking required for the proposed project:

Use	Requirement	Square Footage	Required Spaces
Office	1/300	14,902	50
Retail (Less than 10,000 SF)	1/300	8,510	29
Retail (10,000 – 50,000 SF)	1/400	71,688	180
ADA Accessible	1/25 (req. stalls)	NA	11
		TOTAL	**270**

There are areas of the parking lot that has deteriorated to state of disrepair and as a condition of approval the

applicant will be required to repair the surface of the parking lot which would include some type of slurry material and re-striping to city standards.

Loading spaces inclusive of docks have been included in this project which satisfies the on-site loading requirements of the code.

Refuse Containers: There are existing refuse container enclosure locations for the future tenant spaces. Any new refuse enclosures will need review and approval by the City of Coalinga's solid waste hauler.

Landscaping: There is currently on-site landscaping around the perimeter of the site as well as within the parking areas. The landscaping has gone to a state of disrepair and shall be revitalized both on the perimeter and within the parking areas. Landscaped areas shall be of drought/water resistant plant material with decorative gravel and boulders. No turf/grass shall be permitted. All landscaping shall be on drip irrigation.

The parking areas shall be landscaped in compliance with the planning and zoning code. A minimum of ten (10) percent of a parking lot shall be landscaped. A vehicle accommodation area shall include the area of a lot used by vehicles for access, circulation, parking, loading and unloading areas; it does not include space provided for display purposes or enclosed vehicle storage areas.

Landscaping shall be revitalized between streets and parking areas. A landscaped planter with a minimum width of five (5) feet shall be provided adjacent to any public or private street wherever parking or circulation is generally located adjacent to such rights-of-way. This will include Forest Ave, Polk Street and Elm Ave.

A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City. However, improvements such as these will need to be reviewed at time of building permit to ensure parking spaces maintain the dimensional requirements of the Municipal Code. The proposed trees will additionally address urban heat island concerns from the large expanses of parking lot at the Center.

Lighting: The existing lights in the parking lot of the subject property are required to be evaluated to determine they meet requirements of the Planning and Zoning Code. The code requires that lighting shall not exceed 0.5 foot-candles of illumination beyond the property while additionally requiring that parking areas have an average of one-half foot-candle illumination per square foot of parking area for visibility and security during hours of darkness. The project has been conditioned that all lighting shall be energy efficient, and the exterior lighting plan will be reviewed by the Police Department prior to building permit issuance.

Master Sign Program

The purpose of a Master Sign Program (MSP) is to provide a method for an applicant to integrate the design and placement of signs within a project with the overall development design to achieve a more unified appearance. A MSP is required whenever five (5) or more signs are proposed for a building or site with one or two (2) tenants. In this case there are five (5) future wall signs and a multi-tenant pylon sign. This master sign program will also incorporate standards for the future retail pad tenants to be located within this center. Applications for land use entitlements on those pads will come at a future date.

A copy of the MSP has been attached to this report for review and consideration. The MSP in broken into multiple sections from project overview, sign criterion for tenants, notice to the tenants and elevations of the proposed sign areas and shopping center identification sign.

The sign criteria that's identified in the MSP is consistent with that of the sign code permitting a maximum of two (2) signs per tenant frontage. At least one wall sign shall be permitted on any wall of a building which faces a public area, such as a street, mall plaza, or parking lot, or upon a private parking lot when such lot is built to the standards set forth in the Zoning Ordinance, clearly identifying the business name with minimal additional information. Window signage is not included under the maximum number of signs.

Number of Signs: The master sign program identifies wall signage and window signage.

Sign Area: Typical sign area for uses in the (CR) zoning district allows for 1 sq. ft. per 1 linear ft. of building frontage, up to a maximum of 200 sq. ft. The sign code also includes specific limitations on wall signs. The maximum area of a wall sign is 100 sf. or 15% of building façade, whichever is less.

Due to the size of this shopping center, the size of the building and building distance from the arterial streets, an increase in area per tenant is warranted. Under Section 9-4.506 – General Standards, all signs shall conform to the maximum area requirements specified in the code, unless a different limit is approved under a Master Sign Program. Below is comparison to what is being proposed for total sign area under the MSP and what the municipal code would permit absent the MSP:

Sign Type	Building Linear Frontage (f)	Allowable Sign Area (sf)	Proposed Sign Area or Maximum Area Allowed Under MSP (sf)	Deviation Needed Under MSP (sf)
Big Lots	125	125	186.4 or 1.5 sf. per lf. Building frontage	61.4 (49%+)
Ross	110	110	160 or 1.5 sf. per lf. Building frontage	50 (45%+)
Grocery Outlet	105	105	156.5 or 1.5 sf. per lf. Building frontage	51.5 (49%+)
Five Below	63	63	93.79 or 1.5 sf. per lf. Building frontage	30.79 (48%+)
Future Office Use	130	130	Max 195 (1.5 SF per linear foot of building frontage.)	65 (50%+)
Pole/Center Identification Sign	N/A	60 (tenant spaces)	45 (Total Tenant Space) - Remaining Exempt per Center Identification Signage Regulations	0

Staff feels that the MSP is a reasonable program suitable for this type of large shopping center. Staff feels that the master sign program meets all the findings for approval described below:

- The proposed signs are compatible in style and character with any building to which the signs are to be attached, any surrounding structures and any adjoining signage on the site;
- Future tenants will be provided with adequate opportunities to construct, erect or maintain a sign for identification; and
- Directional signage and building addressing is adequate for pedestrian and vehicular circulation and emergency vehicle access.

Sign Variance Findings for Center Identification Multi-Tenant Pole Sign

The proposed pole sign (Center Identification Sign with Tenant Signage) is proposed to be thirty (30) feet in height. The code allows for a maximum pole sign height of 20 feet. Since sign height deviations are not permitted under the master sign program, a variance must be applied in order to permit a sign higher than twenty (20) feet.

A variance shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria.

(1) There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district;

By combining these signs and allowing tenant identification at the Polk Street entrance, the Master Sign Program would eliminate pedestrian level visual clutter and enhance the overall aesthetics. Major tenants within commercial or mixed-use centers are each permitted to have a ground sign along with the traditional wall sign identification. In this instance, five (5) or more additional ground signs could be constructed at the front of the center. Since the majority of the tenants are located in the rear of the property, allowing a single multi-tenant sign with additional height would make it easier for business to be identified and seen from a distance.

(2) Such special circumstances were not by the owner or applicants;

This property is located in the (CR) zoning district where it is expected to accommodate multiple retail tenants where a center identification sign is to be expected. Since this sign is a combination of a center identification sign (The Homestead Marketplace) and pole sign, the discretion to review and consider an alternative height is necessary.

(3) The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

Increasing the height to 30’ is not granting special privilege to a particular owner or applicant as other shopping centers in the similar zoning district may be afforded the same consideration when considering the placement and visibility of its tenants including access from higher capacity roadways where visibility of signage is safer at a further distance.

Environmental Considerations

The project has been reviewed in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and has been determined to be categorically exempt pursuant to Sections 15301(a), and 15332 of the CEQA Guidelines regarding existing facilities and in-fill development projects in urban areas.

Public Notification

On September 15, 2022 public hearing notices were sent to all property owners within 300 feet of the site as required by Local and State law.

IV. FISCAL IMPACT:

This project is expected to contribute to an increase in sales tax and property tax to the City of Coalinga to provide essential services to the Community.

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the Coalinga zoning code in the following respects:

Site Plan Review Findings:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:

- Facilities and improvements;
    - Vehicular ingress, egress and internal circulation;
    - Setbacks;
    - Height of buildings;
    - Location of services;
    - Fences and/or walls;
    - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;
- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

Master Sign Program Findings:

- The proposed signs are compatible in style and character with any building to which the signs are to be attached, any surrounding structures and any adjoining signage on the site;
- Future tenants will be provided with adequate opportunities to construct, erect or maintain a sign for identification; and
- Directional signage and building addressing is adequate for pedestrian and vehicular circulation and emergency vehicle access.

Variance Findings:

- There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district;
- Such special circumstances were not by the owner or applicants;
- The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

ATTACHMENTS:

Description

Site Plan & Environmental Review Application

- Variance Application
- Master Sign Program
- Site Plan Package
- Project Elevations
- Resolution 022P-009 with MSP

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

CDA 22-01
Application Number

8/29/22
Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: Ahmed M. Alamsi

Mailing Address: 237 Academy Ave, Sanger, CA 93567

Telephone Number: 559-930-8638 Assessors Parcel Number: 083-080-60

Property Location (Street Address): 25 W Polk Street, Coalinga, CA 93210

Property is located: South side of E Polk Street Street, between W Elm Ave Street and W Forest Ave Street

PROJECT INFORMATION:

Current Zoning: CR - Retail Center Proposed Zoning CR - Retail Center

Existing Floor Plan: 100,035 SF Proposed Floor Area: 100,035 SF

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) Improve the existing retail building by sub-dividing it into 5 tenant spaces.

Is project: ☐ new construction or ☒ remodeled.

Residential

Number of dwelling units _____ Total of area (in square feet) _____

Total lot coverage of buildings or structures (in square feet) _____ Percentage of lot coverage _____%

Number of off street parking spaces provided. Covered _____ Open _____

Total square feet of sign area _____ Total square feet devoted to recreation and open space _____sq ft.

Give total percentage of lot devoted to recreation and open space _____sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area _____

Describe type and material to be used on exterior walls and doors _____

Commercial

Gross floor area or building when complete 100,035 sq ft.

Describe sign (free standing, affixed to wall etc.) 5 Building (wall) signs and 1 30' Pylon Sign

Number of parking spaces provided 385 Number of customers expected per day 1,000 +/-

Hours and days of operation TBD - Normal Retail Business Hours

Describe any outside storage of equipment or supplies: N/A

Industrial

Describe any outside storage of equipment or supplies: _____

_____

Maximum number of employees in any daily shift: _____

Number of delivery or shipping trucks per day: _____

Number of delivery or shipping trucks per day when construction is complete: _____

Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements:
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.

Signature of Applicant _____ Date 8/19/2022

Signature of Record Property Owner _____ Date 8/19/2022

CITY OF COALINGA
ENVIRONMENTAL REVIEW APPLICATION

CDA 22-01
Application Number

8/29/22
Date

APPLICANT INFORMATION:

Applicant: Lorie Wnorowski c/o Homestead MP, LLC

Mailing Address: 500 Capitol Mall, Suite 2350, Sacramento, CA 95814

Telephone Number: (925) 3 8-1890 Assessor Parcel Number: 083-0 8-60

Property Owner's Name: Ahmed M. Alamsi

Property Owner's Address: 237 Academy Ave, Sanger, CA 93657

Contact Person: Lorie Wnorowski

PROPERTY USE INFORMATION:

Size of Parcel (Square Feet/Acres) 7.754 acres

Describe Existing Use of Property: Property currently exists of a 100,035 SF building that used to be K-Mart.

Square Feet of Existing Building Area 100,035 sf Square Feet of Existing Paved Area 7.75 acres +/-

Current Zoning CR - Retail Center Proposed Zoning CR - Retail Center

Describe in General Terms Existing Uses to the:

North: General Commercial/Gas Stations

South: Residential

East: Retail Center/Burger King/SaveMart

West: Retail Center/Service Commercial (Commercial Fueling Station)

Are there any man-made or natural water channels on property? No

If there are, where are they located N/A

Number of existing trees on the site 45 +/- Number of trees to be moved (Age & Type) N/A

Residential

a. Number of Dwelling Units: _____ b. Unit Size(s) _____

c. Range of Sales Prices and/or Rents (projected): _____

d. Type of Household Size Expected: _____

Commercial

a. Orientation:
Neighborhood: _____

City or Regional: _____

b. Square Footage of Sales Area: _____

c. Range of Sales Prices and/or Rents (Projected): _____

d. Type of Household Size Expected: _____

e. Number of Employees: Full Time _____ Part Time _____ Seasonal _____

f. Days and Hours of Operation _____

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Lorie Wnorowski
Signature of APPLICANT/AGENT

Lorie Wnorowski
Name of APPLICANT/AGENT (Please Print)

500 Capitol Mall, Suite 2350, Sacramento, CA 95814
Mailing Address

925-348-1890
Telephone Number

Ahmed M. Alamsi
Signature of OWNER

Ahmed M. Alamsi
Name of OWNER (Please Print)

237 Academy Ave
Sanger, CA 95814
Mailing Address

559-300-8638
Telephone Number

CITY OF COALINGA
The Sunny Side of the Valley

City of Coalinga
Community Development Department

APPLICATION FOR ENVIRONMENTAL EVALUATION

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Ahmed M. Alamsi

PROPERTY OWNER'S ADDRESS: 237 Academy Ave, Sanger, CA 93657

TELEPHONE: 559-300-8638 EMAIL: mike@statefoods.net

APPLICANT'S NAME, COMPANY/ORGANIZATION: Lorie Wnorowski

APPLICANT'S ADDRESS: 500 Capitol Mall, Suite 2350, Sacramento, CA 95814

TELEPHONE: 925-348-1890 EMAIL: Lorie@kozrealestate.com

CONTACT FOR PROJECT INFORMATION: Same as Applicant

ADDRESS:

TELEPHONE: EMAIL:

2. Location and Classification

STREET ADDRESS OF PROJECT: 25 W Polk Street, Coalinga, CA 93210

CROSS STREETS: E Polk Street and W Forest Ave

ASSESSOR'S PARCEL NUMBER(S): 083-080-60

LOT DIMENSIONS: 668' x 653' +/- LOT AREA (SQ FT): 7.754 acres

ZONING DESIGNATION: CR - Retail Center GENERAL PLAN DESIGNATION: TBD

3. Project Description (please check all that apply)

- ☐ Change of Use
- ☐ Change of Hours
- ☐ New Construction
- ☒ Alterations
- ☐ Demolition
- ☐ Other (please clarify):

PRESENT OR PREVIOUS USE: K-Mart/Retail

PROPOSED USE: Retail

BUILDING APPLICATION PERMIT #: TBD DATE FILED:

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Project Features				
Dwelling Units				
Parking Spaces	385			385
Loading Spaces				
Bicycle Spaces				
Number of Buildings	1			1
Height of Buildings			Max 40'	Max 40'
Number of Stories	1			1
Gross Square Footage (GSF)				
Residential				
Retail	80,198 SF			80,198 SF
Office	14,092 SF			14,092 SF
Industrial				
Parking	243,000 SF +/-			243,000 SF +/-
Other _____				
Other _____				
Other _____				
Total GSF				

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

This project consists of taking the existing K-Mart building and sub dividing into 5 tenant spaces. Tenants spaces will include 4 Vanilla Shell and 1 Shell/TI. 4 of the spaces will be Retail tenants and 1 will be Office space. There will be upgrades to the exterior including the additional of new doors for each tenant space, parking lot re-striping, modifications to the hardscape, sidewalks, landscape planters, and adding truck docks to the building.

All Projects

Land Use

What is the current use of the site? Retail / Vacant K-Mart building

Please list all previous land uses of the site for the last 10 years. Retail

Neighborhood Contact

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, Neighborhood Associations, Business Associations, or Community Groups in the project area.

N/A

Site Characteristics

Providing the following information regarding the environmental setting with your application is one of the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested in order to conduct the environmental review of your project.

Are there any structures or buildings on the project site? ☒ Yes ☐ No

If yes, how many? 1 Building

What is the construction date of each structure? 1992 +/-

Current use of existing structure(s)? Vacant

Proposed use of existing structure(s)? Retail/Office

Are there any trees on the project site? ☒ Yes ☐ No

Are any trees proposed to be removed? ☐ Yes ☒ No

Does the site contain any natural drainage ways? ☐ Yes ☒ No

Does the site contain any wetland areas or areas where water pools during the rainy season? ☐ Yes ☒ No

What land uses surround the project site? (i.e., single-family residential, commercial, etc.)

Please describe: Commercial Retail, Commercial Service, Residential

Are you proposing any new fencing or screening? ☐ Yes ☒ No

If yes, please describe the location, the height, and the materials (i.e., wood, masonry, etc.) of the fencing._____

_____

Is there parking on-site? ☒ Yes ☐ No

If yes, how many spaces are existing (for the entire property) and how many are proposed on-site for the project?

Existing unknown

Proposed 385

Is any parking proposed off-site? ☐ Yes ☒ No

If yes, where will it be located and how many spaces?_____

Are you proposing new signs with the project? ☒ Yes ☐ No

If yes, please describe the number and type. 5 Building Signs and 1 30' Pylon Sign

Are there any easements crossing the site? ☐ Yes ☒ No

Are there any trash/recycling enclosures on-site? ☐ Yes ☒ No

If yes, what is the size/height/materials of the enclosure(s) and where are they located?

_____

What is the total number of cubic yards allocated for recycling?_____

Building Setback from Property Lines		
	Existing (feet/inches)	**Proposed (feet/inches)**
Front	352' +/-	352' +/-
Rear	47' +/-	47' +/-
Streetside	50' +/-	50' +/-
Interior Side	45' +/-	45' +/-

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other properties, please write "N/A."

1st Address: 275 W Forest Ave 2nd Address: 156 E Polk Street

Setback: 240' +/- Setback: 60' +/-

Exterior Materials

Existing Exterior Building Materials: CMU with wood siding accents

Existing Roof Materials: Single ply ballasted roofing for the main roof, concrete tile for the entry feature

Existing Exterior Building Colors: Earth tone CMU with gray, white, and green painted accents

Proposed Exterior Building Materials: See below*

Proposed Roof Materials: See below**

Proposed Exterior Building Materials: Earth tones in the beige and dark brown range.

*Existing CMU to remain, add EIFS, fiber cement siding, and standing seam metal roofing

**No change to main structure, new entry features will be a mix of TPO and standing seam metal roofing

Residential Projects

Fill in this section if your project has residential units. Complete both residential and non-residential sections if you are submitting a mixed-use project. Provide information below for the proposed project unless the question specifically requests information on the existing conditions of the property.

Total Number of Lots:_____ Net Acreage of Site:_____
Total Dwelling Units:_____ Density/Net Acre:_____

# of Single-Family Units:_____ # of Duplex/Half-Plex Units:_____
# of Multi-Family/Apartment Units:_____ # of Condominium Units:_____

Structure Size

Please identify the size of all existing structures to be retained (identify separately).

Residence Gross Square Footage:_____
Garage Gross Square Footage:_____
Other Gross Square Footage:_____

Size of new structure(s) or building addition(s): Gross Square Footage:_____

Total Square Footage:_____

Building Height

Building height means the vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the plate line, where the roof meets the wall.

Existing Building Height and # of Floors (from ground to the plateline):_____
Existing Building Height and # of Floors (from ground to the top of the roof):_____
Proposed Building Height and # of Floors (from ground to the plateline):_____
Proposed Building Height and # of Floors (from ground to the top of the roof):_____

Lot Coverage

Total Building Coverage Area* (proposed new and existing to be retained) (sq. ft.):_____
Project Site Lot Area (sq. ft.):_____
Total Lot Coverage Percentage:_____

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)
* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Non-Residential Projects

Fill in this section if your project has a non-residential component. Complete both residential and non-residential sections if you are submitting a mixed-use project.

Hours of operation of the proposed use: Normal Business Hours / Retail
If your project includes fixed seats, how many are there? N/A

Building Size

Total Building Square Footage On-Site (gross sq. ft.) 100,035 SF

Breakdown of Square Footage – Please Mark All That Apply		
	Existing	**Proposed**
Warehouse Area		
Office Area		14,092 SF
Storage Area		
Restaurant/Bar Area		
Sales Area		80,198 SF
Medical Office Area		
Assembly Area		
Theater Area		
Structured Parking		
Other Area*		
*Describe use type of "Other" areas.		

Building Height

Existing Building Height and # of Floors: Unknown
Proposed Building Height and # of Floors: Max 40' / 1 Floor

Lot Coverage

Total Existing and Proposed Building Coverage Area* (sq. ft.): 94,290
Project Site Lot Area (sq. ft.): 337,764
Total Lot Coverage Percentage: 28% +/-

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)
* Include all covered structures (patios, porches, sheds, detached garages, etc.)

CITY OF COALINGA
VARIANCE TO
ZONING ORDINANCE APPLICATION

CDA 22-01
Application Number

8/29/2022
Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: Lorie Wnorowski c/o Ahmed Alamsi

Applicant's Mailing Address: 500 Capitol Mall, Suite 2350, Sacramento, CA 95814

Telephone Number: 925-348-1890 Assessor Parcel No. 083-080-59S & 083-080-60S

Property Location (Street Address): 25 W Polk Street, Coalinga, CA 93210

Legal Description (lot, block, tracts, etc.): See attached Parcel Map

PROPERTY USE INFORMATION:

Current Zoning: CR - Commercial Retail Center Existing Use: Vacant K-Mart Building and Vacant Dirt lot

Existing Number of Lots: 2 Proposed Number of Lots: 2

Area of Parcel (s) 083-080-59S (0.89 acres) & 083-080-60S (7.75 acres)

Proposed Use: Commercial Retail Center (multi-tenant)

The answers to the following questions must be made full and complete.

1. What are the special circumstances applicable to the property involved or to the intended use of the property, including size shape topography location, or surroundings (but not including monetary hardship), That do not apply generally to other property in the same zone or vicinity? The existing sign requirement doesn't allow for the number of tenant panels we are proposing.

2. What are the reasons that the property involved is unique and that such variance is necessary for the preservation and enjoyment of a substantial property right? The proposed sign will give enhanced visibility for customers and tenants in the center.

3. Would the proposed uses be materially detrimental to the public welfare or injurious to persons or property in the vicinity? No

4. What were the original deed restrictions, if any, affecting the use of the property involved? Give the expiration date of these restrictions.
N/A

5. When was the above described property acquired by the applicant? Currently under negotiation. Closing in September 2022

6. What are the provisions of the ordinance from which you are requesting a variance? Allowable height requirement is currently 20'. We are proposing a 30' Pylon sign to accommodate 8 tenant panels along with the sign that references the centers name.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required as applicable.

The forgoing statement and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signature of APPLICANT/AGENT

Lorie Wnorowski
Name of APPLICANT/AGENT (Please Print)

500 Capitol Mall, Suite 2350, Sacramento, CA 95814
Mailing Address

(925) 348-1890
Telephone Number

Signature of OWNER

Ahmed Alamsi
Name of OWNER (Please Print)

237 Academy Ave, Sanger, CA
Mailing Address

(559) 300-8638
Telephone Number

KOZ Real Estate

25 W Polk Street
Coalinga, CA 93210

MASTER SIGN PROGRAM

LOREN INDUSTRIES

First Draft July 2022

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EXHIBITS

EXHIBIT A. - Elevations/Wall Signs
EXHIBIT B. - Shopping Center Identification Signage

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1 OF 17

CLIENT:
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ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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SECTION I – PROJECT OVERVIEW

The purpose of the criteria is to establish a coordinated sign program that will afford each tenant adequate identification while achieving an attractive and harmonious overall appearance among the leased spaces. All signs shall be compatible with the architectural style, design, material and color of the building.

A. LANDLORD APPROVAL

1. Tenant shall submit (4) four copies of the sign design drawings of the proposed signs to the Landlord/Agent for approval prior to fabrication of such signs.
2. Drawings are to be prepared by a reputable state-licensed sign contractor.

B. CITY APPROVAL & PERMITS

1. Permits are required for all signs except those specifically exempt from the City of Coalinga permit requirements.
2. All new Tenants and their sign contractors are advised to conform to the Uniform Building Code and conform with the current sign ordinance where applicable.
3. All permissible signs shall be subject to sign review by the City of Coalinga Community Development Department. The applicant, pursuant to landlord approval, shall file a city application signed by the property owner including both accurate owner and applicant information. Appropriate fees shall be paid and four (4) sets of conceptual drawings approved and signed by the landlord are to be submitted including:
   a. Site plan displaying lot dimensions and the size and location of all existing and proposed signs on the property.
   b. Front elevation and cross section of the proposed sign showing the color(s), color number(s), materials, dimensions, grade level, copy size and letter style.
   c. Fabrication and install details, including structural and engineering data.
   d. Two (2) sets of engineering data, when required, to be signed and stamped by a person competent and qualified to prepare such information.
4. Applications for Sign and Building Permits are to be prepared by a reputable state licensed contractor and require the contractor's signature.
5. Upon approval by the City of Coalinga Planning Division, the applicant shall apply to the Building & Safety Division for necessary permits prior to install.

C. RESPONSIBILITY FOR WORK

Tenant shall be fully responsible for the work of its sign contractors. Such responsibility shall include, but not be limited to the following:

1. The Tenant shall pay for all fees, permits, variance, signs, installation, materials, repairs and maintenance. In addition, Tenant is responsible for the cost of electricity to operate said electrical signage.
2. Each Tenant, or its sign contractor, shall be responsible for the repair of any and all damage caused by the installation and/or removal of the Tenant's sign. Repairs are to be made within (15) days of initial damage or malfunction or prior to final inspection by an authorized representative of the City of Coalinga.
3. Tenant's sign company shall manufacture and install in a complete and workmanlike manner, any sign of the Tenant at the approved sign locations.
4. Tenant shall, upon vacating the premises, be responsible for removal of his/her sign, and for any and all repairs and paint required as the result of such removal. All such repairs and painting shall be made prior to Tenant's vacating the premises.
5. Any sign installed by Tenant which is not in conformance to the current City Ordinance and/or City approved drawings shall be corrected by Tenant within fifteen (15) days.
6. In the event Tenant's sign is not brought into conformance within the stipulated period, Landlord has the right to correct said sign at Tenant's expense. The same applies to removal and repair of burned lights, broken sign face, defaced signs, etc.
7. Tenant acknowledges that the Landlord gives no assurances that a sign approved by the Landlord, which is consistent with these Criteria, will be acceptable to the government entity with authority to approve signs. Tenant shall be solely responsible for bringing the Tenant's sign into compliance with all local rules and ordinances.
8. Maintenance or replacement of signs due to weathering, damage, etc. shall be the responsibility of the Tenant.

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D. PROHIBITED SIGNS

Any illegal non-conforming or unapproved sign is strictly forbidden. Prohibited signs include the following:

1. Flashing, moving, pulsating or intermittently lighted signs.
2. Signs which conflict with any traffic control device due to color, wording, design, location or illumination, or with the safe and efficient flow of traffic, both vehicular and pedestrian.
3. Cabinet or Canister signs.
4. A sign attached to, or written upon, an awning, a sign protruding over public sidewalk and /or right-of-way.
5. Building, parapet and roof signs.
6. Banners, balloons, pennants, streamers, flags, and other such advertising devices, except as a temporary sign; subject to Planning Division approval of a Temporary Sign Permit.
7. Painted signs.
8. A-frame signs.
9. Neon window signs and borders.
10. Any signs as prohibited by the City Coalinga Municipal Code.
11. Exposed raceways, transformers, or conduits.
12. Foam letters.
13. Pole signs.
14. Movable and temporary signs
15. Vehicle Signs
16. Sign Manufacturer logos

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SECTION II – SIGN CRITERIA

A. Wall Signs (See Pages 8 & 9)

Wall Signs on the building shall consist of individual L.E.D. illuminated channel letters, and/or channel logos.

1. Allowable square feet per elevation facing a public right of way, or right of access for motor vehicles is 1 .5 square feet for each lineal foot of frontage.
2. Allowable square feet per elevation not facing a public right of way, or right of access for motor vehicles is 1.5 square foot for each lineal foot of frontage.
3. One (1) wall sign per elevation of lease space belonging to the tenant.
4. Area of sign is calculated by a rectangle that encompasses the outer vertical and horizontal limits of the channel letters.
5. Letters may have an optional backer panel provided the panel is not illuminated, color is approved by landlord and perimeter does not extend beyond 12” of the channel letters vertically or horizontally.

B. Window signs/graphics (See Exhibit B for details)

1. Window signs are permitted so long as they do not exceed 25% of the window which they occupy.
2. Window signs may be illuminated.

C. Shopping Center Identification Sign (See Pages 14 & 15)

The Homestead Marketplace will have (1) freestanding sign. One at the entrance to the center on Polk Street, and Tenants and their spaces are to be determined by the landlord.

Monument sign on Polk St.

1. Monument shall be 30' Overall Height
2. Tenant Panels: There will be seven (7) tenant panels 80”x22” and 39” x14”
3. Panels shall be routed out .125 aluminum with ¾” push thru acrylic copy.
4. Tenant signage is limited to 60 sq.ft., remaining area is exempt per center identification signage regulations. Only 1 side is counted towards total sign area.

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SECTION III – NOTICE TO SIGN COMPANIES

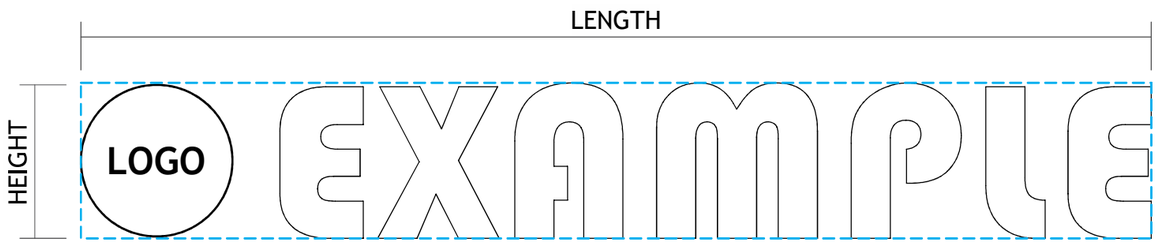
The entire sign display of the Tenant shall be guaranteed for a period of (1) one year against defects in materials and workmanship. Defective parts shall be replaced without charge during the warranty period.

SECTION IV – INSURANCE

Tenant's sign company shall carry Worker's Compensation and Public Liability insurance against all damage suffered by or done to any and all persons and/or property while engaged in the construction or erection of signs in the amount of $1,000,000, or as provided by current ordinance, combined single limit. Landlord shall be presented with reasonable evidence of such coverage prior to commencement of any such sign construction work. Tenant shall indemnify the Landlord and hold the Landlord harmless from all cost, liability, damages and expense including attorney's fees and costs incurred by the Landlord as a result of any sign construction or installation work by the Tenant or its contractors.

SECTION IV – MEASURING SIGN AREA

Sign area includes the entire face of a framed sign, but does not include the supporting structure. Individual letters attached to a building shall be measured by the area enclosed by a continuous line outlining the perimeter of the words, and logos.



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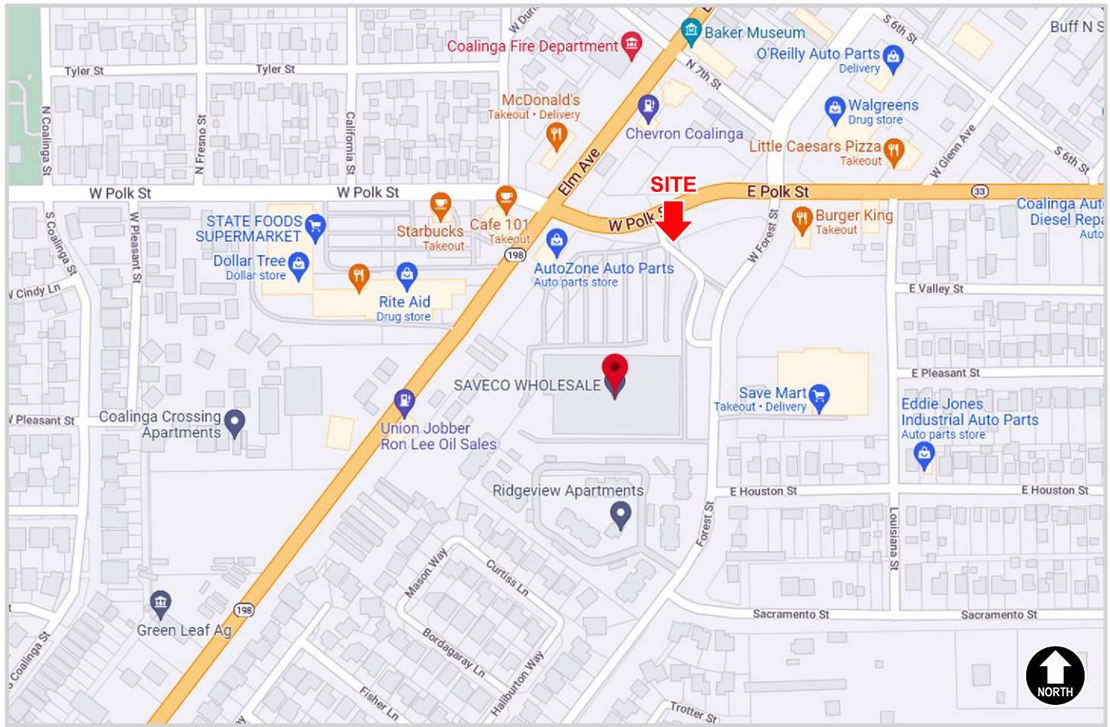
SCHEDULE

N1 - (1) INTERNALLY-ILLUMINATED D/F PYLON SIGN
N2 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS
N3 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS
N4 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS W/ BACK PANEL
N5 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS W/ BACK PANEL

APPROVAL

X	Title	Date



VICINITY MAP NOT TO SCALE

KOZ REAL ESTATE

HOMESTEAD MARKETPLACE

25 W POLK STREET
COALINGA, CA 93210

SIGN CODE

(1) Pole signs. Pole signs are allowed subject to the specific Zoning District standards and the following standards, whichever is more restrictive:
Maximum number of signs: One pole sign per site.

(2) Maximum sign area per sign: Sixty (60) square feet, inclusive of all businesses advertised.

(3) Architectural treatment: Pole signs shall be architecturally compatible in style, finish and color with the adjacent building or development. Structural supports, poles, angle bars, iron pipes, I-beams or similar structural members shall be architecturally encased with finished metal cladding, stucco, or similar material, subject to approval by the Community Development Director as to proportion and architectural compatibility.

(4) Landscaping. Pole signs shall be placed within a landscaped planter with at least twenty-eight (28) square feet of planting area. As a condition of any permit for a pole sign, additional landscaping of the property may be required where needed to better integrate sign appearance with the site through scale and softening effects.

(5) Height. A maximum of twenty (20) feet, with a minimum clearance of fourteen (14) feet over parking lots and driveways, and eight (8) feet over pedestrian walkways.

(6) Projection. Pole signs shall not project beyond the property line.

ALLOWABLE 60 SQ. FT. **PROPOSED 59.52 SQ. FT.**

LEGEND

N1 NEW PROPOSED
R1 EXISTING SIGN TO BE REPLACED
X1 EXISTING SIGN TO BE REMOVED
S1 EXISTING SIGN TO REMAIN

AERIAL MAP NOT TO SCALE

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09/30/2021

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Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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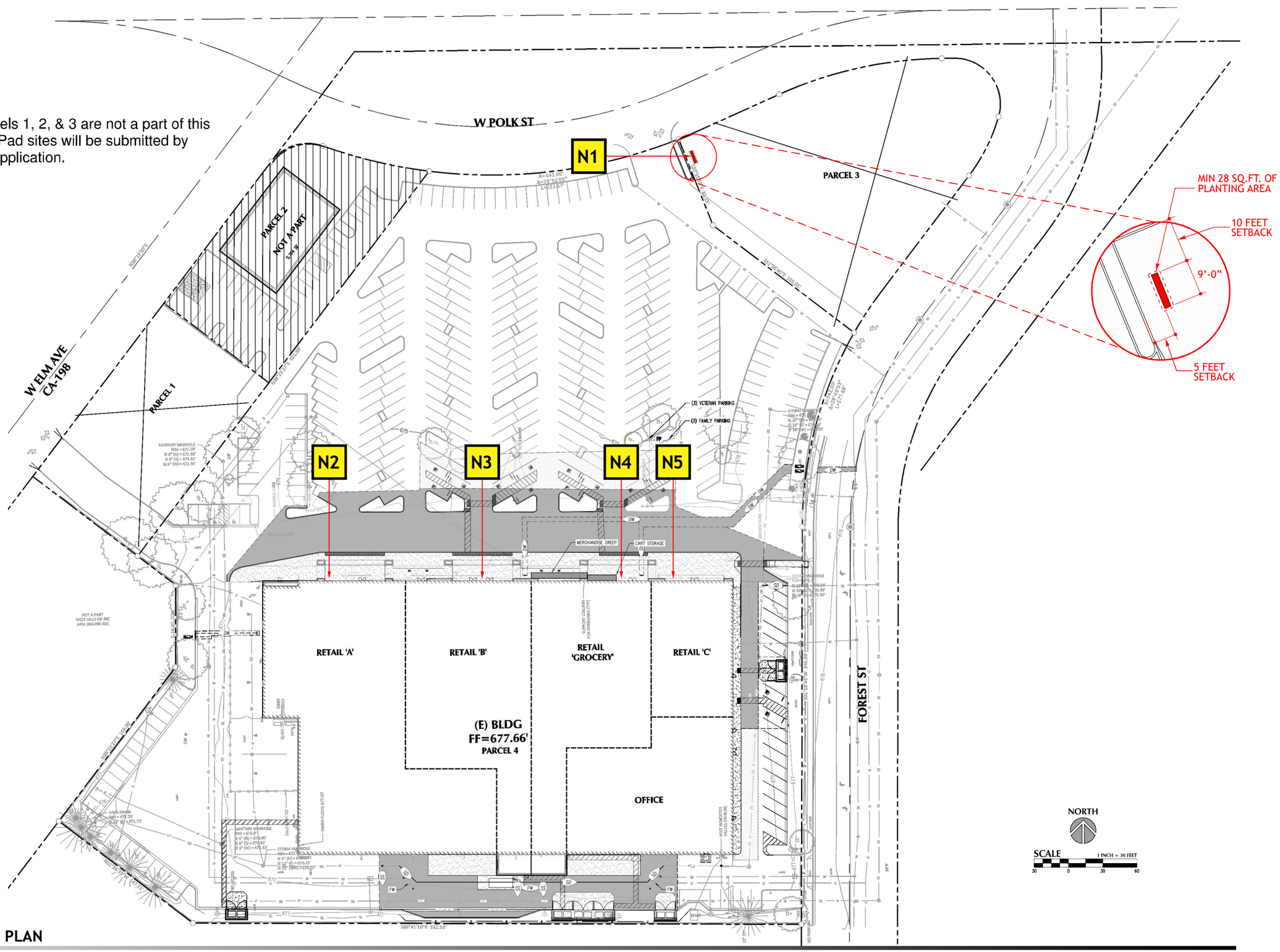
Note: Parcels 1, 2, & 3 are not a part of this submittal. Pad sites will be submitted by separate application.



SITE PLAN

Scale: 1" = 100'-0"

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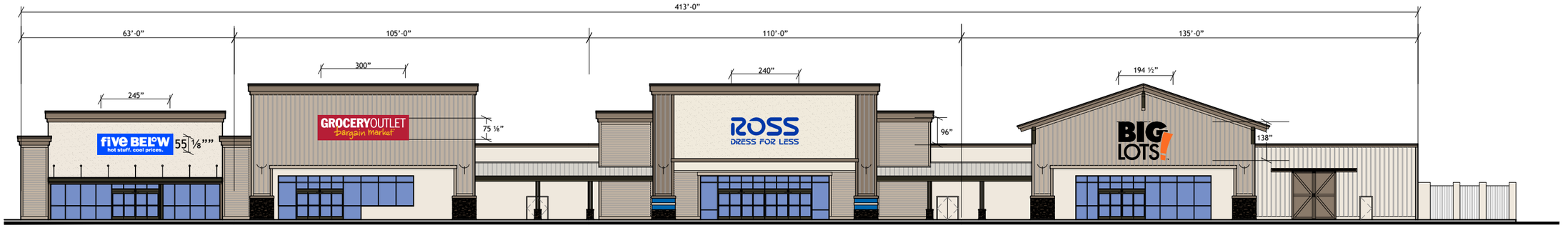
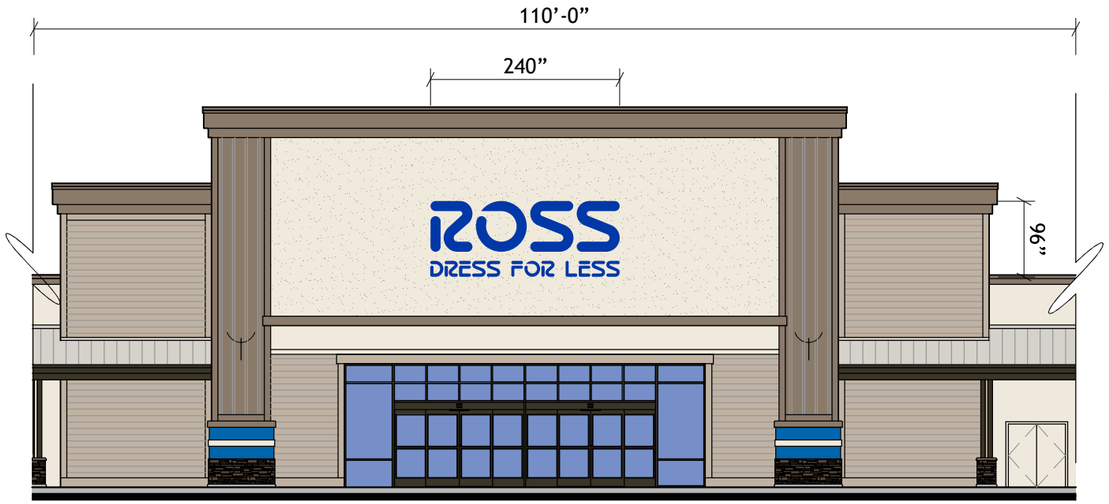


NORTH ELEVATION

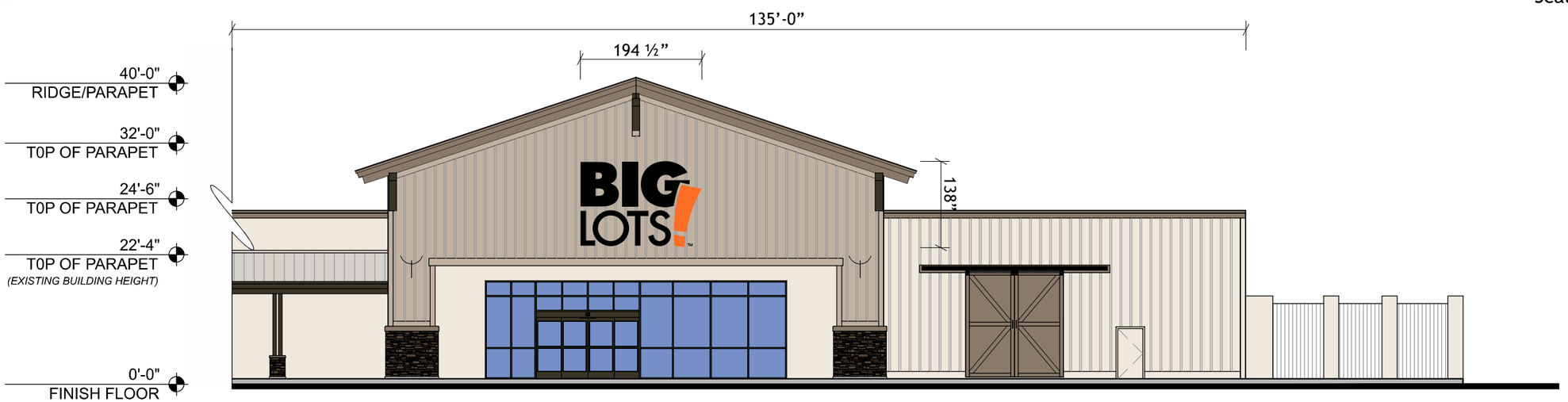
Scale: 1/32" = 1'-0"



N3 NORTH ELEVATION (TENANT 2)

160.0 SQ. FT.

Scale: 1/16" = 1'-0"



N2 NORTH ELEVATION (TENANT 1)

186.4 SQ. FT.

Scale: 1/16" = 1'-0"

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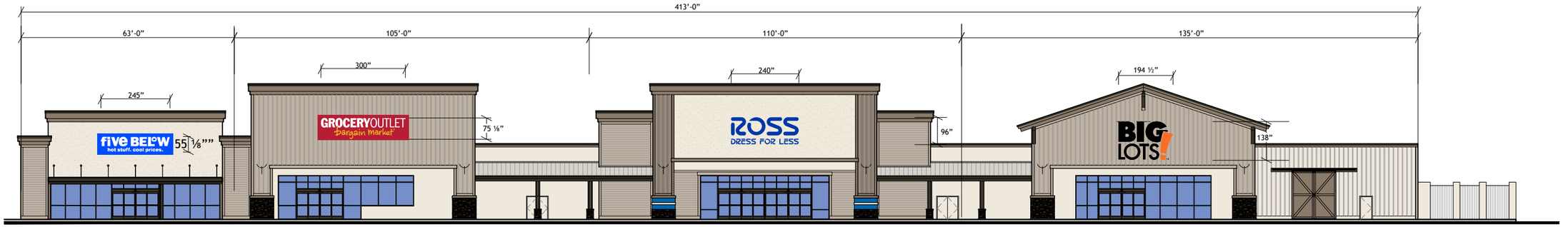


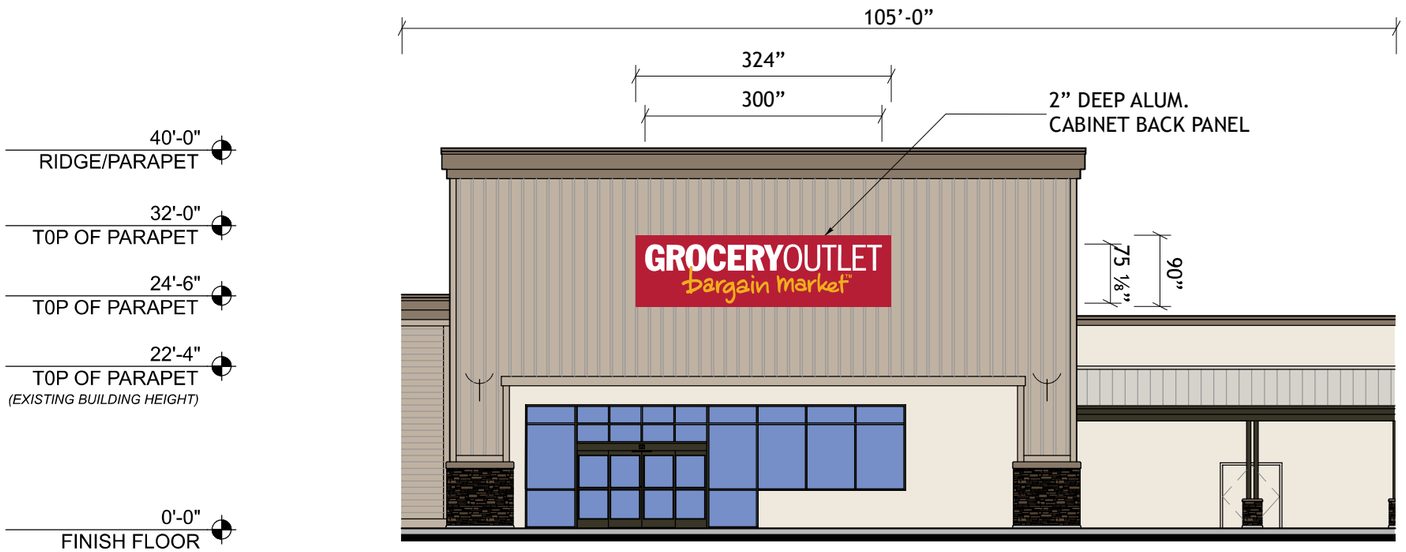
NORTH ELEVATION

Scale: 1/32" = 1'-0"

N5 NORTH ELEVATION (TENANT 4)

93.79 SQ. FT.

Scale: 1/16" = 1'-0"



N4 NORTH ELEVATION (TENANT 3)

156.5 SQ. FT.

Scale: 1/16" = 1'-0"

LOREN
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St. Lic.: 455415
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DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
9 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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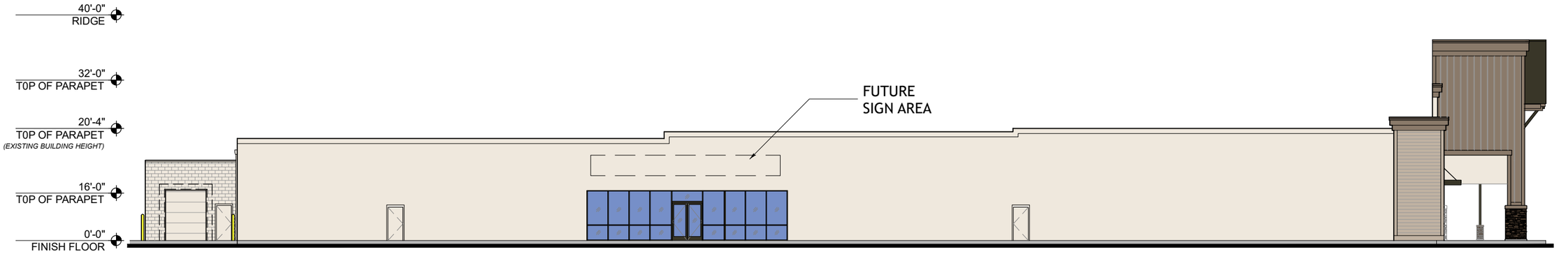

EAST ELEVATION

Scale: 1/32” = 1’-0”

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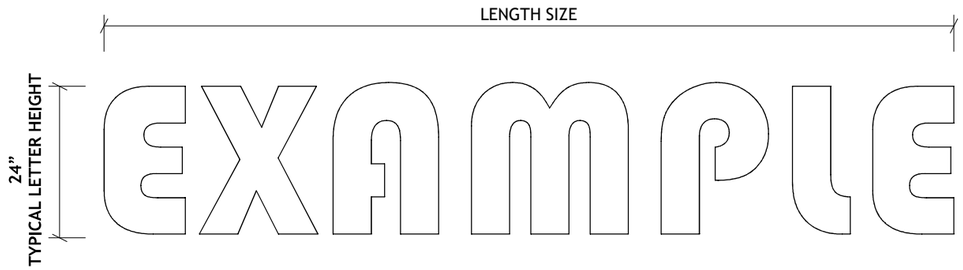
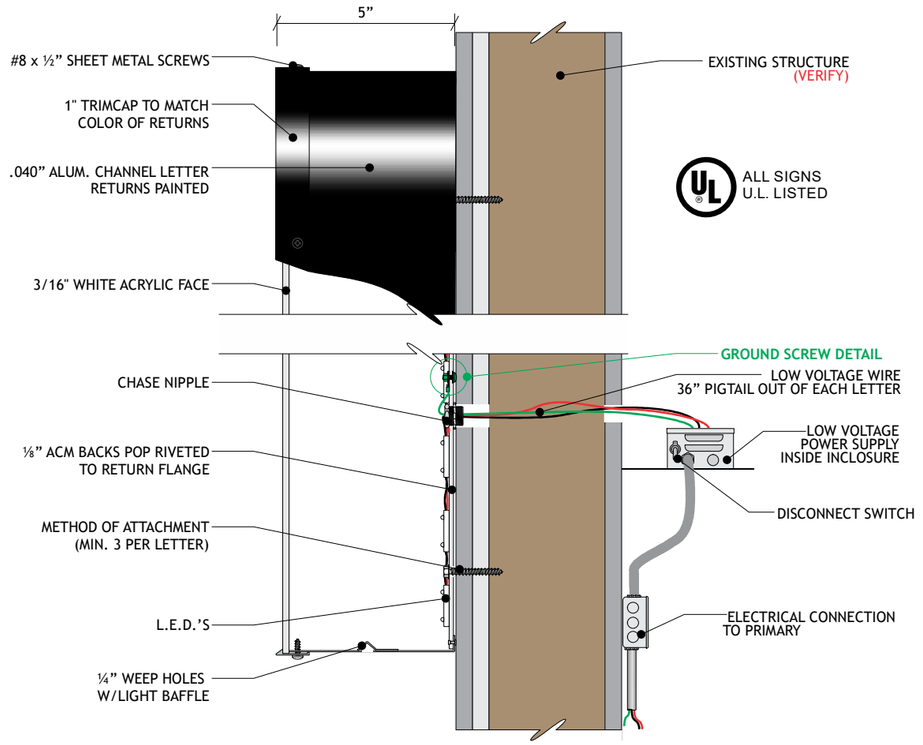


ILLUMINATED FLUSH-MOUNTED FACE-LIT CHANNEL LETTERS

FRONT VIEW

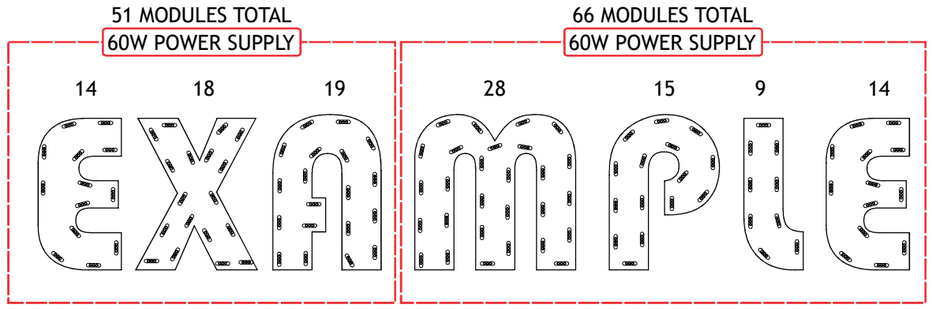
SCALE: 1/2" = 1'-0"



SECTION DETAIL (FLUSH-MOUNTED CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .125" ACRYLIC FACES
RETURNS:..... .040" X 5.300 ALUMINUM COIL
BACKS:..... ⅛" ACM WHITE BACKS
TRIM CAP:..... 1" JEWELITE TRIMCAP
ILLUMINATION:.. LED'S

ELECTRICAL SPECIFICATIONS:

(117) WHITE LED MODULES @ 0.72W EA= 84.24W TOTAL
(2) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

1.) INSTALLATION OF THIS SIGN SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF NEC, UL48 AND/OR OTHER APPLICABLE LOCAL CODES.
2.) BRANCH CIRCUIT:
A.) ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND AND DEDICATED NEUTRAL PER CIRCUIT).
B.) SIGN CIRCUITS MUST NOT BE SHARED WITH OTHER LOADS SUCH AS LIGHTING, AIR CONDITIONING AND OTHER EQUIPMENT.
C.) PROPERTY SIZED GROUND WIRE THAT CAN BE TRACKED TO THE BREAKER PANEL MUST BE PROVIDED.
3.) U.L. AND DATA LABELS REQUIRED
4.) SIGN SATISFIES ALL REQUIREMENTS OF TITLE 24.
5.) OUTDOOR SIGNAGE TO EMPLOY EITHER PHOTOCELL OR OUTDOOR ASTRONOMICAL TIMER

UL LISTED

ELECTRIC SIGN SECTION

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THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

NOTES:

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ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

METHODS OF ATTACHMENT

STUCCO OR EIFS OVER PLYWOOD BACKER
#10 X 2 ½" LONG TEK SCREWS (MIN. 3 PER LETTER)

STUCCO OR EIFS WITHOUT PLYWOOD BACKER
TYP. ⅜" X 4" LONG TOGGLE BOLTS (MIN. 3 PER LETTER)

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WOOD OR METAL
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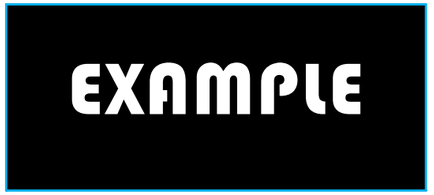

NIGHT VIEW

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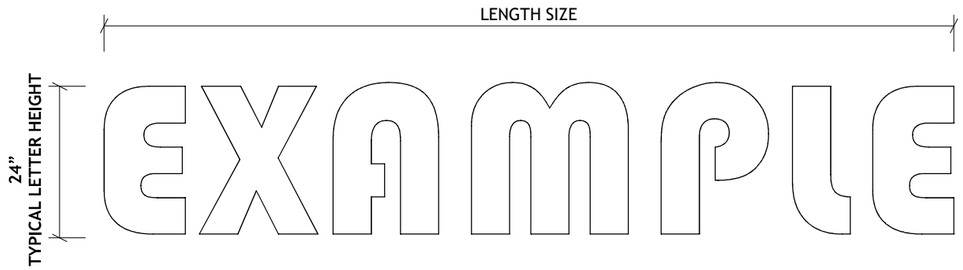
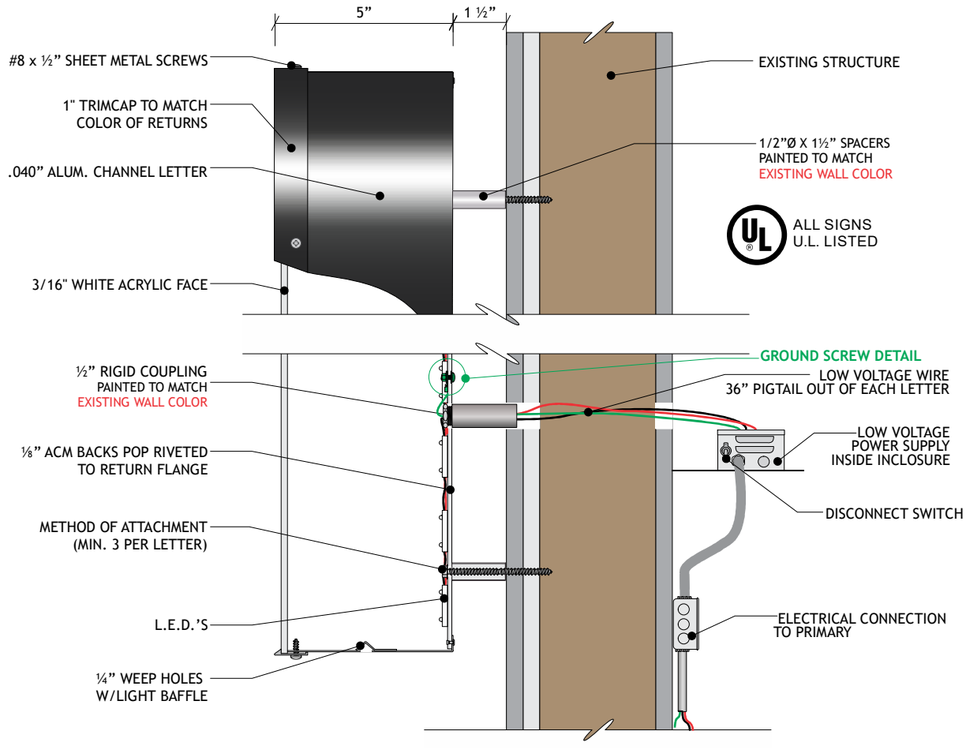


ILLUMINATED PIN-MOUNTED FACE-LIT CHANNEL LETTERS

FRONT VIEW

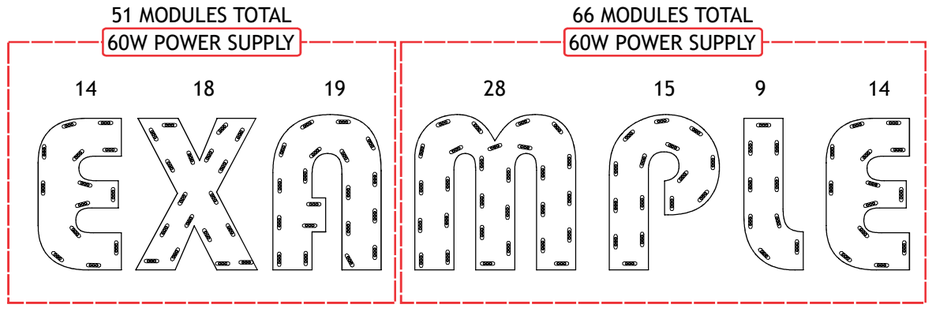
SCALE: 1/2" = 1'-0"



SECTION DETAIL (PIN-MOUNTED CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .125" ACRYLIC FACES
RETURNS:..... .040" X 5.300 ALUMINUM COIL
BACKS:..... ⅛" ACM WHITE BACKS
TRIM CAP:..... 1" JEWELITE TRIMCAP
ILLUMINATION:.. LED'S

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TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

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UL LISTED

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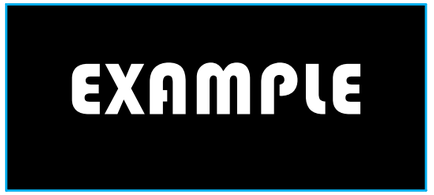

NIGHT VIEW

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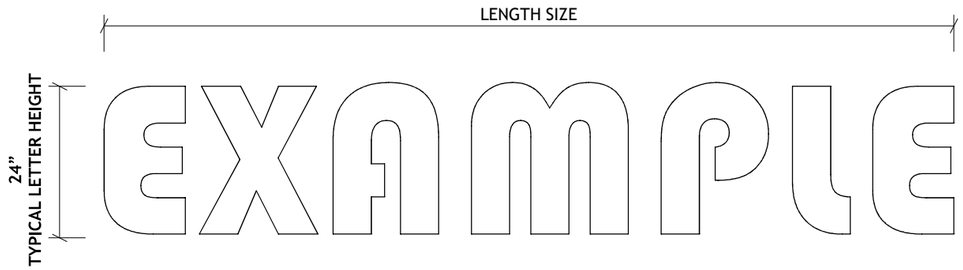
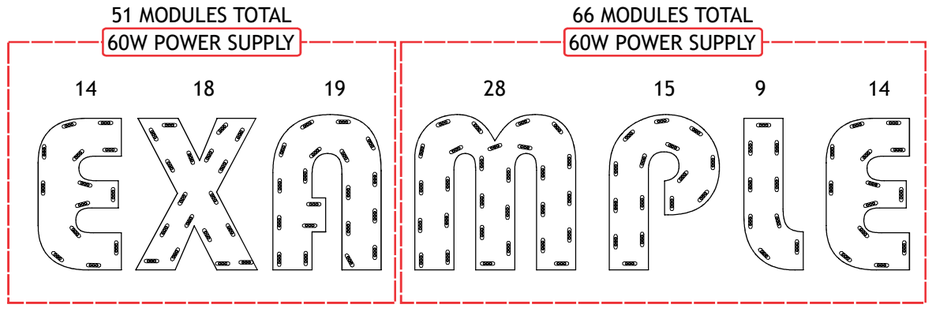


ILLUMINATED FACE & HALO-LIT CHANNEL LETTERS

FRONT VIEW

SCALE: 1/2" = 1'-0"



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .125" ACRYLIC FACES
RETURNS:..... .040" X 5.300 ALUMINUM COIL
BACKS:..... ⅛" ACM WHITE BACKS
TRIM CAP:..... 1" JEWELITE TRIMCAP
ILLUMINATION:.. LED'S

ELECTRICAL SPECIFICATIONS:

(117) WHITE LED MODULES @ 0.72W EA= 84.24W TOTAL
(2) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

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UL LISTED

ELECTRIC SIGN SECTION

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NOTES:

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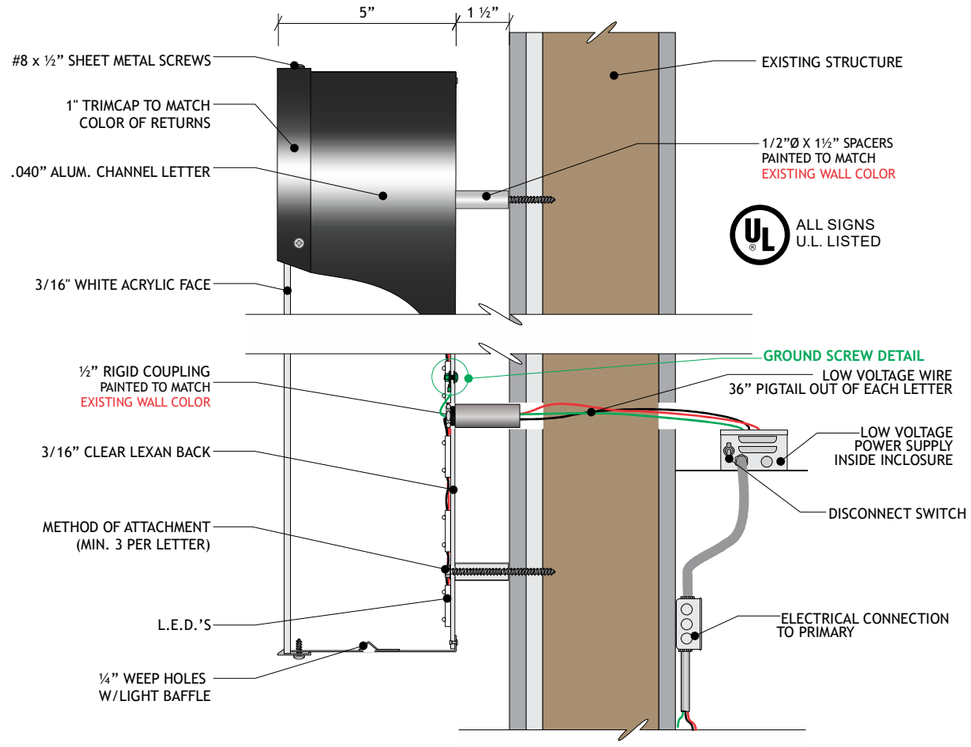
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.



SECTION DETAIL (FACE & HALO LIT CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS

METHODS OF ATTACHMENT

STUCCO OR EIFS OVER PLYWOOD BACKER
#10 X 2 ½" LONG TEK SCREWS (MIN. 3 PER LETTER)

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TYP. ⅜" X 4" LONG TOGGLE BOLTS (MIN. 3 PER LETTER)

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WOOD OR METAL
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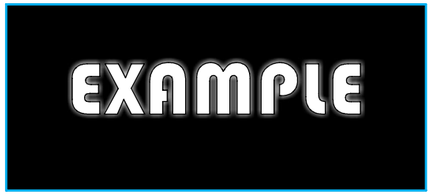

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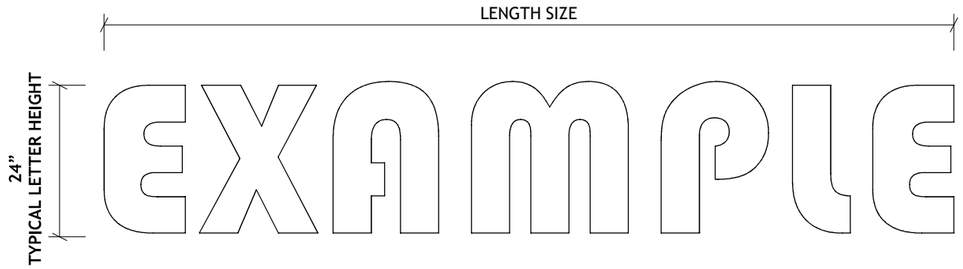
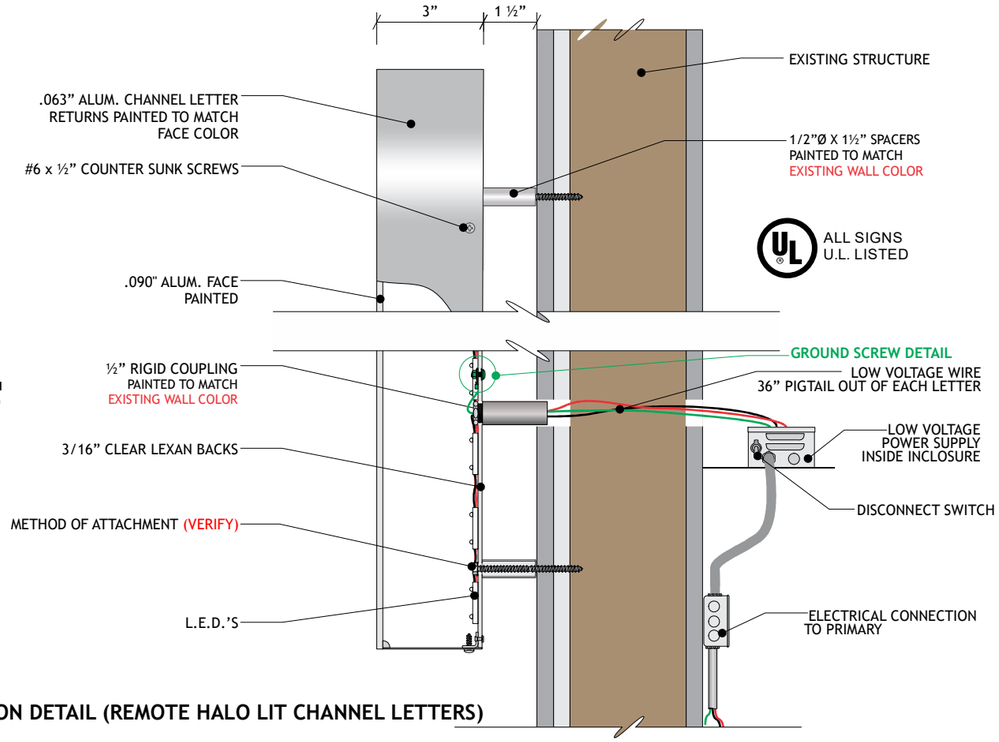


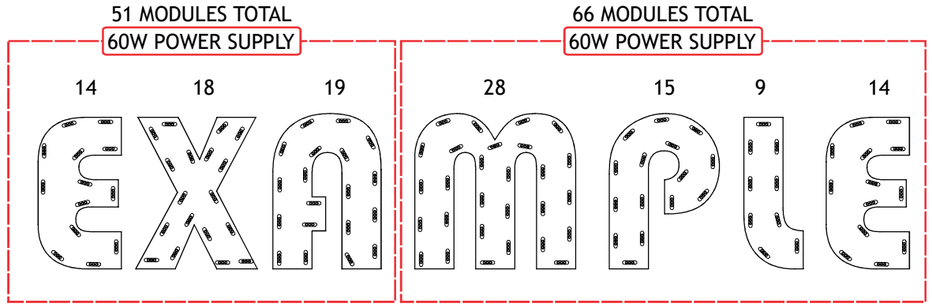
ILLUMINATED HALO-LIT CHANNEL LETTERS

FRONT VIEW

SCALE: 1/2" = 1'-0"



SECTION DETAIL (REMOTE HALO LIT CHANNEL LETTERS)



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SECTION DETAIL (HALO LIT CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .090" ALUMINUM FACES
RETURNS:..... .063" ALUMINUM RETURNS
BACKS:..... 3/16" CLEAR LEXAN BACKS
ILLUMINATION:.. LED'S

ELECTRICAL SPECIFICATIONS:

(117) WHITE LED MODULES @ 0.72W EA= 84.24W TOTAL
(2) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

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NOTES:

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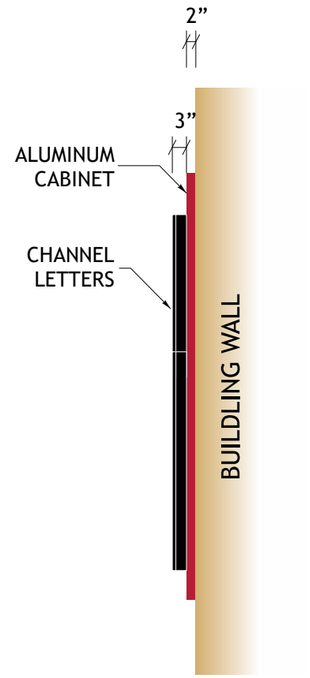


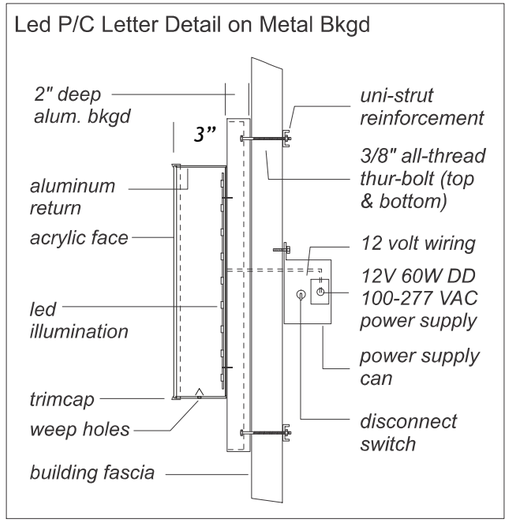
SIDE VIEW

SCALE: 3/8”=1’-0”

ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

NIGHT VIEW
SCALE: NTS



SCALE: NTS

SPECIFICATIONS

Led Illuminated P/C Signs on Aluminum Bkgd *(w/ behind the wall r/w)*
white acrylic letter faces with 1st surface vinyl decoration;
golden yellow #3630-125. 5” deep black returns with black 1” trimcap.
White Led illumination. Aglight Ultra 650 7100k
8’x27’x2” deep 0.125 aluminum face. paint dark red #3630-73 matthews.
Letters to have weep holes at low points for drainage.
External disconnect switch on power supply can.
Power supply 12V 60W DD 100-277 VAC

COLORS/FINISHES

- P-1 MATTHEWS DARK RED #3630-73
- P-2 MATTHEWS DEEP BLACK
- V-1 GOLDEN YELLOW #3630-125

NOTE:
THE 8 X 27-PANEL SIGNS ARE TYPICALLY FABRICATED IN TWO SECTIONS. ONE PANEL IS USUALLY LARGER THAN THE OTHER. NEED TO BE PERFECTLY SQUARE TO LINE UP WITHOUT ANY GAPS.

CHANNEL LETTERS ARE MOUNTED AND PREWIRED WITH THE LEADS - 10' WHIP. ALL CONNECTIONS ARE INSIDE THE LETTERS FOR THE SERVICE SIDE OF IT.

TYPICALLY SHIPPED ON AN A-FRAME - PANELS BACK TO BACK AND SHIPPED ON A FLATBED TRUCK. THEY REMOVE THE FRAME FROM THE PANEL AND MOUNT IT TO THE WALL AND THEN SLIP THE PANEL CABINET OVER THE FRAME AND SECURE - SHOE BOX.

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LOREN INDUSTRIES
12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA

KOZ REAL ESTATE

DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
15 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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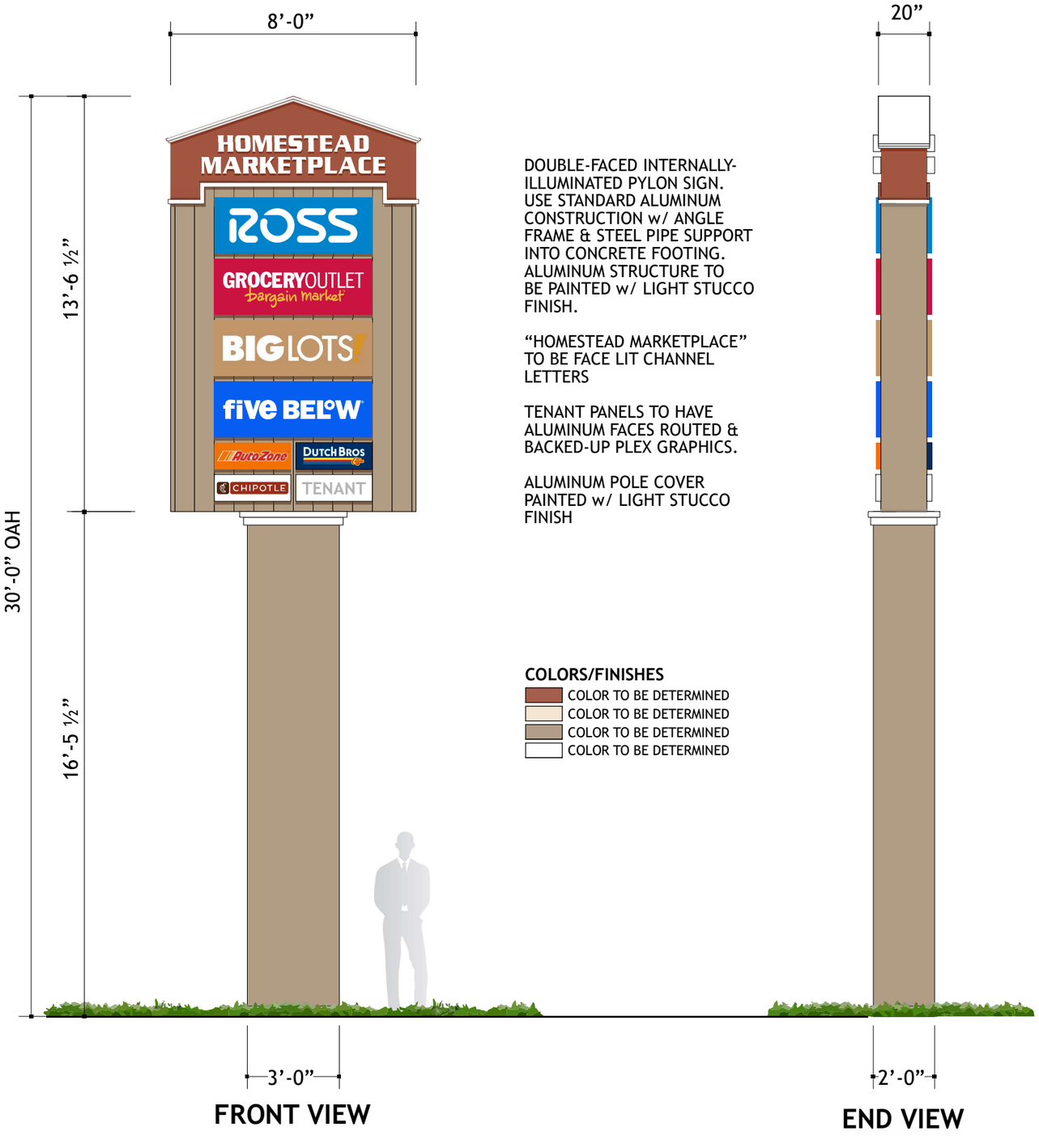

DOUBLE-FACED INTERNALLY-ILLUMINATED PYLON SIGN. USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE FRAME & STEEL PIPE SUPPORT INTO CONCRETE FOOTING. ALUMINUM STRUCTURE TO BE PAINTED w/ LIGHT STUCCO FINISH.

“HOMESTEAD MARKETPLACE” TO BE FACE LIT CHANNEL LETTERS

TENANT PANELS TO HAVE ALUMINUM FACES ROUTED & BACKED-UP PLEX GRAPHICS.

ALUMINUM POLE COVER PAINTED w/ LIGHT STUCCO FINISH

N2 **INTERNALLY-ILLUMINATED D/F PYLON SIGN**

Scale: 1/4” = 1’=-0”

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ADDRESS
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Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
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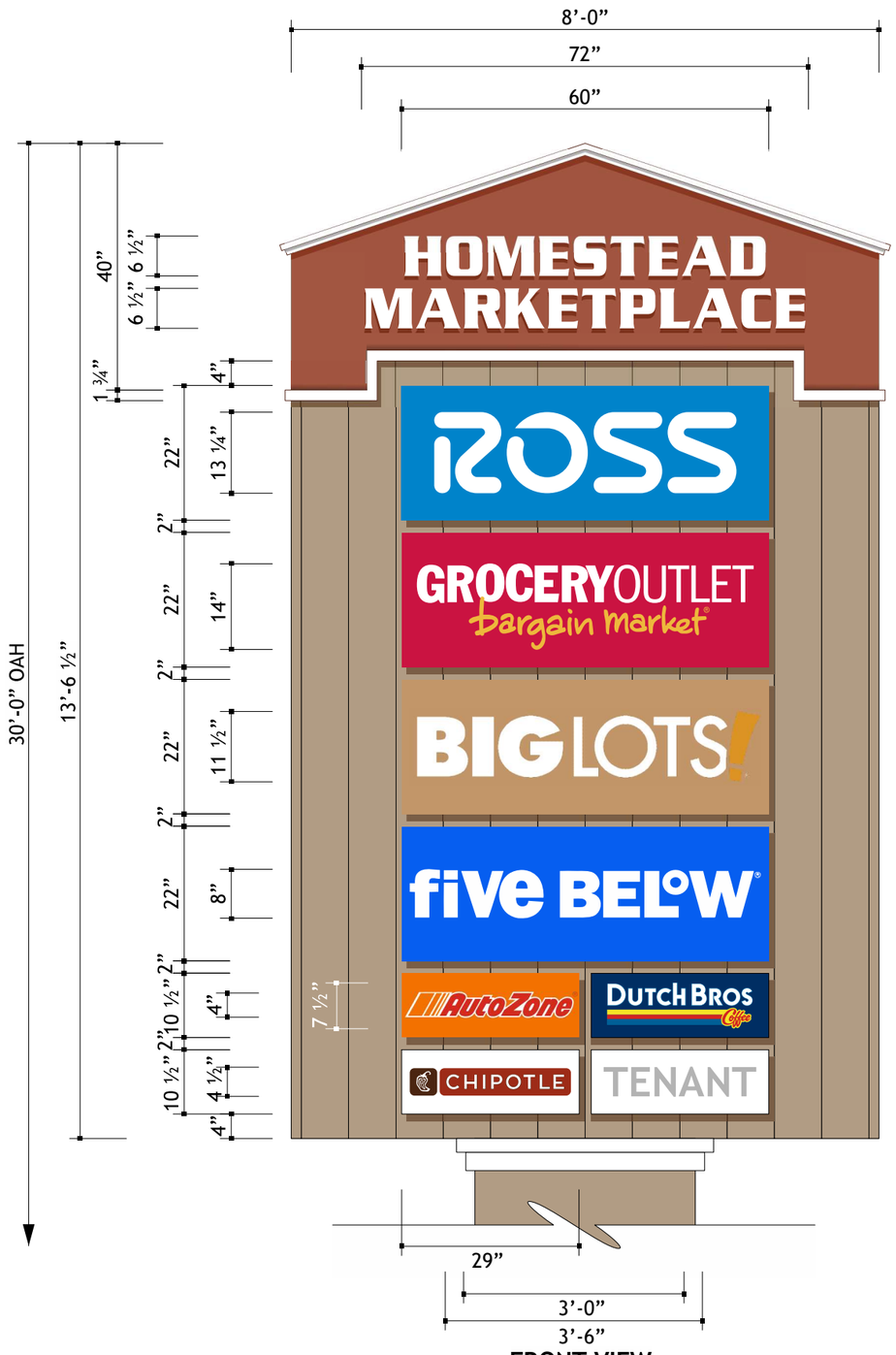


FRONT VIEW

9.167 SQ.FT. — DOUBLE-FACED INTERNALLY-ILLUMINATED PYLON SIGN USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE FRAME & STEEL PIPE SUPPORT INTO CONCRETE FOOTING. ALUMINUM STRUCTURE TO BE PAINTED w/ LIGHT STUCCO FINISH.

9.167 SQ.FT. — “HOMESTEAD MARKETPLACE” TO BE FACE LIT CHANNEL LETTERS

TENANT PANELS TO HAVE ALUMINUM FACES ROUTED & BACKED-UP PLEX GRAPHICS.

9.167 SQ.FT. — ALUMINUM POLE COVER PAINTED w/ LIGHT STUCCO FINISH

COLORS/FINISHES

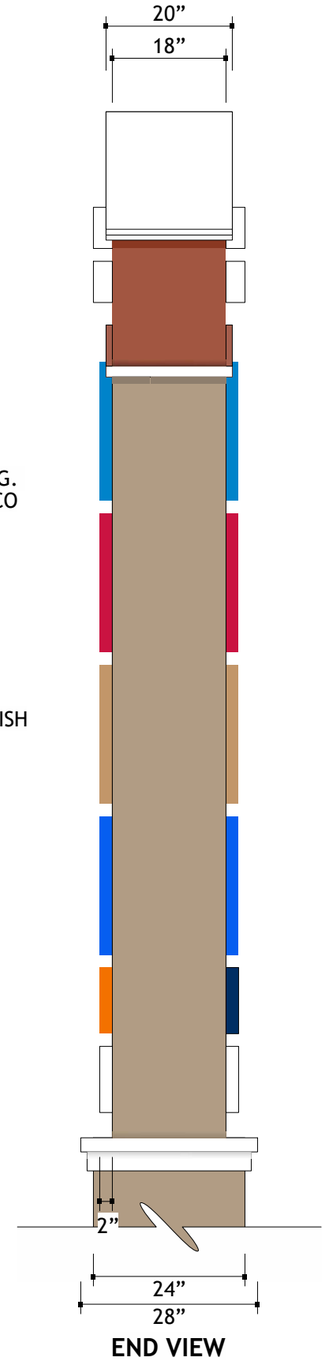
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED

9.167 SQ.FT.

2.1146 SQ.FT. EACH

TOTAL 45.1264 SQ.FT.
TENANT PANELS

*FIELD SURVEY REQUIRED
*COLOR CALL OUTS REQUIRED
*ENGINEERING REQUIRED



END VIEW

N2 INTERNALLY-ILLUMINATED D/F PYLON SIGN - OPT. B

Scale: 1/2” = 1’=-0”

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KOZ REAL ESTATE

DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
17 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
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Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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PROPOSED IMPROVEMENTS FOR :

THE HOMESTEAD MARKETPLACE

25 W POLK ST
COALINGA, CA 93210

PROJECT SCOPE

THIS PROJECT WILL INCLUDE DEMISING AN EXISTING BIG BOX RETAIL BUILDING INTO FIVE (5) TENANT SUITES:

1. SELECT DEMOLITION OF BUILDING AND SITE ELEMENTS
2. BUILDING WILL RECEIVE A CMU LOADING DOOK ADDITION
3. NEW TENANT ENTRANCE ADDITIONS
4. PARTIAL RENOVATION OF EXISTING EXTERIOR FINISHES
5. NEW ROOFTOP MECHANICAL EQUIPMENT
6. NEW ELECTRICAL DISTRIBUTION EQUIPMENT
7. NEW UTILITY CONNECTIONS TO EACH TENANT SUITE
8. PROJECT WILL INCLUDE SITE IMPROVEMENTS
9. PROJECT WILL INCLUDE CHANGES TO EXISTING PARKING

APPLICABLE CODES

ALL WORK SHALL CONFORM TO THE FOLLOWING CODES:

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA ENERGY CODE (CEC T-24)
2019 CALIFORNIA FIRE CODE (CFC)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA HEALTH AND SAFETY CODE.

INDEX OF DRAWINGS

G0	COVER SHEET
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C1.2	OVERALL SITE PLAN
C2.0	DEMOLITION PLAN
C3.0	GRADING & DRAINAGE Plan
C3.1	SECTIONS
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL PLAN
C5.1	EROSION CONTROL DETAILS
C6.0	HORIZONTAL CONTROL PLAN
C7.0 - C7.3	DETAILS
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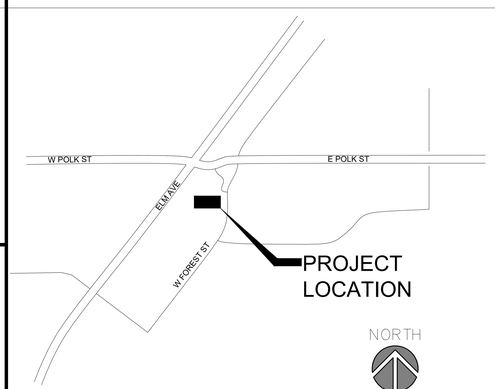
A3	EXTERIOR ELEVATIONS
A4	ENLARGED STOREFRONT ELEVATIONS
A5	ENLARGED STOREFRONT ELEVATIONS
A6	COLOR EXTERIOR ELEVATIONS

VICINITY MAP



PROJECT TEAM

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CONTACT: KIRK MILLER, AIA

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(725) 696-6124

CONTACT: DUSTIN HART, PE

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CONTACT: DALE LEONARD, PE

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25 W POLK ST
COALINGA, CA 93210

PLANNING REVIEW

APN:
083-080-60S

Project Manager: KIRK MILLER
Project Architect: KIRK MILLER
Scale: AS NOTED
Date: 07/18/2022
Project Number: 22103

PLANNING REVIEW

This drawing is not final, or to be used for construction until the Architect's or Engineer's seal and signature appear above.

SHEET TITLE

COVER SHEET

MARK	DESCRIPTION	DATE
	PLANNING SUBMISSION	08/05/2022

SHEET NO.

G0

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PRELIMINARY PLANS FOR THE HOMESTEAD MARKETPLACE

25 W POLK STREET
COALINGA, CA

APN # 083-080-60S

LEGEND

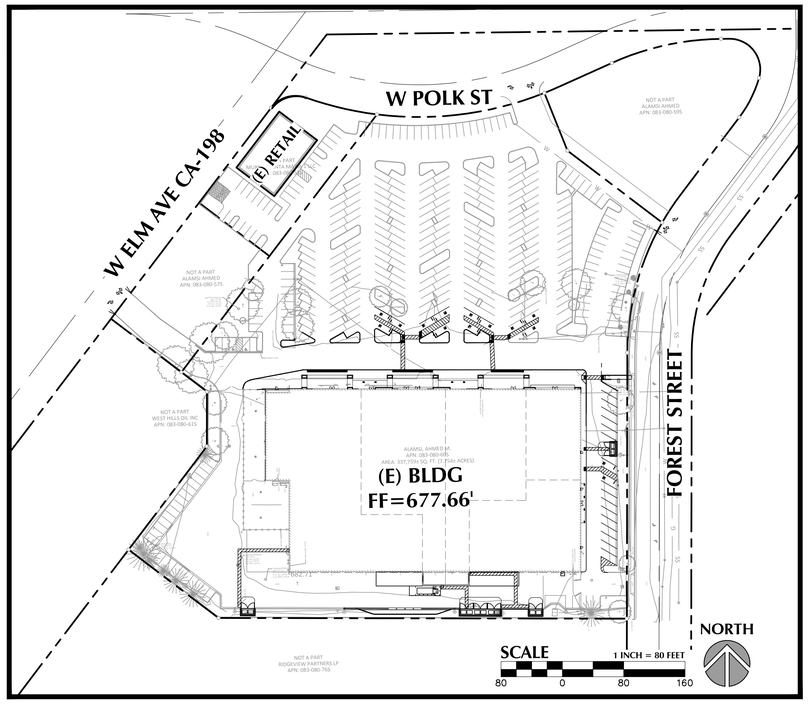
	PROPOSED	EXISTING
PROPERTY LINE / RIGHT-OF-WAY LINE		
EASEMENT LINE		
CENTERLINE		
BUILDING OUTLINE		
BUILDING OVERHANG		
CURB		
CURB AND GUTTER		
SAWCUT LINE		
ASPHALT PAVEMENT		
ASPHALT PAVEMENT (HEAVY)		
CONCRETE PAVEMENT		
GRIND & OVERLAY ASPHALT PAVEMENT		100
MAJOR CONTOUR	100	99
MINOR CONTOUR	99	
GRADE BREAK	GB	
RETAINING WALL		
GRADING SLOPE		
DAYLIGHT LINE		G
GAS LINE	G	E
ELECTRIC LINE	E	FO
FIBER OPTIC LINE	FO	T
TELECOMMUNICATIONS LINE	T	
JOINT TRENCH	JT	
SWALE		
FENCE		SD
STORM DRAIN LINE	24"SD	SS
SANITARY SEWER LINE	8"SS	W
WATER MAIN LINE	12"W	
STORM DRAIN MANHOLE		
STORM DRAIN INLET		
GRATED STORM DRAIN MANHOLE		
FLARED END SECTION		CO
CLEANOUT		
SANITARY SEWER MANHOLE		
GREASE INTERCEPTOR		
FIRE HYDRANT		
FIRE DEPARTMENT CONNECTION		
BACKFLOW PREVENTOR/DDCV		
GATE VALVE		PIV
POST INDICATOR VALVE		
BLOW-OFF VALVE		
AIR-RELEASE VALVE		W Ø
WATER METER		
CONCRETE THRUST BLOCK		
LIGHT POLE - MAST ARM		
LIGHT POLE		JB
ELECTRIC BOX		
TELEPHONE BOX		
HANDICAP PARKING		
POWER POLE		
TREE PROTECTION		
SPOT ELEVATIONS	XX.XX TC XX.XX FS	(XX.XX TC) (XX.XX FS)
GRADING SLOPE	2.00%	(2.00%)

811 CALL BEFORE YOU DIG

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICAN DISABILITIES ACT
APPROX.	APPROXIMATE
B	BOLLARD
BLDG	BUILDING
BOT	BOTTOM OF PIPE
BOW	BACK OF WALK
BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
CB	CATCH BASIN
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CO	CLEANOUT
CONC.	CONCRETE
COTG	CLEANOUT TO GRADE
CP	CONTROL POINT
Δ	DELTA
D/W	DRIVEWAY
DCO	DRAIN CLEANOUT
DI	DRAIN INLET
DIA.,Ø	DIAMETER
DIP	DUCTILE IRON PIPE
E	ELECTRICAL
EG	EXISTING GRADE
(E)	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOWLINE
FND	FOUNDATION
FS	FINISHED SURFACE
G	GAS
GB	GRADE BREAK
GL	GAS LINE
GR	GRATE ELEVATION
GV	GATE VALVE
H	HEIGHT
HP	HIGH POINT
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
INV	INVERT
IRR.	IRRIGATION
JT	JOINT TRENCH
LF	LINEAR FEET
LP	LIGHT POLE
MH	MANHOLE
MIN	MINIMUM
N	NORTHING
O.D	OUTSIDE DIAMETER
OF	OUTFALL
OVH/OH	OVERHEAD
(P)	PROPOSED
P/L	PROPERTY LINE
PED	PEDESTRIAN
PIV	POST INDICATOR VALVE
PM	PARKING METER
POC	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENT
P.U.E	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
PVT	PRIVATE
RIM	RIM ELEVATION
RD	ROOF DRAIN
R.O.W	RIGHT-OF-WAY
S	SLOPE (FT/FT)
SCO	SEWER CLEAN OUT
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SHT	SHEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST	STREET
STA	STATION
STD	STANDARD
S/W	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TOP	TOP OF PIPE
TRANS.	TRANSFORMER
TS	TOP OF STAIR
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UGE	UNDERGROUND ELECTRIC
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W	WATER
W/	WITH
WCR	WHEEL CHAIR RAMP
WM	WATER METER
WV	WATER VALVE

SITE MAP



VERTICAL DATUM: CITY OF COALINGA
BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 4. THE RESULTANT BEARING OF THE CENTERLINE OF W ELM AVE (CA-198) IS N38°23'20"E EL. 676.56'

SCOPE OF WORK:
SCOPE OF WORK INCLUDES ACCESSIBILITY IMPROVEMENTS, TRASH ENCLOSURE ADDITIONS, TRUCK DOCK ADDITIONS, AND NEW UTILITIES.

FLOOD ZONE:
THIS PROJECT IS IN ZONE X, SPECIFICALLY WITHIN AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEE, UNDER THE FEMA FLOOD MAP NUMBERED 06019C3213H DATED 02/18/2009.

UTILITY REPRESENTATIVES

UTILITY	AGENCY	REPRESENTATIVE	PHONE
GAS	P.G.&E.	CLYDE DUNN	661-505-0897
ELECTRICITY	P.G.&E.	CLYDE DUNN	661-505-0897
TELEPHONE	AT&T	---	800-288-2020
WATER	CENTRAL VALLEY PROJECT	---	559-935-1533
SEWER	CITY OF COALINGA	THOMAS A. FOSSUM	559-935-1533
DRAINAGE	CITY OF COALINGA	THOMAS A. FOSSUM	559-935-1533
CABLE T.V.	COMCAST CABLE	EVELYN BRIDEN	559-735-2104
FIRE DISTRICT	CITY OF COALINGA	---	559-935-1638

TOTAL IMPERVIOUS AREA

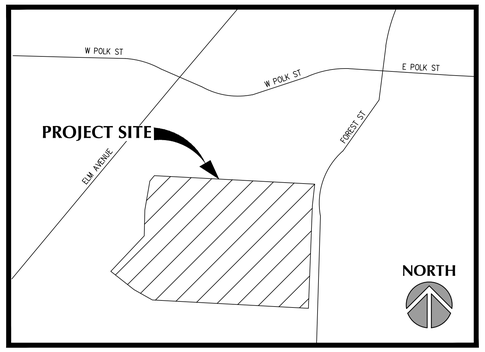
PRE-CONSTRUCTION (IMPERV.)	0.93 ACRES
POST-CONSTRUCTION (IMPERV.)	0.93 ACRES
CHANGE IN IMPERV. AREA	+0.00 ACRES

WDID: N/A - LESS THAN 1 ACRE

CONSTRUCTION START DATE:	---
FINAL STABLIZATION DATE:	---
SIZE OF PROJECT (AC.):	---
AREA OF DISTURBANCE (AC.):	---
NEAREST BODY OF WATER/STREAMBED:	WARTHAN CREEK

VICINITY MAP

SCALE: NTS



PROJECT CONTACTS

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500 CAPITOL MALL, SUITE 2350
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TEL: 916-340-5410
CONTACT: FRANK KOZLOWSKI

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ARCHITECT:
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GEOTECH:
SALEM ENGINEERING GROUP, INC.
4729 W JACQUELYN AVE,
FRESNO, CA 93722

SHEET INDEX

COVER SHEET	C1.0
GENERAL NOTES	C1.1
OVERALL SITE PLAN	C1.2
DEMOLITION PLAN	C2.0
GRADING & DRAINAGE PLAN	C3.0
SECTIONS	C3.1
UTILITY PLAN	C4.0
EROSION CONTROL PLAN	C5.0
EROSION CONTROL DETAILS	C5.1
HORIZONTAL CONTROL PLAN	C6.0
DETAILS	C7.0 - C7.3

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PRELIMINARY CONSTRUCTION DOCUMENTS

APN:
083-080-60S

Project Manager	RYAN CARTER
Project Architect	KIRK MILLER
Scale	AS NOTED
Date	08/10/2022
Project Number	22103

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SHEET TITLE

COVER SHEET

MARK	DESCRIPTION	DATE
	PERMIT SUBMISSION	08/18/2022

SHEET NO.

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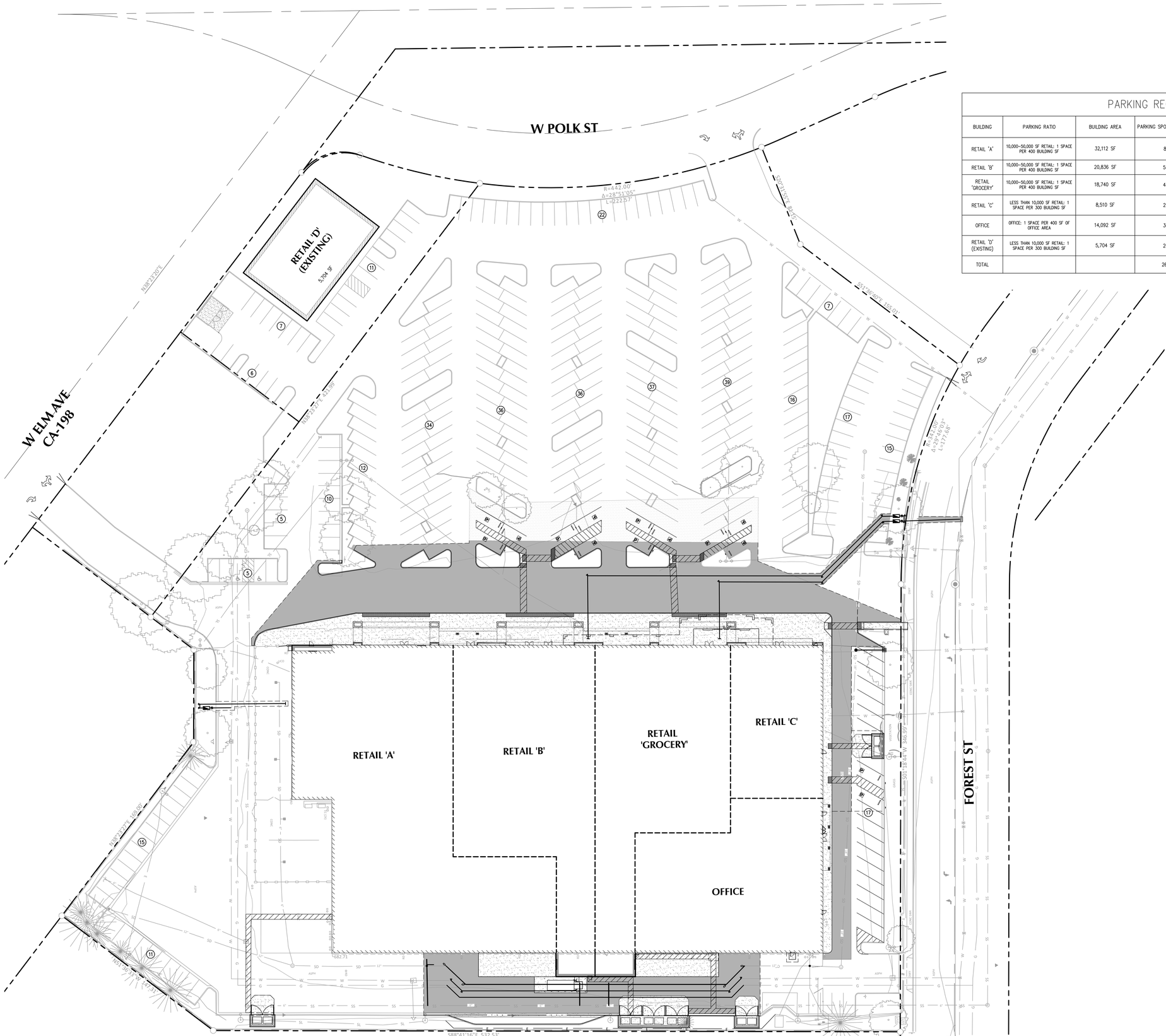

PARKING REQUIREMENTS

BUILDING	PARKING RATIO	BUILDING AREA	PARKING SPOTS REQUIRED	ACCESIBLE SPOTS REQUIRED	PARKING SPOTS PROVIDED	DELTA
RETAIL 'A'	10,000–50,000 SF RETAIL: 1 SPACE PER 400 BUILDING SF	32,112 SF	81	4	102	+21
RETAIL 'B'	10,000–50,000 SF RETAIL: 1 SPACE PER 400 BUILDING SF	20,836 SF	53	3	72	+19
RETAIL 'GROCERY'	10,000–50,000 SF RETAIL: 1 SPACE PER 400 BUILDING SF	18,740 SF	47	2	69	+22
RETAIL 'C'	LESS THAN 10,000 SF RETAIL: 1 SPACE PER 300 BUILDING SF	8,510 SF	29	2	42	+13
OFFICE	OFFICE: 1 SPACE PER 400 SF OF OFFICE AREA	14,092 SF	36	2	49	+13
RETAIL 'D' (EXISTING)	LESS THAN 10,000 SF RETAIL: 1 SPACE PER 300 BUILDING SF	5,704 SF	20	1	24	+4
TOTAL			266	14	358	+92

NORTH

SCALE 1 INCH = 30 FEET
30 0 30 60

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PRELIMINARY CONSTRUCTION DOCUMENTS

APN:
083-080-60S

Project Manager: RYAN CARTER
Project Architect: KIRK MILLER
Scale: AS NOTED
Date: 08/10/2022
Project Number: 22103

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SHEET TITLE

OVERALL SITE PLAN

MARK	DESCRIPTION	DATE
	PERMIT SUBMISSION	08/18/2022

SHEET NO.

C1.2

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PARKING DATA ()

GROS BUILDING AREA	95,100 SF
REQUIRED PARKING:	
RETAIL (TENANT 1 @ 400/SF, 32,112/400)	81
RETAIL (TENANT 2 @ 400/SF, 20,836/400)	53
GROCERY (TENANT 3 @ 400/SF, 18,740/400)	47
RETAIL (TENANT 4 @ 300/SF, 8,510/400)	29
OFFICE (TENANT 5 @ 400/SF, 14,092/400)	36
TOTAL	266
PROVIDED PARKING	334
PROVIDED ACCESSIBLE PARKING	14
DESIGNATED CLEAN AIR @ 12%	41
EV CHARGING SPACE @ 10% = 34	NONE PROVIDED DUE TO INSUFFICIENT ELECTRICAL SUPPLY

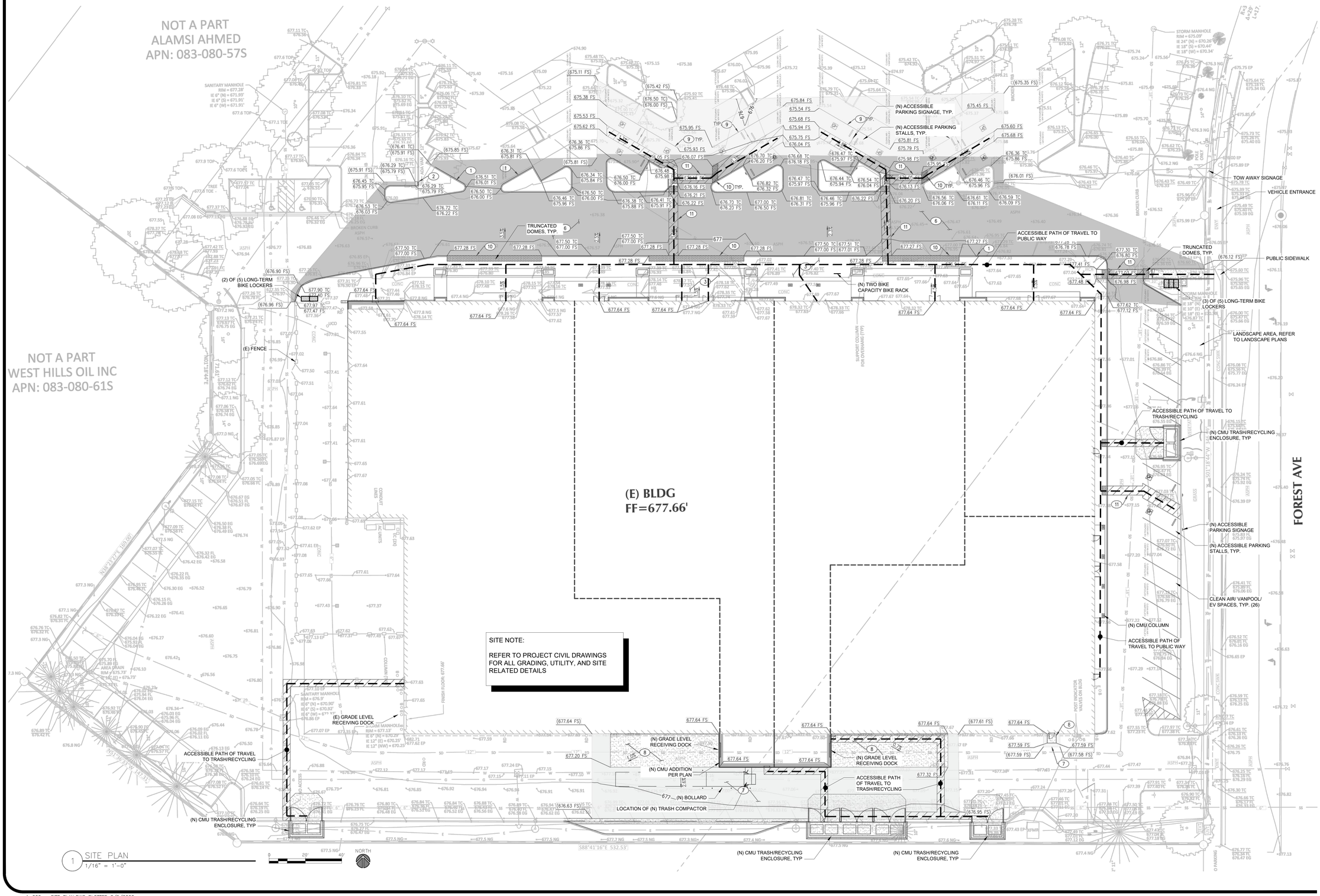
BICYCLE PARKING

ANTICIPATE 100 TENANT EMPLOYEES

REQUIRED SHORT-TERM BICYCLE SPACES	1 SHORT-TERM PROVIDED, NO NEW PARKING ADDED
REQUIRED LONG-TERM BICYCLE SPACES	5 LONG-TERM LOCKERS PROVIDED

GRADING & DRAINAGE KEY NOTES

1. CONSTRUCT CONCRETE CURB PER DETAIL X/CXX
2. CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL X/CXX
3. CONSTRUCT CONCRETE SIDEWALK PER DETAIL X/CXX
5. CONSTRUCT CONCRETE VEE GUTTER PER DETAIL X/CXX
6. PLACE STANDARD DUTY ASPHALT PER DETAIL X/CXX
7. PLACE HEAVY DUTY AC PAVEMENT PER DETAIL X/CXX
8. PLACE CONCRETE PAVEMENT PER DETAIL X/CXX
9. CONSTRUCT ACCESSIBLE PARKING STALLS PER DETAIL X/CXX
10. CONSTRUCT TRUNCATED DOMES PER DETAIL X/CXXX
11. ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL X/CXX
12. CONSTRUCT DRAIN INLET PER DETAIL X/CXX
13. CONSTRUCT STORM DRAIN MANHOLE PER DETAIL X/CXX
14. SAWCUT, REMOVE AND REPLACE ASPHALT AND BACKFILL TRENCH FOR STORM DRAIN INSTALLATION PER DETAIL X/CXX
15. CONNECT STORM DRAIN TO EXISTING STORM DRAIN MANHOLE. CONTRACTOR TO VERIFY EXISTING INVERT.
16. CONSTRUCT RETAINING WALL PER DETAIL X/CXX



1 SITE PLAN
1/16" = 1'-0"

0 20' 40' NORTH

A-000 – SITE PLAN.DWG PLOTTED 8/5/2022

KM architecture

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25 W POLK ST
COALINGA, CA 93210

PLANNING REVIEW

APN:
083-080-60S

Project Manager	KIRK MILLER
Project Architect	KIRK MILLER
Scale	AS NOTED
Date	07/18/2022
Project Number	22103

PLANNING REVIEW

This drawing is not final, or to be used for construction until the Architect's or Engineer's seal and signature appear above.

SHEET TITLE

ARCHITECTURAL SITE PLAN

MARK	DESCRIPTION	DATE
	PLANNING SUBMISSION	08/05/2022

SHEET NO.

A0

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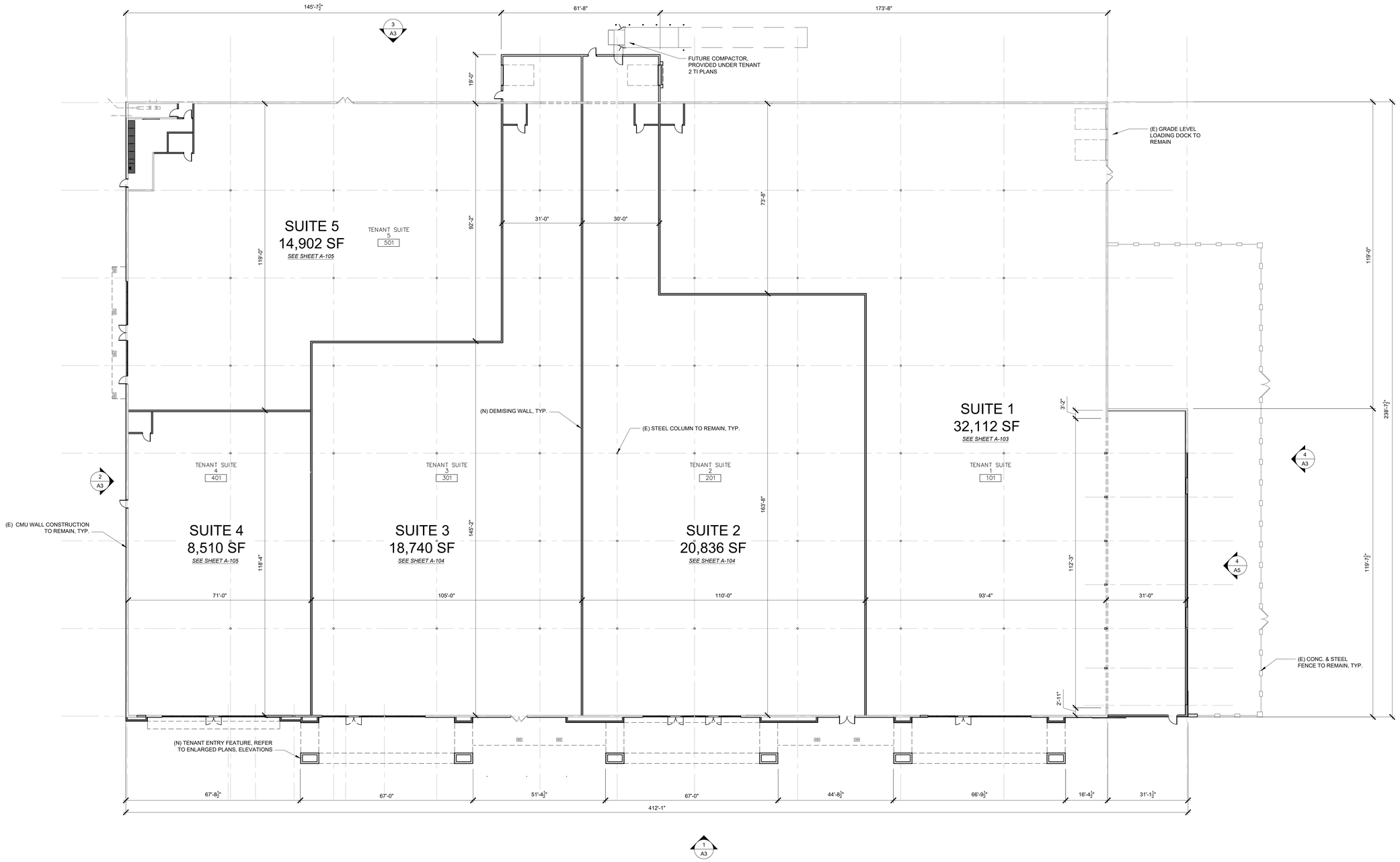

1 OVERALL FLOOR PLAN
1/16" = 1'-0"

NORTH

DR – FLOOR PLAN.DWG PLOTTED 8/3/2022

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SHEET TITLE

OVERALL FLOOR PLAN

MARK	DESCRIPTION	DATE
	PLANNING SUBMISSION	08/05/2022

SHEET NO.

A1

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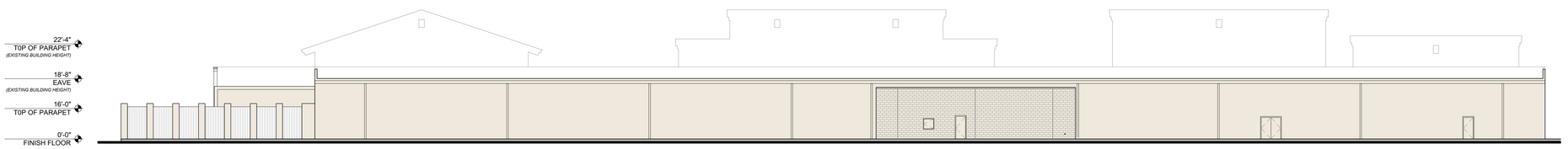
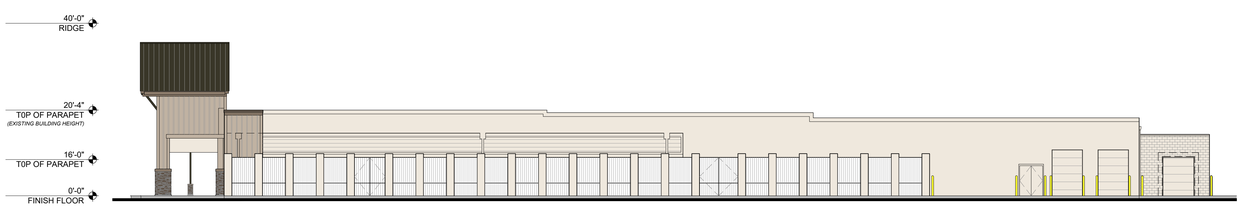
1 NORTH ELEVATION
1/16" = 1'-0"

2 EAST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"

FINISH: COLOR 1:	Paint SW 7041, Van Dyke Brown	
FINISH: COLOR 1:	Paint SW 7040, Smokehouse	
FINISH: COLOR 1:	Paint SW 7039, Virtual Taupe	
FINISH: COLOR 1:	Paint SW 7037, Balanced Beige	
FINISH: COLOR 1:	Paint Trademark Brand Colors	
FINISH: COLOR 2: LOCATIONS USED:	Paint SW 7002, Downy Background Door & Trim, CMU Trash Enclosures	
FINISH: COLOR: LOCATIONS USED:	Anodized Dark Bronze Exterior Lighting, Aluminum Storefront Frames, Overhead Supported Canopies, Standing Seam Roofing	

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PLANNING REVIEW

APN:
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Project Manager
KIRK MILLER
Project Architect
KIRK MILLER
Scale
AS NOTED
Date
07/18/2022
Project Number
22103

PLANNING REVIEW

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SHEET TITLE

EXTERIOR COLOR ELEVATIONS

MARK	DESCRIPTION	DATE
	PLANNING SUBMISSION	08/05/2022

SHEET NO.

A6

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RESOLUTION 021P-009

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A SITE PLAN REVIEW, ENVIRONMENTAL REVIEW, MASTER SIGN PROGRAM AND VARIANCE FOR APPLICATION NO. CDA 22-01 FOR THE DIVISION OF THE EXISTING RETAIL BUILDING LOCATED AT 25 W. POLK STREET

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review, environmental review, master sign program and variance for the division of the 100,035 square foot retail building at 25 W. Polk Street including the installation of a new 30' multi-tenant center identification sign; and,

WHEREAS, the proposed project requires approval of a site plan review, master sign program, environmental review and variance, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on August 29, 2022; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15301(e)(2) and 15332, and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code including subsequent approvals; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on September 27, 2022; and

WHEREAS, the Planning Commission has made the following site plan findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
    - Facilities and improvements;
    - Vehicular ingress, egress and internal circulation;
    - Setbacks;
    - Height of buildings;
    - Location of services;
    - Fences and/or walls;
    - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;

- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

WHEREAS, the Planning Commission has confirmed the following variance findings approving the increase in the center identification height:

1. There are special circumstances applicable to the property, including its size, shape, topography, location, or surroundings, whereby the strict application of this title will deprive such property of privileges enjoyed by other property of the same classification in the same zoning district;
2. Such special circumstances were not by the owner or applicants; and
3. The variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is located.

WHEREAS, the Planning Commission has confirmed that the master sign program findings for approval have been met:

1. The proposed signs are compatible in style and character with any building to which the signs are to be attached, any surrounding structures and any adjoining signage on the site;
2. Future tenants will be provided with adequate opportunities to construct, erect or maintain a sign for identification; and
3. Directional signage and building addressing is adequate for pedestrian and vehicular circulation and emergency vehicle access.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the Site Plan Review Application, Environmental Review, Master Sign Program (Exhibit B), and Variance for application No. CDA 22-01 subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 27th Day of September 2022.

AYES:

NOES:

ABSTAIN:

ABSENT:

_____
Planning Commission Chairman/Vice Chairman

ATTEST:

_____
City Clerk/Deputy City Clerk

Exhibit "A"
CONDITIONS OF APPROVAL
APPLICATION NO. CDA 22-01

COA-1. The approved site plan shall become void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan.

COA-2. Approval of the site plan may be extended for an additional period or periods of one (1) year upon a written application to the Commission before the expiration of the first approval.

COA-3. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.

COA-4. Any minor alternations to the site plan shall be reviewed and approved by the Community Development Director, unless under his/her discretion warrants review and approval by the Commission.

COA-5. The Developer is responsible for paying all applicable development impact fees as well all regional fees related to the project.

COA-6. The applicant shall obtain all the appropriate business licenses prior to the issuance of certificate of occupancy.

COA-7. *Actions voiding approval.* If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.

COA-8. *Periodic review or monitoring of conditions.* All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.

COA-9. *Acknowledgement.* Within fifteen (15) days of final approval (expiration of the appeal period) by the Planning Commission, the Applicant shall submit in writing, a statement indicating that he/she has read and agrees to the conditions imposed herein. This approval shall become void, and any privilege, permit, or other authorization granted under these entitlements if compliance with this condition has not been undertaken within the specified time limits.

COA-10. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to

attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

COA-11. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.

COA-12. The applicant shall provide smooth AC pavement transitions from new concrete driveways to existing Forest Street asphalt pavement.

COA-13. The applicant shall remove the existing broken/cracked non-ADA compliant commercial driveway approaches along Forest Street and install new commercial Driveway Approaches per City Standard P-6 as approved by the City Engineer.

COA-14. The applicant shall comply with all 2018 California Building Code (CBC) Chapter 11B ADA accessibility guidelines.

COA-15. The applicant shall comply with all of the requirements of the Building Official, Fire Department and Public Works Department.

COA-16. The applicant shall obtain approval from the Public Works Department and Coalinga's Private Solid Waste Carrier for the location of the proposed on-site trash enclosures for solid waste disposal and pick up. The trash enclosures shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.

COA-17. Public Water, Sewer and Natural Gas are currently extended along the south and west sides of the paved drive lanes of the site and are connected to serve this development. Additional proposed city utility connections shall be per City Standards and will require approval by the City Engineer. Note the City of Coalinga does not provide a 1.5" water meter service.

COA-18. The applicant proposes relocation of the existing Public Water, Sewer and Natural Gas facilities to allow for the installation of the proposed Trash Compactor. Future access for the maintenance of the water main at the proposed realignment may require removal of the trash compactor and new bollards at the applicant's expense.

COA-19. The Public Water Main, Sewer and Natural Gas Mains serve additional customers upstream of the planned realignment location. The applicant's contractor shall obtain an Encroachment Permit from the City of Coalinga prior to beginning work. The Contractor shall maintain existing services to upstream customers to cause the least possible disruption of services. The City of Coalinga Public Works Inspectors shall be present at all planned disconnections and reconnections to new water mains, sewer mains and natural gas mains. The contractor shall perform all water main disinfection requirements prior to placing the new water main in service.

COA-20. The applicant shall furnish and install a separate domestic water service for each proposed water meter.

COA-21. The applicant shall adhere to the master sign program and any changes to the program shall be made in accordance with the planning and zoning code related to master sign programs.

Exhibit “B”
MASTER SIGNAGE PROGRAM
APPLICATION NO. CDA 22-01

KOZ Real Estate

25 W Polk Street
Coalinga, CA 93210

MASTER SIGN PROGRAM

LOREN INDUSTRIES

First Draft July 2022

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B. City Approval & Permits
C. Responsibility for Work
D. Prohibited Signs

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B. Window Signs
C. Projecting Blade Signs
D. Menu boards
E. Directional Signs
F. Shopping Center Identification Signage

SECTION III – NOTICE TO SIGN COMPANIES

SECTION IV – INSURANCE

EXHIBITS

EXHIBIT A. - Elevations/Wall Signs
EXHIBIT B. - Shopping Center Identification Signage

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St. Lic.: 455415
Los Angeles, CA

KOZ REAL ESTATE

DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
1 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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SECTION I – PROJECT OVERVIEW

The purpose of the criteria is to establish a coordinated sign program that will afford each tenant adequate identification while achieving an attractive and harmonious overall appearance among the leased spaces. All signs shall be compatible with the architectural style, design, material and color of the building.

A. LANDLORD APPROVAL

1. Tenant shall submit (4) four copies of the sign design drawings of the proposed signs to the Landlord/Agent for approval prior to fabrication of such signs.
2. Drawings are to be prepared by a reputable state-licensed sign contractor.

B. CITY APPROVAL & PERMITS

1. Permits are required for all signs except those specifically exempt from the City of Coalinga permit requirements.
2. All new Tenants and their sign contractors are advised to conform to the Uniform Building Code and conform with the current sign ordinance where applicable.
3. All permissible signs shall be subject to sign review by the City of Coalinga Community Development Department. The applicant, pursuant to landlord approval, shall file a city application signed by the property owner including both accurate owner and applicant information. Appropriate fees shall be paid and four (4) sets of conceptual drawings approved and signed by the landlord are to be submitted including:
   a. Site plan displaying lot dimensions and the size and location of all existing and proposed signs on the property.
   b. Front elevation and cross section of the proposed sign showing the color(s), color number(s), materials, dimensions, grade level, copy size and letter style.
   c. Fabrication and install details, including structural and engineering data.
   d. Two (2) sets of engineering data, when required, to be signed and stamped by a person competent and qualified to prepare such information.
4. Applications for Sign and Building Permits are to be prepared by a reputable state licensed contractor and require the contractor's signature.
5. Upon approval by the City of Coalinga Planning Division, the applicant shall apply to the Building & Safety Division for necessary permits prior to install.

C. RESPONSIBILITY FOR WORK

Tenant shall be fully responsible for the work of its sign contractors. Such responsibility shall include, but not be limited to the following:

1. The Tenant shall pay for all fees, permits, variance, signs, installation, materials, repairs and maintenance. In addition, Tenant is responsible for the cost of electricity to operate said electrical signage.
2. Each Tenant, or its sign contractor, shall be responsible for the repair of any and all damage caused by the installation and/or removal of the Tenant's sign. Repairs are to be made within (15) days of initial damage or malfunction or prior to final inspection by an authorized representative of the City of Coalinga.
3. Tenant's sign company shall manufacture and install in a complete and workmanlike manner, any sign of the Tenant at the approved sign locations.
4. Tenant shall, upon vacating the premises, be responsible for removal of his/her sign, and for any and all repairs and paint required as the result of such removal. All such repairs and painting shall be made prior to Tenant's vacating the premises.
5. Any sign installed by Tenant which is not in conformance to the current City Ordinance and/or City approved drawings shall be corrected by Tenant within fifteen (15) days.
6. In the event Tenant's sign is not brought into conformance within the stipulated period, Landlord has the right to correct said sign at Tenant's expense. The same applies to removal and repair of burned lights, broken sign face, defaced signs, etc.
7. Tenant acknowledges that the Landlord gives no assurances that a sign approved by the Landlord, which is consistent with these Criteria, will be acceptable to the government entity with authority to approve signs. Tenant shall be solely responsible for bringing the Tenant's sign into compliance with all local rules and ordinances.
8. Maintenance or replacement of signs due to weathering, damage, etc. shall be the responsibility of the Tenant.

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D. PROHIBITED SIGNS

Any illegal non-conforming or unapproved sign is strictly forbidden. Prohibited signs include the following:

1. Flashing, moving, pulsating or intermittently lighted signs.
2. Signs which conflict with any traffic control device due to color, wording, design, location or illumination, or with the safe and efficient flow of traffic, both vehicular and pedestrian.
3. Cabinet or Canister signs.
4. A sign attached to, or written upon, an awning, a sign protruding over public sidewalk and /or right-of-way.
5. Building, parapet and roof signs.
6. Banners, balloons, pennants, streamers, flags, and other such advertising devices, except as a temporary sign; subject to Planning Division approval of a Temporary Sign Permit.
7. Painted signs.
8. A-frame signs.
9. Neon window signs and borders.
10. Any signs as prohibited by the City Coalinga Municipal Code.
11. Exposed raceways, transformers, or conduits.
12. Foam letters.
13. Pole signs.
14. Movable and temporary signs
15. Vehicle Signs
16. Sign Manufacturer logos

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SECTION II – SIGN CRITERIA

A. Wall Signs (See Pages 8 & 9)

Wall Signs on the building shall consist of individual L.E.D. illuminated channel letters, and/or channel logos.

1. Allowable square feet per elevation facing a public right of way, or right of access for motor vehicles is 1 .5 square feet for each lineal foot of frontage.
2. Allowable square feet per elevation not facing a public right of way, or right of access for motor vehicles is 1.5 square foot for each lineal foot of frontage.
3. One (1) wall sign per elevation of lease space belonging to the tenant.
4. Area of sign is calculated by a rectangle that encompasses the outer vertical and horizontal limits of the channel letters.
5. Letters may have an optional backer panel provided the panel is not illuminated, color is approved by landlord and perimeter does not extend beyond 12” of the channel letters vertically or horizontally.

B. Window signs/graphics (See Exhibit B for details)

1. Window signs are permitted so long as they do not exceed 25% of the window which they occupy.
2. Window signs may be illuminated.

C. Shopping Center Identification Sign (See Pages 14 & 15)

The Homestead Marketplace will have (1) freestanding sign. One at the entrance to the center on Polk Street, and Tenants and their spaces are to be determined by the landlord.

Monument sign on Polk St.

1. Monument shall be 30' Overall Height
2. Tenant Panels: There will be seven (7) tenant panels 80”x22” and 39” x14”
3. Panels shall be routed out .125 aluminum with ¾” push thru acrylic copy.
4. Tenant signage is limited to 60 sq.ft., remaining area is exempt per center identification signage regulations. Only 1 side is counted towards total sign area.

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SECTION III – NOTICE TO SIGN COMPANIES

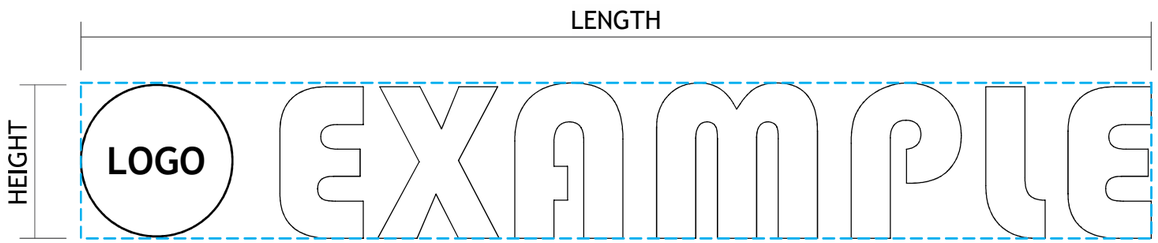
The entire sign display of the Tenant shall be guaranteed for a period of (1) one year against defects in materials and workmanship. Defective parts shall be replaced without charge during the warranty period.

SECTION IV – INSURANCE

Tenant's sign company shall carry Worker's Compensation and Public Liability insurance against all damage suffered by or done to any and all persons and/or property while engaged in the construction or erection of signs in the amount of $1,000,000, or as provided by current ordinance, combined single limit. Landlord shall be presented with reasonable evidence of such coverage prior to commencement of any such sign construction work. Tenant shall indemnify the Landlord and hold the Landlord harmless from all cost, liability, damages and expense including attorney's fees and costs incurred by the Landlord as a result of any sign construction or installation work by the Tenant or its contractors.

SECTION IV – MEASURING SIGN AREA

Sign area includes the entire face of a framed sign, but does not include the supporting structure. Individual letters attached to a building shall be measured by the area enclosed by a continuous line outlining the perimeter of the words, and logos.



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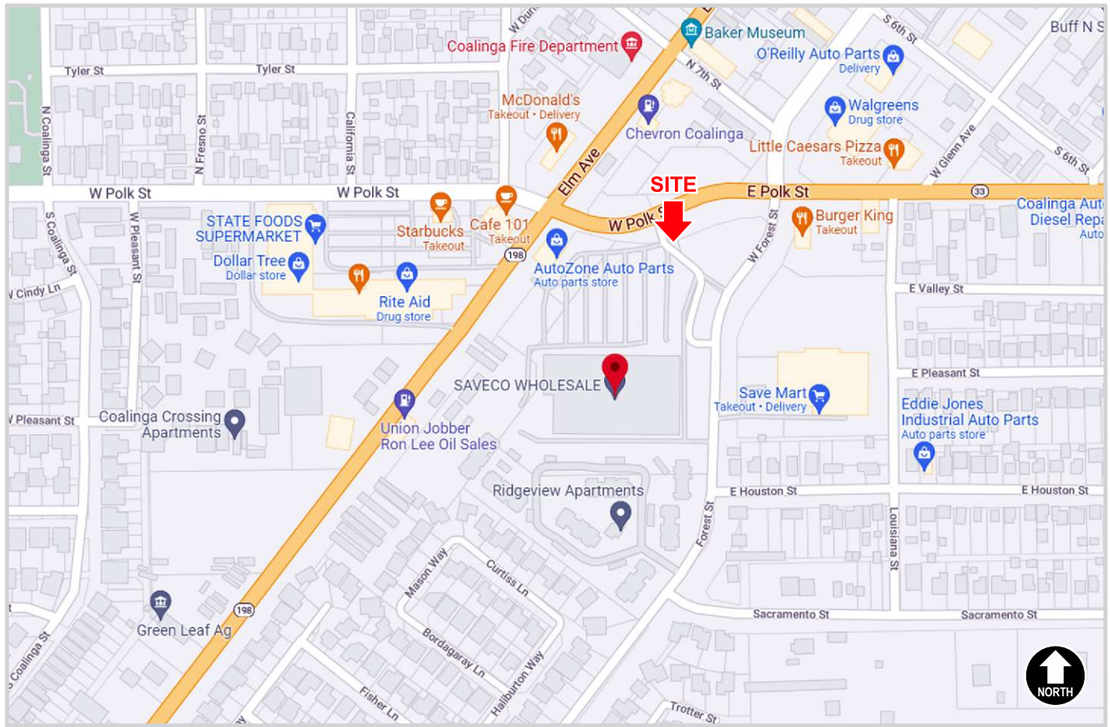
SCHEDULE

N1 - (1) INTERNALLY-ILLUMINATED D/F PYLON SIGN
N2 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS
N3 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS
N4 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS W/ BACK PANEL
N5 - (1) BUILDING TENANT INTERNALLY ILLUMINATED CHANNEL LETTERS W/ BACK PANEL

APPROVAL

X	Title	Date



VICINITY MAP NOT TO SCALE

KOZ REAL ESTATE

HOMESTEAD MARKETPLACE

25 W POLK STREET
COALINGA, CA 93210

SIGN CODE

(1) Pole signs. Pole signs are allowed subject to the specific Zoning District standards and the following standards, whichever is more restrictive:
Maximum number of signs: One pole sign per site.

(2) Maximum sign area per sign: Sixty (60) square feet, inclusive of all businesses advertised.

(3) Architectural treatment: Pole signs shall be architecturally compatible in style, finish and color with the adjacent building or development. Structural supports, poles, angle bars, iron pipes, I-beams or similar structural members shall be architecturally encased with finished metal cladding, stucco, or similar material, subject to approval by the Community Development Director as to proportion and architectural compatibility.

(4) Landscaping. Pole signs shall be placed within a landscaped planter with at least twenty-eight (28) square feet of planting area. As a condition of any permit for a pole sign, additional landscaping of the property may be required where needed to better integrate sign appearance with the site through scale and softening effects.

(5) Height. A maximum of twenty (20) feet, with a minimum clearance of fourteen (14) feet over parking lots and driveways, and eight (8) feet over pedestrian walkways.

(6) Projection. Pole signs shall not project beyond the property line.

ALLOWABLE 60 SQ. FT. **PROPOSED 59.52 SQ. FT.**

LEGEND

N1 NEW PROPOSED
R1 EXISTING SIGN TO BE REPLACED
X1 EXISTING SIGN TO BE REMOVED
S1 EXISTING SIGN TO REMAIN

AERIAL MAP NOT TO SCALE

LOREN INDUSTRIES
12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA

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DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
6 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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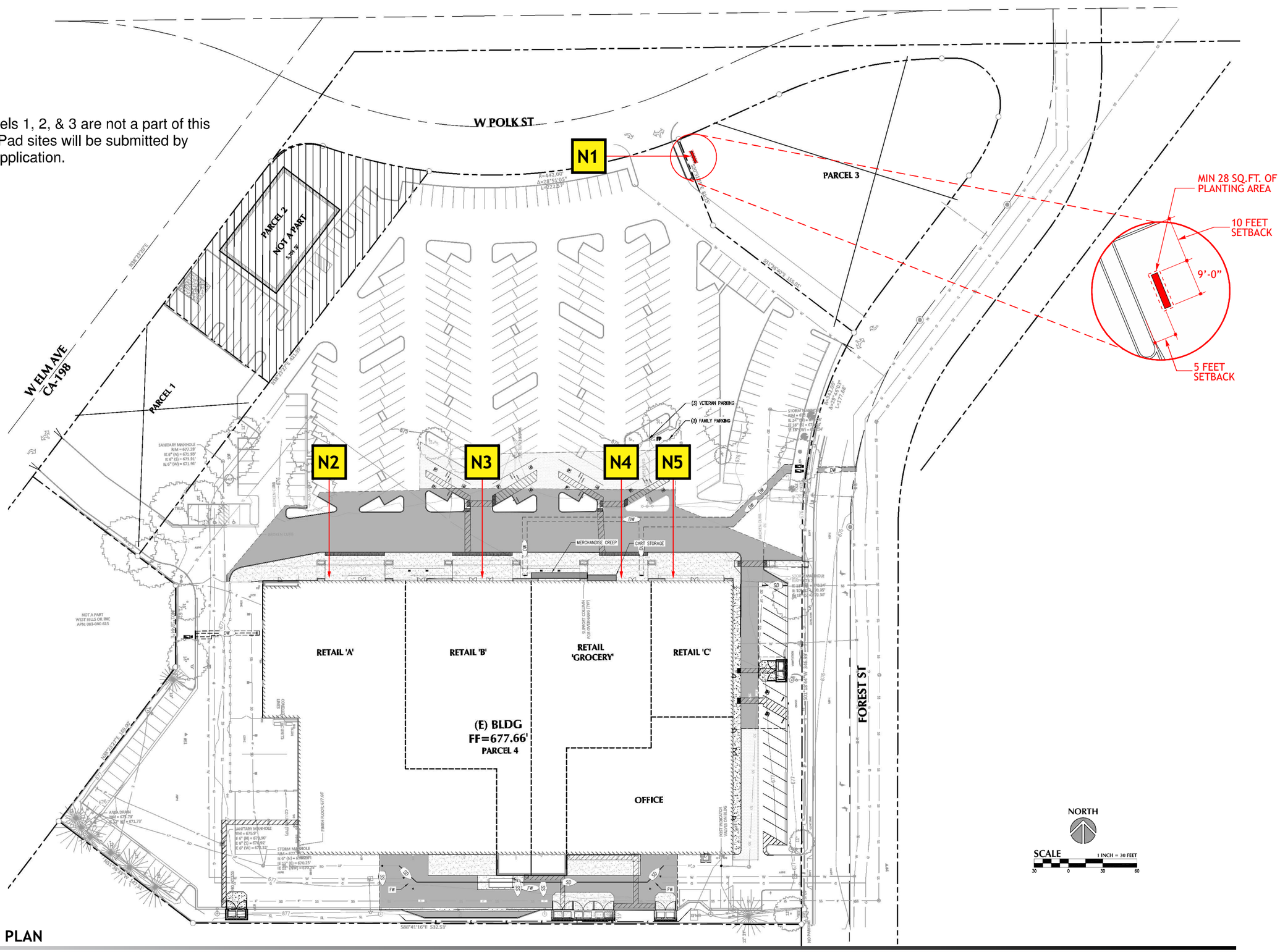
Note: Parcels 1, 2, & 3 are not a part of this submittal. Pad sites will be submitted by separate application.



SITE PLAN

Scale: 1" = 100'-0"

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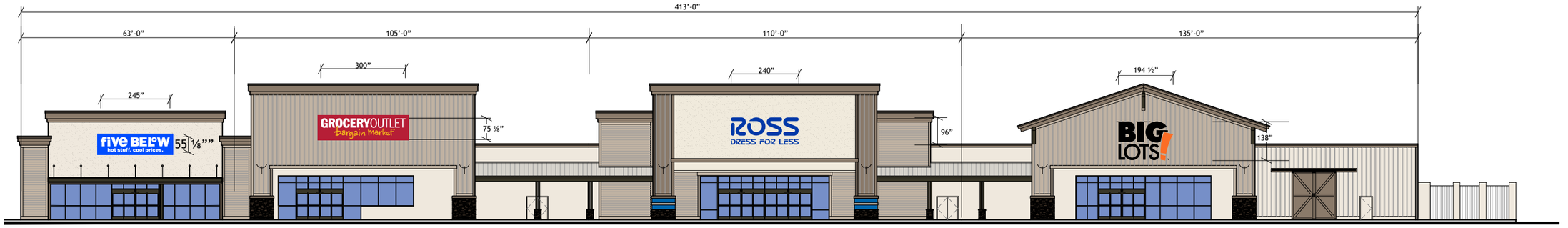
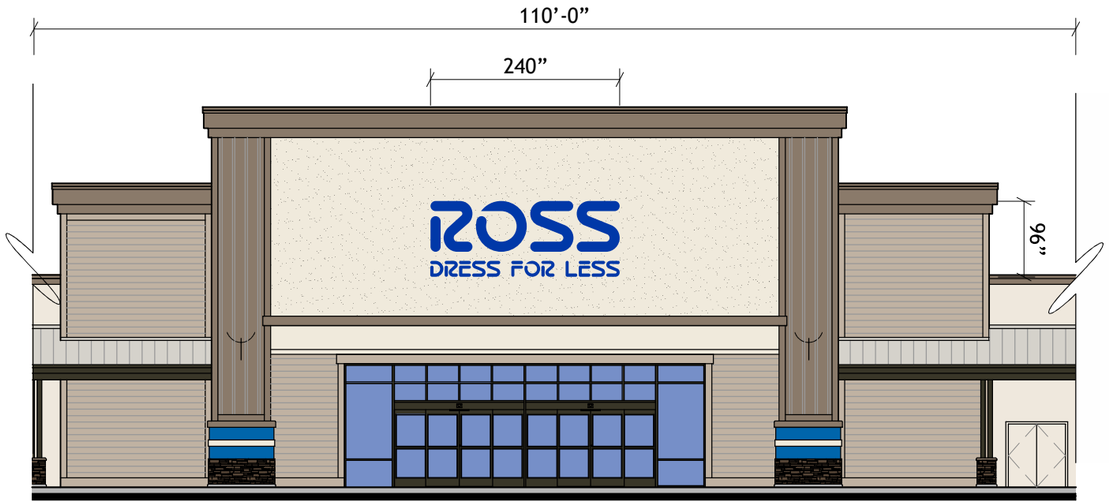


NORTH ELEVATION

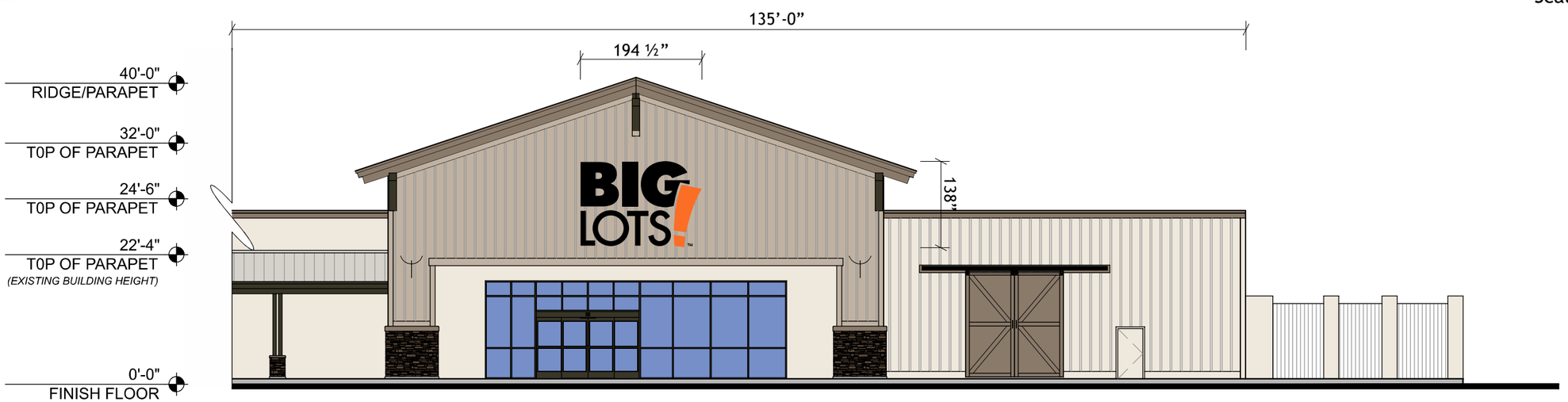
Scale: 1/32" = 1'-0"



N3 NORTH ELEVATION (TENANT 2)

160.0 SQ. FT.

Scale: 1/16" = 1'-0"



N2 NORTH ELEVATION (TENANT 1)

186.4 SQ. FT.

Scale: 1/16" = 1'-0"

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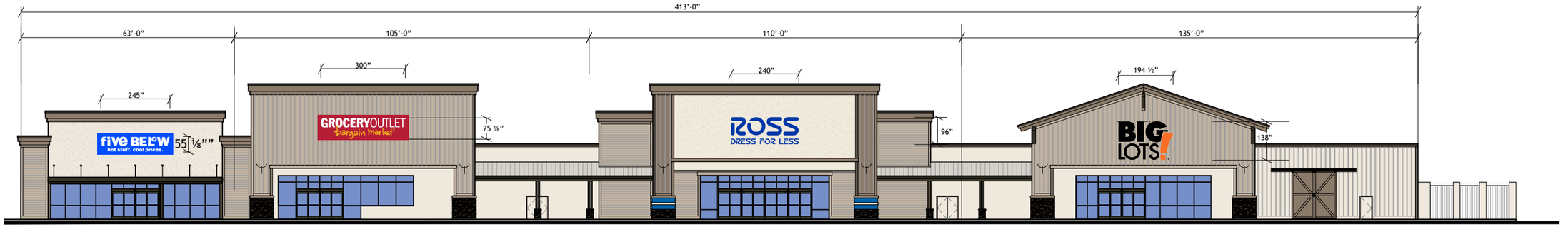


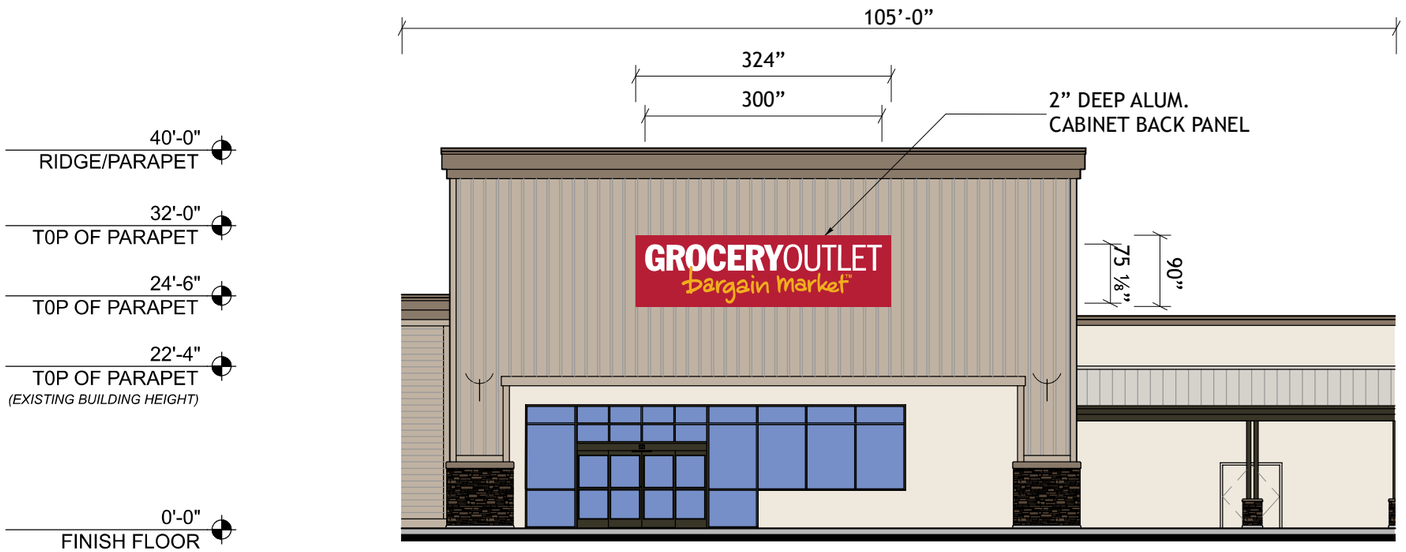
NORTH ELEVATION

Scale: 1/32" = 1'-0"

N5 NORTH ELEVATION (TENANT 4)

93.79 SQ. FT.

Scale: 1/16" = 1'-0"



N4 NORTH ELEVATION (TENANT 3)

156.5 SQ. FT.

Scale: 1/16" = 1'-0"

LOREN
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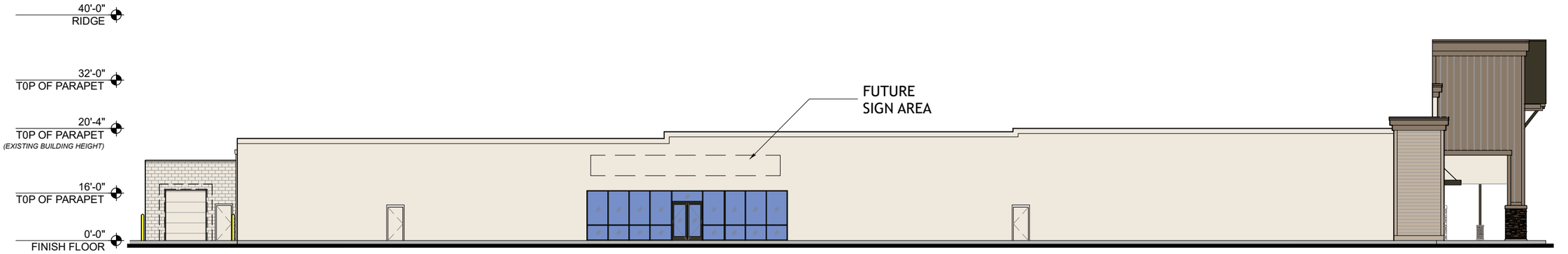

EAST ELEVATION

Scale: 1/32” = 1’-0”

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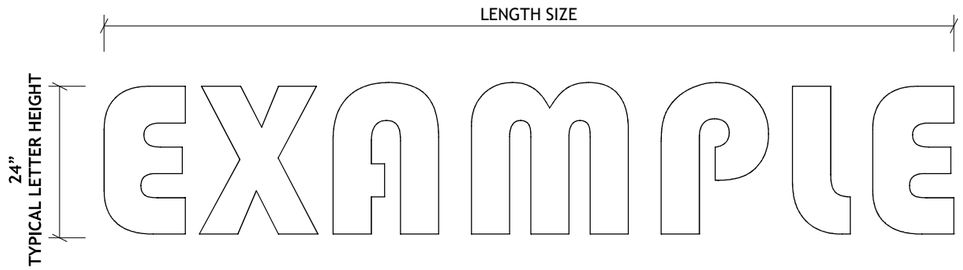
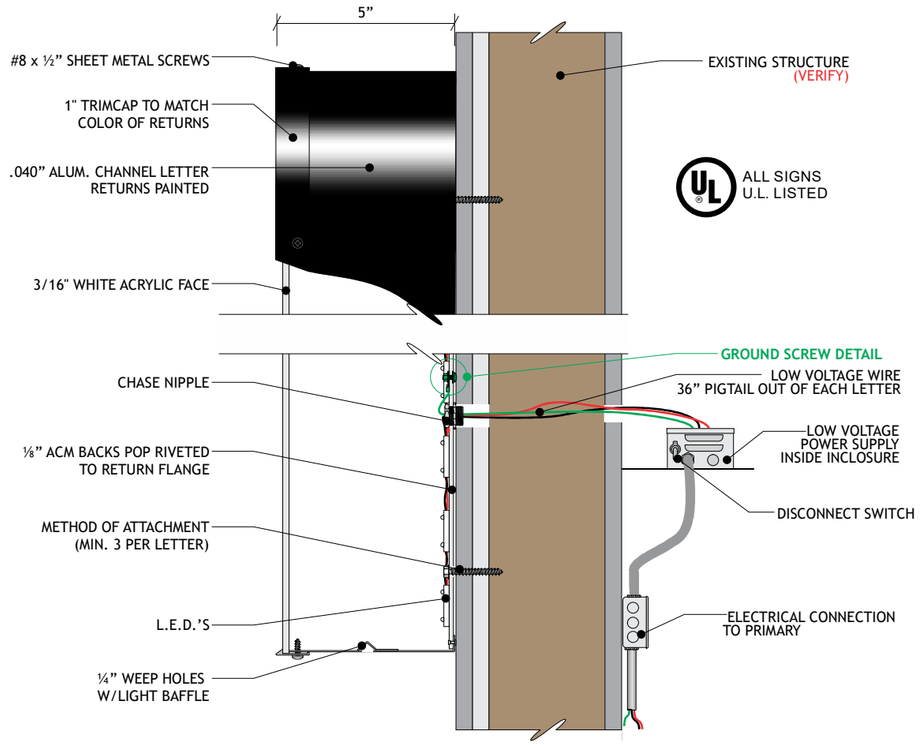


ILLUMINATED FLUSH-MOUNTED FACE-LIT CHANNEL LETTERS

FRONT VIEW

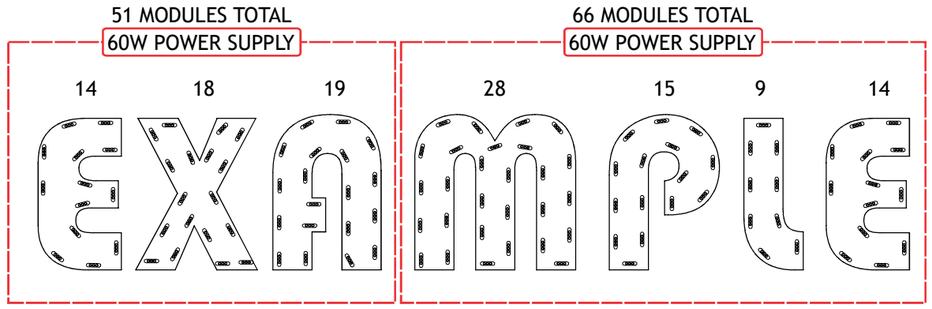
SCALE: 1/2" = 1'-0"



SECTION DETAIL (FLUSH-MOUNTED CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .125" ACRYLIC FACES
RETURNS:..... .040" X 5.300 ALUMINUM COIL
BACKS:..... ⅛" ACM WHITE BACKS
TRIM CAP:..... 1" JEWELITE TRIMCAP
ILLUMINATION:.. LED'S

ELECTRICAL SPECIFICATIONS:

(117) WHITE LED MODULES @ 0.72W EA= 84.24W TOTAL
(2) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

1.) INSTALLATION OF THIS SIGN SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF NEC, UL48 AND/OR OTHER APPLICABLE LOCAL CODES.
2.) BRANCH CIRCUIT:
A.) ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND AND DEDICATED NEUTRAL PER CIRCUIT).
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C.) PROPERTY SIZED GROUND WIRE THAT CAN BE TRACKED TO THE BREAKER PANEL MUST BE PROVIDED.
3.) U.L. AND DATA LABELS REQUIRED
4.) SIGN SATISFIES ALL REQUIREMENTS OF TITLE 24.
5.) OUTDOOR SIGNAGE TO EMPLOY EITHER PHOTOCELL OR OUTDOOR ASTRONOMICAL TIMER

UL LISTED

ELECTRIC SIGN SECTION

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THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

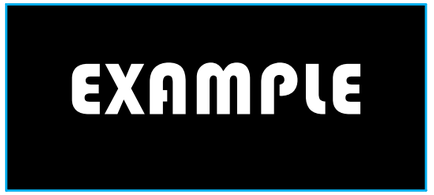
METHODS OF ATTACHMENT

STUCCO OR EIFS OVER PLYWOOD BACKER
#10 X 2 ½" LONG TEK SCREWS (MIN. 3 PER LETTER)

STUCCO OR EIFS WITHOUT PLYWOOD BACKER
TYP. ⅜" X 4" LONG TOGGLE BOLTS (MIN. 3 PER LETTER)

CONCRETE, CMU OR BRICK
#10 X 1½" LONG TEK SCREWS w/SUPERRIBBED NYLON ANCHORS OR 3/16"X1 ½"TAPCON (MIN. 3 PER LETTER)

WOOD OR METAL
#10 X 1½" LONG TEK SCREWS (MIN. 3 PER LETTER)



NIGHT VIEW

LOREN INDUSTRIES
12226 Coast Drive
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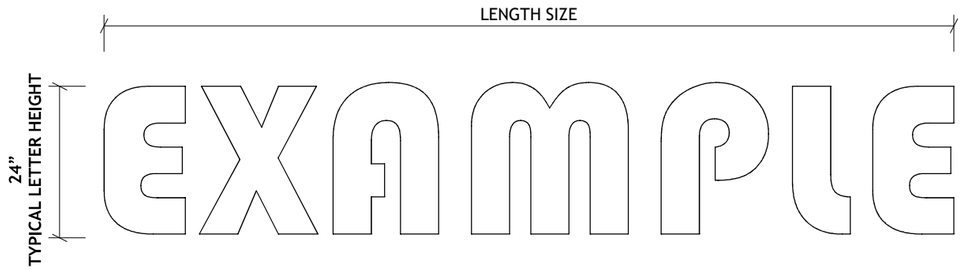
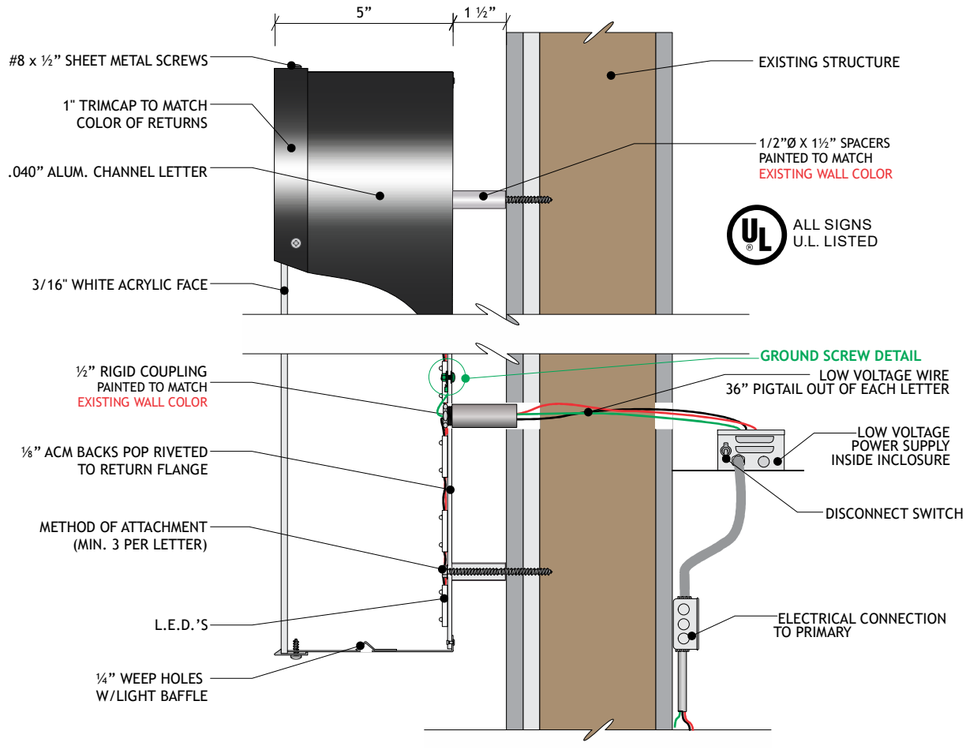


ILLUMINATED PIN-MOUNTED FACE-LIT CHANNEL LETTERS

FRONT VIEW

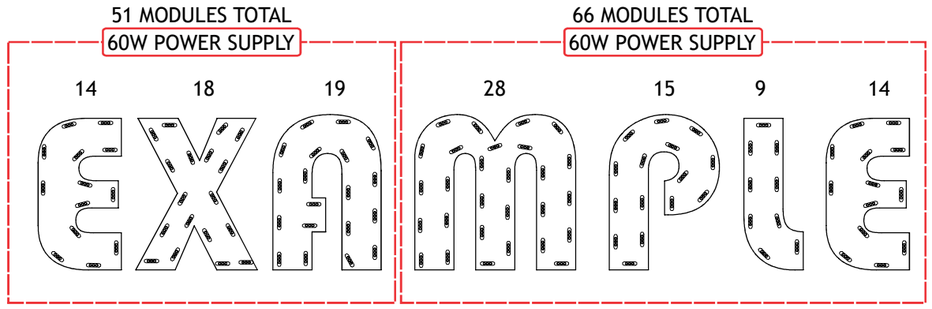
SCALE: 1/2" = 1'-0"



SECTION DETAIL (PIN-MOUNTED CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SPECIFICATIONS:

LETTERS:

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RETURNS:..... .040" X 5.300 ALUMINUM COIL
BACKS:..... ⅛" ACM WHITE BACKS
TRIM CAP:..... 1" JEWELITE TRIMCAP
ILLUMINATION:.. LED'S

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(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

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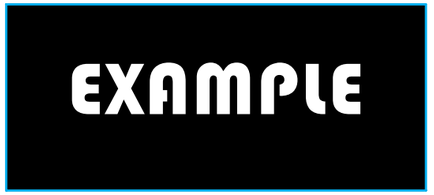

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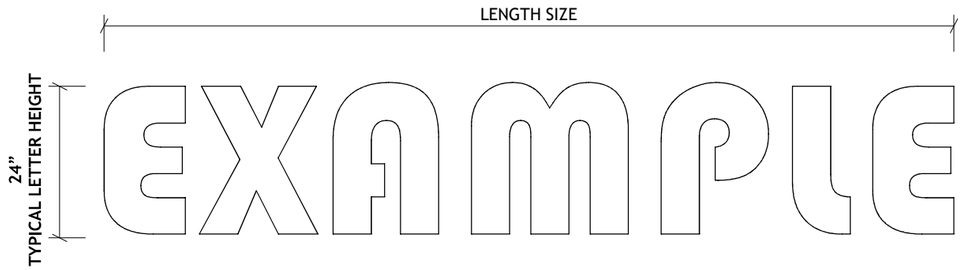
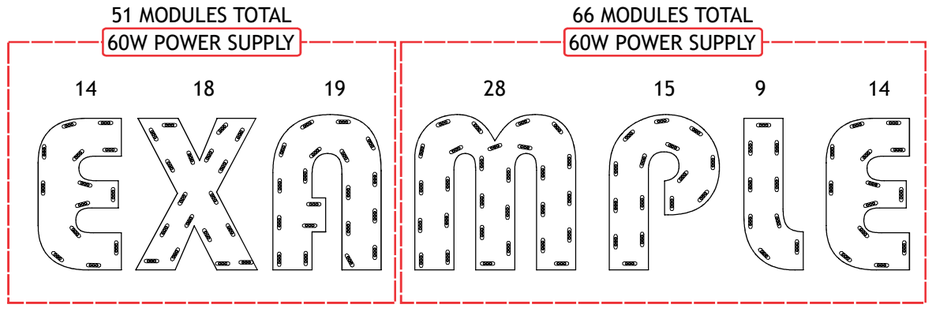


ILLUMINATED FACE & HALO-LIT CHANNEL LETTERS

FRONT VIEW

SCALE: 1/2" = 1'-0"



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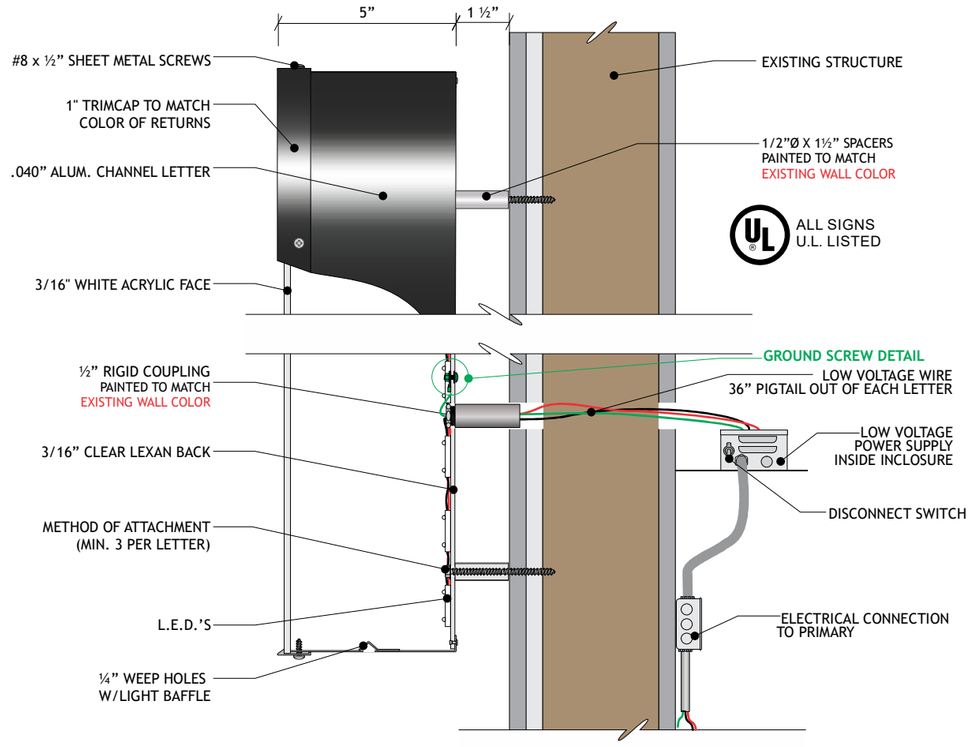
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.



SECTION DETAIL (FACE & HALO LIT CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS

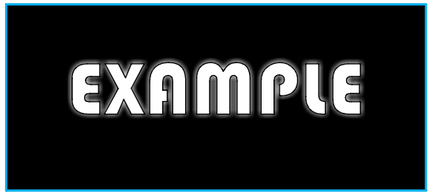
METHODS OF ATTACHMENT

STUCCO OR EIFS OVER PLYWOOD BACKER
#10 X 2 ½" LONG TEK SCREWS (MIN. 3 PER LETTER)

STUCCO OR EIFS WITHOUT PLYWOOD BACKER
TYP. ⅜" X 4" LONG TOGGLE BOLTS (MIN. 3 PER LETTER)

CONCRETE, CMU OR BRICK
#10 X 1½" LONG TEK SCREWS w/SUPERRIBBED NYLON ANCHORS OR 3/16"X1 ½"TAPCON (MIN. 3 PER LETTER)

WOOD OR METAL
#10 X 1½" LONG TEK SCREWS (MIN. 3 PER LETTER)



NIGHT VIEW

LOREN INDUSTRIES
12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA

KOZ REAL ESTATE

DRAWING/REVISION NO.:
09-21-0016R9

PAGE NO.:
13 OF 17

CLIENT:
KOZ REAL ESTATE

ADDRESS
25 W Polk Street
Coalinga, CA 93210

Approval Signature

DATE:
09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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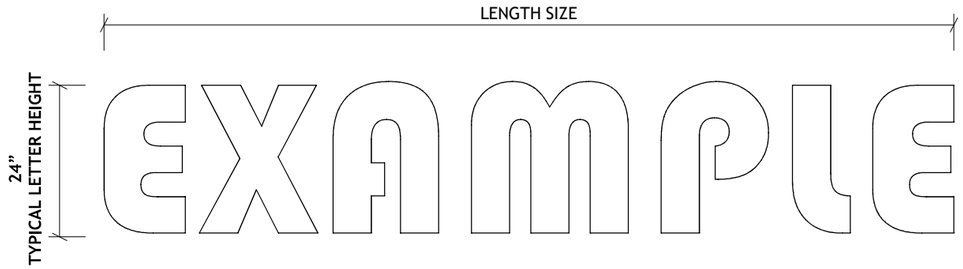
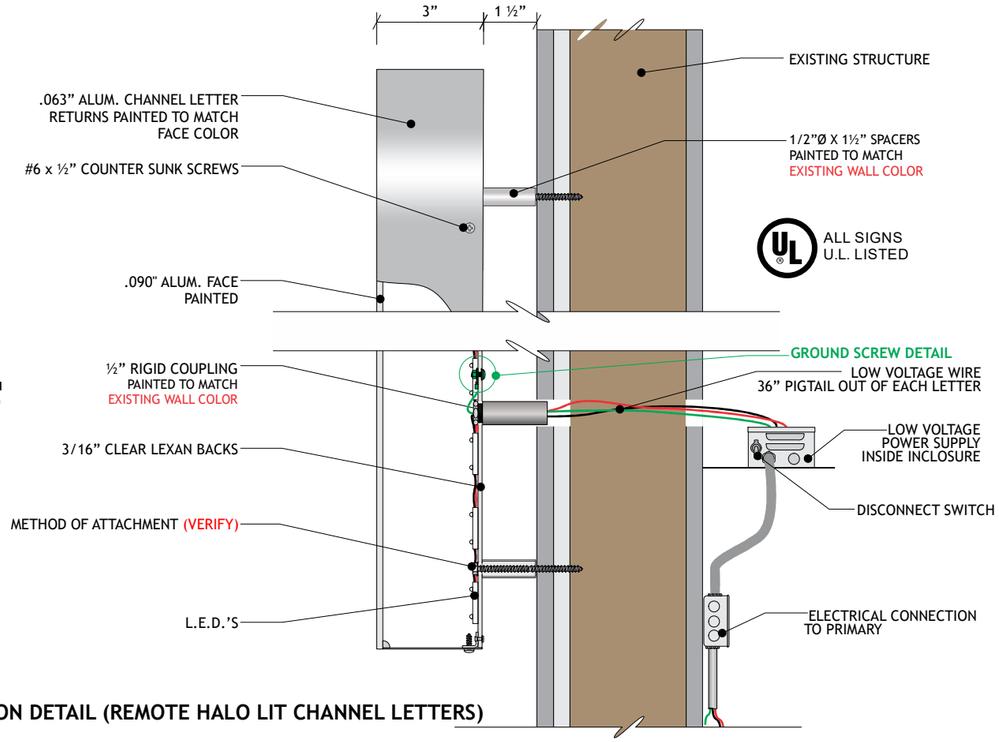


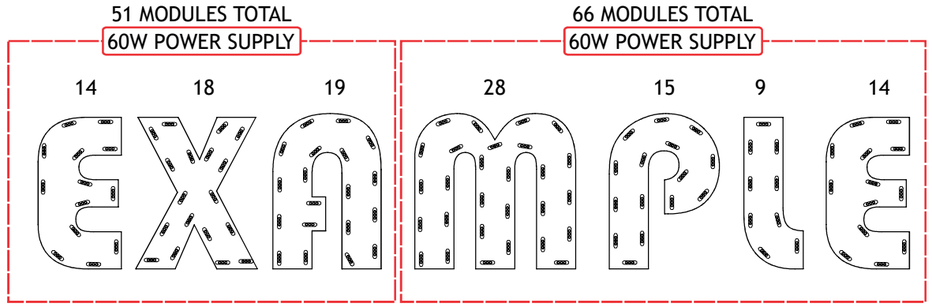
ILLUMINATED HALO-LIT CHANNEL LETTERS

FRONT VIEW

SCALE: 1/2" = 1'-0"



SECTION DETAIL (REMOTE HALO LIT CHANNEL LETTERS)



ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

SCALE: NTS

SECTION DETAIL (HALO LIT CHANNEL LETTERS)

WOOD OR METAL

SCALE: NTS

SPECIFICATIONS:

LETTERS:

FACES:..... .090" ALUMINUM FACES
RETURNS:..... .063" ALUMINUM RETURNS
BACKS:..... 3/16" CLEAR LEXAN BACKS
ILLUMINATION:.. LED'S

ELECTRICAL SPECIFICATIONS:

(117) WHITE LED MODULES @ 0.72W EA= 84.24W TOTAL
(2) 12V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED

TOTAL CIRCUIT LOAD: 2.4 AMPS @ 120 VAC

GENERAL NOTES:

1.) INSTALLATION OF THIS SIGN SHALL CONFORM TO THE REQUIREMENTS OF ARTICLE 600 OF NEC, UL48 AND/OR OTHER APPLICABLE LOCAL CODES.
2.) BRANCH CIRCUIT:
A.) ALL BRANCH CIRCUITS FOR SIGNS MUST BE TOTALLY DEDICATED TO SIGNS (INCLUDING DEDICATED GROUND AND DEDICATED NEUTRAL PER CIRCUIT).
B.) SIGN CIRCUITS MUST NOT BE SHARED WITH OTHER LOADS SUCH AS LIGHTING, AIR CONDITIONING AND OTHER EQUIPMENT.
C.) PROPERTY SIZED GROUND WIRE THAT CAN BE TRACKED TO THE BREAKER PANEL MUST BE PROVIDED.
3.) U.L. AND DATA LABELS REQUIRED
4.) SIGN SATISFIES ALL REQUIREMENTS OF TITLE 24.
5.) OUTDOOR SIGNAGE TO EMPLOY EITHER PHOTOCELL OR OUTDOOR ASTRONOMICAL TIMER

UL LISTED

ELECTRIC SIGN SECTION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES.

THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

NOTES:

ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)

ALL WIRING SHALL BE 12 GA

(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.

ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

METHODS OF ATTACHMENT

STUCCO OR EIFS OVER PLYWOOD BACKER
#10 X 2 ½" LONG TEK SCREWS (MIN. 3 PER LETTER)

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NIGHT VIEW

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09/30/2021

PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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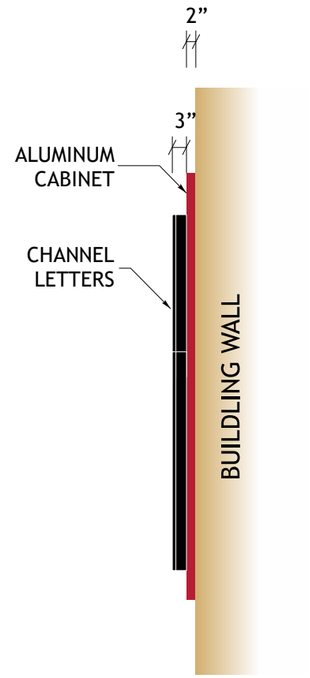


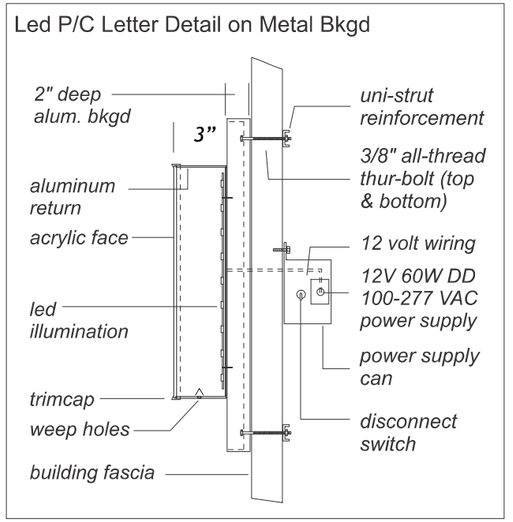
SIDE VIEW

SCALE: 3/8”=1’-0”

ILLUMINATED CHANNEL LETTERS

LED LAYOUT & WIRING DIAGRAM

NIGHT VIEW
SCALE: NTS



SCALE: NTS

SPECIFICATIONS

Led Illuminated P/C Signs on Aluminum Bkgd *(w/ behind the wall r/w)*
white acrylic letter faces with 1st surface vinyl decoration;
golden yellow #3630-125. 5” deep black returns with black 1” trimcap.
White Led illumination. Aglight Ultra 650 7100k
8’x27’x2” deep 0.125 aluminum face. paint dark red #3630-73 matthews.
Letters to have weep holes at low points for drainage.
External disconnect switch on power supply can.
Power supply 12V 60W DD 100-277 VAC

COLORS/FINISHES

- P-1 MATTHEWS DARK RED #3630-73
- P-2 MATTHEWS DEEP BLACK
- V-1 GOLDEN YELLOW #3630-125

NOTE:
THE 8 X 27-PANEL SIGNS ARE TYPICALLY FABRICATED IN TWO SECTIONS. ONE PANEL IS USUALLY LARGER THAN THE OTHER. NEED TO BE PERFECTLY SQUARE TO LINE UP WITHOUT ANY GAPS.

CHANNEL LETTERS ARE MOUNTED AND PREWIRED WITH THE LEADS - 10' WHIP. ALL CONNECTIONS ARE INSIDE THE LETTERS FOR THE SERVICE SIDE OF IT.

TYPICALLY SHIPPED ON AN A-FRAME - PANELS BACK TO BACK AND SHIPPED ON A FLATBED TRUCK. THEY REMOVE THE FRAME FROM THE PANEL AND MOUNT IT TO THE WALL AND THEN SLIP THE PANEL CABINET OVER THE FRAME AND SECURE - SHOE BOX.

LOREN
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PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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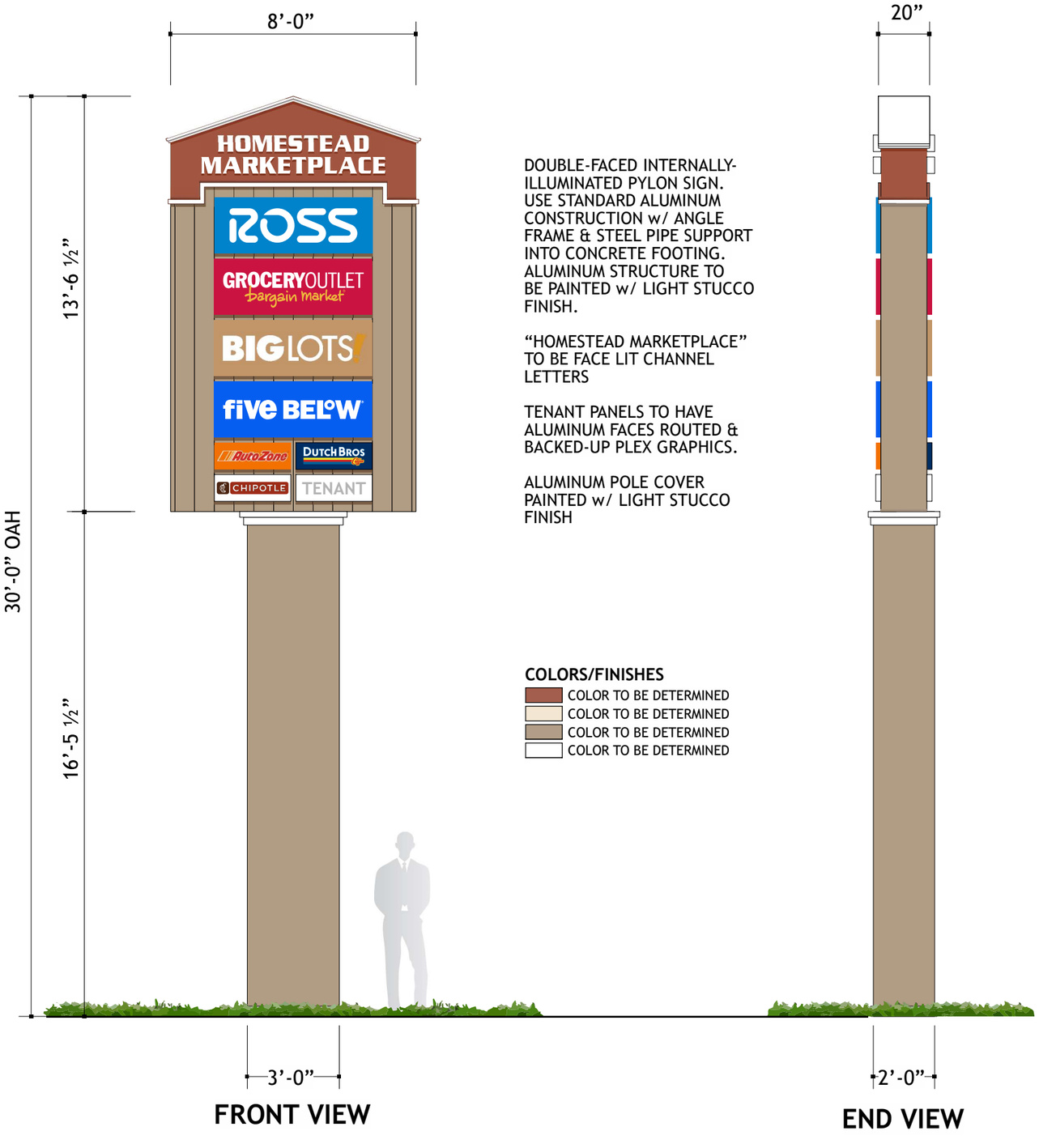

DOUBLE-FACED INTERNALLY-ILLUMINATED PYLON SIGN. USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE FRAME & STEEL PIPE SUPPORT INTO CONCRETE FOOTING. ALUMINUM STRUCTURE TO BE PAINTED w/ LIGHT STUCCO FINISH.

“HOMESTEAD MARKETPLACE” TO BE FACE LIT CHANNEL LETTERS

TENANT PANELS TO HAVE ALUMINUM FACES ROUTED & BACKED-UP PLEX GRAPHICS.

ALUMINUM POLE COVER PAINTED w/ LIGHT STUCCO FINISH

N2 **INTERNALLY-ILLUMINATED D/F PYLON SIGN**

Scale: 1/4” = 1’=-0”

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Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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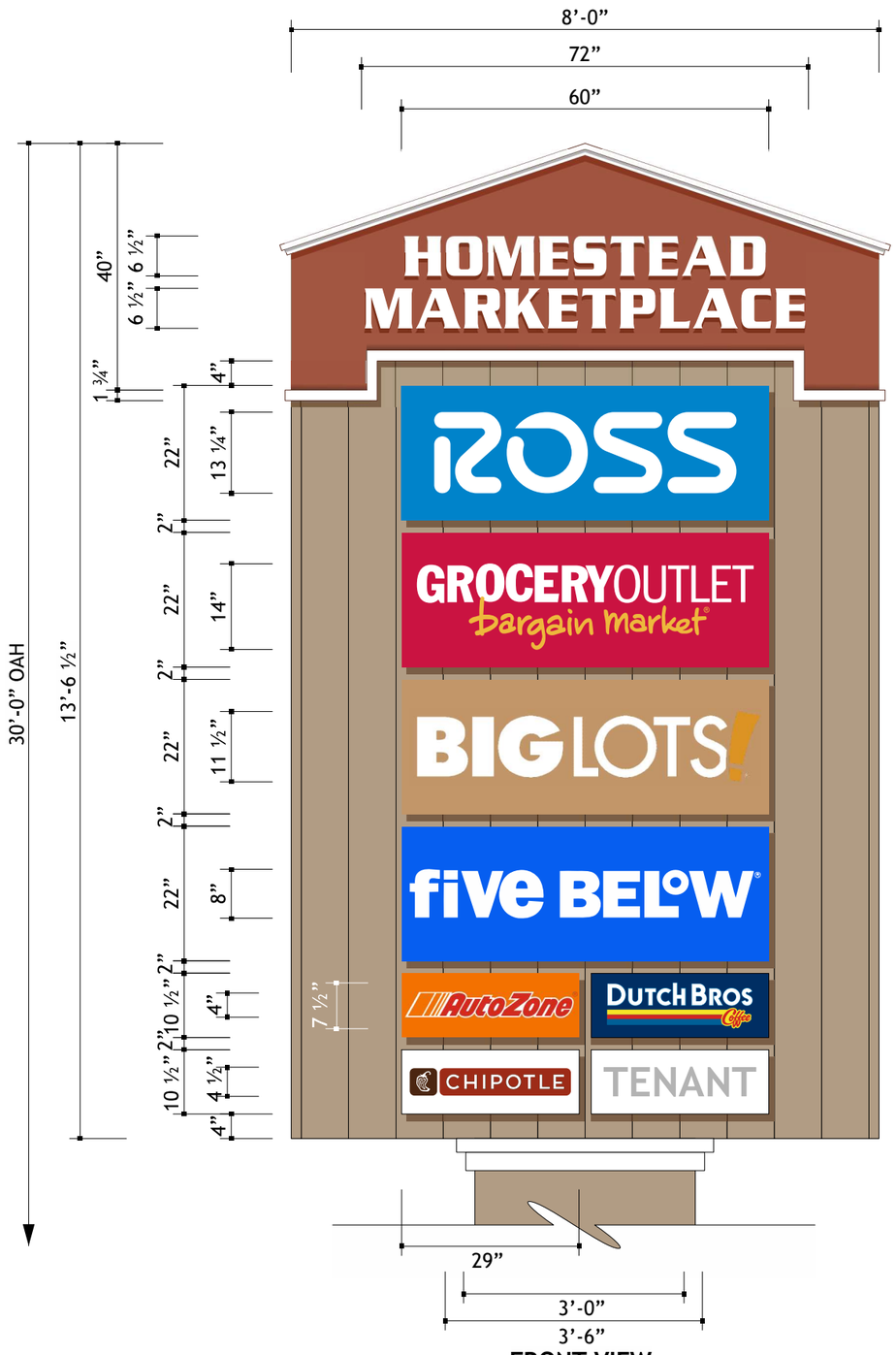


FRONT VIEW

9.167 SQ.FT. — DOUBLE-FACED INTERNALLY-ILLUMINATED PYLON SIGN USE STANDARD ALUMINUM CONSTRUCTION w/ ANGLE FRAME & STEEL PIPE SUPPORT INTO CONCRETE FOOTING. ALUMINUM STRUCTURE TO BE PAINTED w/ LIGHT STUCCO FINISH.

9.167 SQ.FT. — “HOMESTEAD MARKETPLACE” TO BE FACE LIT CHANNEL LETTERS

TENANT PANELS TO HAVE ALUMINUM FACES ROUTED & BACKED-UP PLEX GRAPHICS.

9.167 SQ.FT. — ALUMINUM POLE COVER PAINTED w/ LIGHT STUCCO FINISH

COLORS/FINISHES

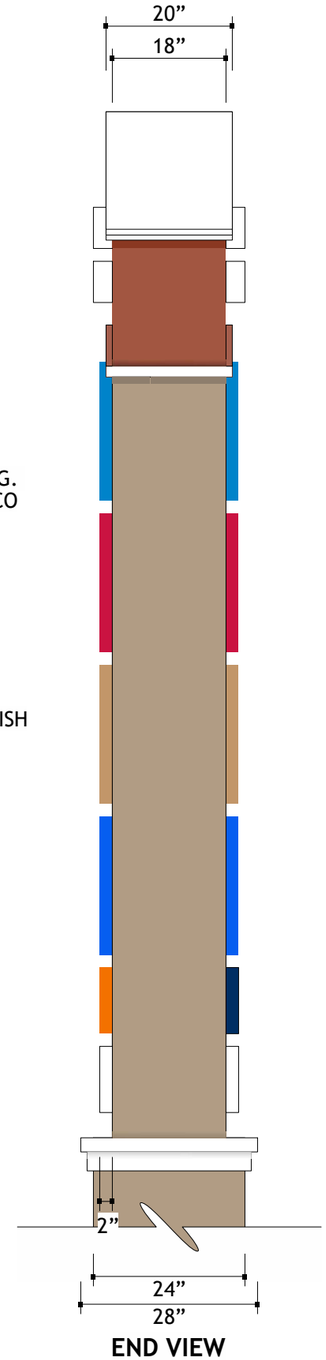
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED
- COLOR TO BE DETERMINED

9.167 SQ.FT.

2.1146 SQ.FT. EACH

TOTAL 45.1264 SQ.FT.
TENANT PANELS

*FIELD SURVEY REQUIRED
*COLOR CALL OUTS REQUIRED
*ENGINEERING REQUIRED



END VIEW

N2 INTERNALLY-ILLUMINATED D/F PYLON SIGN - OPT. B

Scale: 1/2” = 1’=-0”

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PROJECT MANAGER
Dave P.

DESIGNER:
Trong T.

REVISION DATE:
9.20.22

REVISION BY:
Cesar L.

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CITY OF COALINGA
The Sunny Side of the Valley

Staff Report- Chairman and Planning Commission

Subject:	Approval of a Conditional Use Permit for the Grocery Outlet at 25 W. Polk Street for the Approval of a Beer, Wine and Spirits License
Meeting Date	September 27, 2022
Project Location:	25 W. Polk Street, Coalinga, CA 93210
Applicant:	Grocery Outlet, 5650 Hollis Street, Emeryville CA 94608
Owner:	Ahmed Alamsi, 8526 81/2 Ave, Hanford CA 93230
Prepared By:	Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff recommends approval of Conditional Use Permit 22-04 by adopting Resolution No. 022P-008 with conditions.

II. BACKGROUND:

On September 12, 2022 the Community Development Department received a Conditional Use Permit application for the sale of alcohol (Beer, Wine and Distilled Spirits, Type 20/21 ABC License) at the proposed Grocery Outlet Store located at 25 W. Polk Street. Staff accepted the application on September 13, 2021 and began processing the application for a conditional use permit.

The requirements of a conditional use permit are intended to prevent problems associated with commercial establishments involved in the sale of alcohol for consumption on-site (on-sale) or off-premises (off-sale), and to prevent over-concentration. It has been demonstrated that such establishments can adversely affect nearby commercial and residential uses and can create substantial demands for police services. Therefore, the purpose of the CUP is to establish regulations to govern land uses involved in the dispensing of alcoholic beverages.

III. PROPOSAL AND ANALYSIS:

General Plan/Zoning Consistency: The property located at the soon to be renovated retail center at 25 W. Polk Street which will soon be home to grocery outlet and 4 other retailers. The sale of alcohol in the CR (Retail Center) zoning is permitted subject to a conditional use permit. The issuance of conditional use permit for this use is permitted and consistent with that of the General Plan Land Use Goals and Policies and Zoning Regulations.

Location: 25 W. Polk Street (Map Attached)

Operations: The sale of alcohol will be within the grocery store and beer, wine and distilled spirits will be permitted to be sold on these premises according to the application. The applicant is proposing a type 20 (beer and wine) but under this permit would like to have the option is a type 21 come available that they would be permitted to obtain that license at a future time.

All sales will be monitored by the department of alcoholic beverage control and strictly enforced.

Since this permit will be for a grocery store and not a bar or other establishment that may host special events, it is not anticipated that there will be a need for additional security and noise attenuation. Hours of operation will be limited to those of the grocery store and conditions will ensure that there is lighting satisfactory to the police department to enhance security.

Surrounding Uses: The project site is located on the corner of Polk Street and Elm Ave which are major aerial streets. Both Elm Ave and Polk have a mix of Commercial and Mixed Uses along their corridors which is not anticipated to be impacted by the proposed use.

Direction	Use
North	Commercial
South	Residential
East	Commercial
West	Commercial

Staff has determined that there are no land use compatibility and/or transitional concerns related to the placement and approval of this use.

Public Notification

Public hearing notices were sent to all property owners within 300 feet of the site as required by Local and State law.

Environmental Clearance

Staff has determined that this approval is not a project under CEQA as there are no anticipated impacts from the service station selling alcoholic beverages.

IV. FISCAL IMPACT:

None determined at this time.

V. REASONS FOR RECOMMENDATION:

A Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record. Staff feels that these findings have been met and recommend approval of conditional permit CUP 22-04.

General Plan consistency: Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

<u>Neighborhood compatibility</u>: The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;

<u>Asset for the neighborhood:</u> The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

ATTACHMENTS:

	Description
🗋	CUP 22-04 Application
🗋	Resolution No. 022P-008

CITY OF COALINGA
CONDITIONAL USE PERMIT APPLICATION

CUP 22-04 (Application Number) 9/13/2022 (Date)

APPLICANT INFORMATION:

Applicant/Property Owner: Grocery Outlet Inc / Ahmed Alamsi

Mailing Address: 5650 Hollis St, Emeryville CA 94608

Telephone Number: 209-595-9818 Assessor Parcel Number: 083-080-605

Property Location: 25 W Polk St

Legal Description (lot, block, Tracts, etc.) Homestead Marketplace

PROPERTY USE INFORMATION:

Current Zoning: Regional Commercial

Existing Number of Lots: — Proposed Number of Lots: — Area of Parcel: —

Proposed Use: Grocery store selling customary grocery store items in addition to beer / wine / distilled spirits. The alcholic beverages will not be consumed on the premises (off-premise only).

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures).

Grocery Outlet will occupy a portion (app 19,000 sf) of the 94,423 sf former Kmart building.

(If additional space is required attach separate sheet of paper)

Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

See attached project description.

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Veronica Vargas	
Signature of APPLICANT/AGENT	Signature of OWNER
Veronica Vargas, Grocery Outlet Inc	Ahmed Alamsi
Name of APPLICANT/AGENT (Please Print)	Name of OWNER (Please Print)
5650 Hollis St, Emeryville CA 94608	8526 8 1/2 Ave Hanford, CA 93230
Mailing Address	Mailing Address
209-595-9818	559-300-8638
Telephone Number	Telephone Number

Doc ID: d95ce77a42077d462dd8adf23dee028a7e59aeab

HELLOSIGN

Audit Trail

TITLE	Coalinga CUP Application - Signature Needed
FILE NAME	GO Coalinga CUP A...for signature.pdf
DOCUMENT ID	d95ac77e43077d463dd8adf33daa038a7a59aacb
AUDIT TRAIL DATE FORMAT	MM / DD / YYYY
STATUS	Signed

Document History

SENT	**09 / 08 / 2022** 19:39:03 UTC	Sent for signature to Veronica Vargas (vvargas@cfgo.com) from cathy@ccgwest.com IP: 104.220.87.222
VIEWED	**09 / 08 / 2022** 19:50:29 UTC	Viewed by Veronica Vargas (vvargas@cfgo.com) IP: 43.252.31.75
SIGNED	**09 / 08 / 2022** 19:52:26 UTC	Signed by Veronica Vargas (vvargas@cfgo.com) IP: 174.193.208.18
COMPLETED	**09 / 08 / 2022** 19:52:26 UTC	The document has been completed.

Project Description for Conditional Use Permit
25 W Polk St, Coalinga, CA

For Off-Sale Alcoholic Beverages License
At an 18,212 square foot grocery store

Grocery Outlet Background

Grocery Outlet offers fantastic bargains and deals on a variety of products including grocery, fresh meat, fresh produce, frozen foods, deli items, vitamins, health and beauty items, housewares, gift items and much, much more. *Brand names for less* is the name of the game and smart shoppers get incredible savings over regular store prices every day when they shop Grocery Outlet. Grocery Outlet gets products by searching the nation's major manufacturers for amazing one-time buys resulting from excess production, packaging/design changes, and special promotions. The company's very long term relationship with major manufacturers makes this possible. Much of Grocery Outlet's assortment of product changes frequently because of the nature of the one-time buys.

Grocery Outlet owns over 428 stores in California with off-sale (type 20 and 21) alcohol licenses. Operators and their employees of all locations are careful to make sure that the store is always clean, neat and free from debris. Grocery Outlet has had no significant issues raised by local law enforcement agencies with respect to alcoholic products or public disturbances. Grocery Outlet operates in a conscientious and thoughtful way with sensitivity to any possible detriment to adjacent residents and businesses. Grocery Outlet is fully aware of the unique responsibilities of operating a store associated with alcoholic beverage sales.

The store will be open no earlier than 6:00AM and no later than 11:00PM 7 days a week. Grocery Outlet expects the store will be staffed with approximately 35-40 employees and will be managed and operated by a member of the local community.

Training

The store will be operated in strict compliance with the state's Alcoholic Beverage Control Act together with any conditions of the license that may be issued by ABC. Operator's managers, supervisors and employees that are engaged in the sale or supervision of the sale of alcoholic beverages shall complete training programs in accordance with ABC rules and regulations.

Operator's register clerks will be trained in proper alcoholic beverage sales rules. All of the clerks will have read and signed the Alcoholic Beverage Control's Clerk's Affidavit. These affidavits will be kept on file by the store operator.

Security

Grocery Outlet will install a minimum 16-camera system which has a view of all parts of the store, including the alcoholic beverage display area and sales check stands. The video system will have a 30 day retrieval function which can track previous days' activity. Monitors are kept in a locked room at the store and available to managers, key personnel and law enforcement, if necessary.

Operational Procedures

The store operator will monitor the parking areas and sidewalks to keep these areas free from litter and debris. Trash receptacles will be provided near the store entrance and will be emptied daily. Graffiti to the exterior building shall be removed expeditiously.

Signs will be posted at the store and in the parking lot as required by ABC and the City of Coalinga.

Justification

For the store opening, Grocery Outlet will be applying with the Department of Alcoholic Beverage Control for an off-sale type 20 license that will allow for the sale of beer and wine for off-premise consumption. If, after the store opens, a type 21 general license (allowing the sale of distilled spirits in addition to beer and wine) becomes available, Grocery Outlet would like the ability to upgrade the license at that time.

The Grocery Outlet store is located in census tract 81 of Fresno County. Based on the current ABC statistics, five off-sale licenses are allowed in the census tract. Five off-sale licenses have been issued. Because the census tract does not have undue concentration, a Public Convenience or Necessity finding is not required.

The Grocery Outlet store will be located in a portion of the former Kmart building. A new grocery store with all the traditional grocery items at value-oriented prices will be a benefit to this existing center and to the Coalinga community.

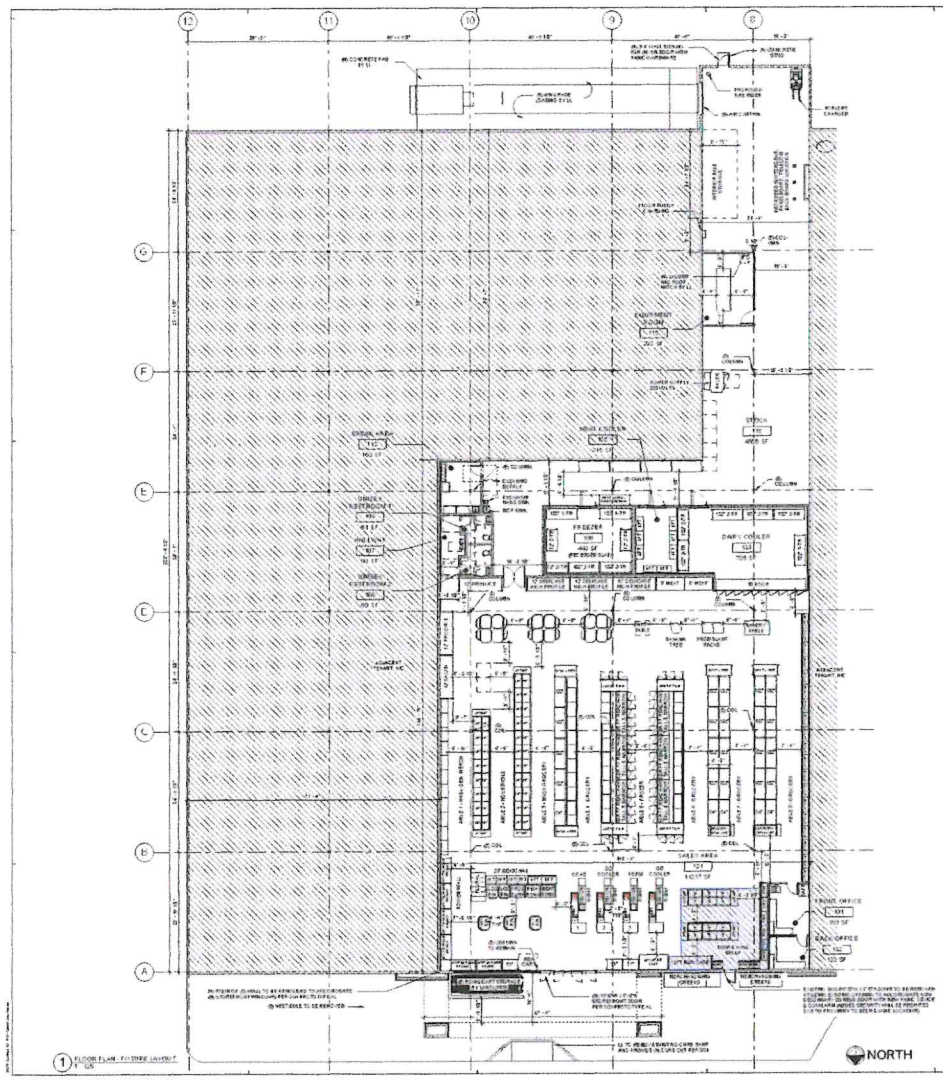
1. The proposed availability of alcoholic beverages together with everyday products such as fresh fruits and vegetables, fresh meat, milk, juice, eggs, bread, cereal, coffee, soup and pasta as well as consumer products such as pet food, toothpaste, detergent and paper towels allows customers to have readily available products in one location where they would otherwise be obliged to travel to several locations to purchase these items. It is typical for grocery stores to sell alcoholic beverages as an integral and ancillary part of the total product offering. The square footage of the alcohol display area is approximately 585 square feet, which represents approximately 5.2% of the sales floor and 3.2% of the total premises. The low percentage of floor area for alcoholic beverages illustrates the ancillary nature of the alcoholic beverage sales to the primary grocery store use.

2. The store will close no later than 11pm seven days a week. Because alcoholic beverages are sold for consumption off-site and the store closes by 11pm each day, the store is unlikely to be a nuisance to other tenants within the shopping center.

3. The use conforms to good zoning practices and development standards. The store will be located on a major thoroughfare in an existing retail building and is easily accessible to the residents and visitors of Coalinga. Grocery Outlet offers a convenient alternative for grocery items including beer, wine and distilled spirits that is consistent with good community development practices and standards. Great care will be taken by the local operator to ensure that the environment is safe for customers and employees.

4. Grocery stores are a vital part of every community. Store clerks will be trained in proper sales of alcoholic beverages. Clerks will be supervised by a manager on duty. The security system, which includes cameras on the check stands and the alcohol display area, will deter theft and improper sales of alcoholic beverage products. Store personnel will monitor the parking area and sidewalks to keep the area free from litter and debris.

We thank you for the opportunity to bring this new Grocery Outlet to Coalinga and appreciate your consideration of this request for a CUP.



1 FLOOR PLAN - FIXTURE LAYOUT
1" = 10'

FLOOR AREAS	
SALES AREA	11,247 SF
STOCK	4,595 SF
COOLER	1,350 SF
OFFICE	485 SF
BREAKROOM	350 SF
FREEZER	450 SF
RESTROOMS	150 SF
ENTRY	100 SF
MEZZANINE	1,850 SF

BUILDING GROSS AREA = 18,212 SF

FLOOR AREAS

SALES NET = 11,247 SF
STOCK + RCVG (NET) = 4,595 SF
COOLERS (NET) = 1,350 SF
OFFICE + MISC. = 485 SF
TOTAL FLOOR AREA (NET) = 18,077 SF

FLOOR AREAS (TOTAL NET)

F.O.H. = 11,477 SF
(INCLUDES OFFICES & SALES)
B.O.H. = 6,307 SF
(INCLUDES SUPPORT SPACES)

BEER & WINE	
WALK-IN BEER	
WALK-IN WINE	
WALK-IN BEER/WINE	
WALL BEER	
WALL WINE	
DISPLAY	
TOTAL BEER/WINE	

FLOOR AREAS (TOTAL NET)

TOTAL STORE AREA = 18,077 SF
SALES FLOOR AREA = 11,247 SF
STOCK ROOM AREA = 4,595 SF
CHECK STAND AREA = 485 SF

NOTES:
- CONFIRM ELECTRICAL PANEL WALL LOCATION & BOARD SIZE
- CONFIRM ROOF ACCESS LADDER LOCATION

NOTE:
MERCHANDISHING RACK & LOZIERS SHOWN FOR PROTOTYPICAL STORE LAYOUT.
SIZES & ARRANGEMENT ARE SUBJECT TO CHANGE PER GOI REPRESENTATIVE REVIEW OF PROJECT

INT. SIGNAGE	WINE PERIMETER
HBC PERIMETER	REACH-IN
CHASE PERIMETER	GENERAL MERCH

FIXTURE PLAN LEGEND

- ☑ = BRASS BELL AT CHECKSTAND (TYP.)
- = ECO BAG HOOKS (3 - PER PLAN)

WALL LEGEND

- = SHELL STRUCTURAL WALLS (8" CMU)
- = BEARING / SHEAR WALLS (2x8 STUDS @ 16" O.C.)
- = 1 HR RATED WALL (STEEL STUDS)
- = 1 HR PARTITIONS (6" MTL STUDS)
- = 1 HR COOLER WALLS (INSULATED)

MBH
ARCHITECTS
[redacted]
Irvine, CA 92614
Tel 949 851 2133
Fax 949 851 1461

PROJECT TEAM

DOCUMENT ISSUED AND INTENDED FOR USE ONLY FOR THE SPECIFIC PROJECT AND SITE FOR WHICH IT WAS PREPARED AND PUBLISHED. UNAUTHORIZED USE OF OR MODIFICATION TO THIS DOCUMENT IS PROHIBITED. REPRODUCTION OF THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF MBH ARCHITECTS IS PROHIBITED. VISUAL CONTACT WITH THESE PLANS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

ISSUE RECORD

DATE	DESCRIPTION

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
[redacted]

PROJECT MANAGER
[redacted]

QUALITY CONTROL
[redacted]

DRAWN BY

PROJECT NAME
GROCERY OUTLET
COALINGA

[redacted] W. ELM STREET
COALINGA, CA 93210

PROJECT NUMBER
2437.0

SHEET TITLE
FIXTURE PLAN

NOT ISSUED FOR CONSTRUCTION

RESOLUTION 022P-008

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING WITH CONDITIONS CONDITIONAL USE PERMIT APPLICATION NUMBER 22-04 FOR THE SALE OF ALCOHOL AT THE GROCERY OUTLET STORE LOCATED IN HOMESTEAD MARKETPLACE AT 25 W. POLK STREET

WHEREAS, the City of Coalinga Community Development Department has received an application for a Conditional Use Permit for the sale of alcoholic beverages located at the Grocery Outlet in the Homestead Marketplace Center located at 25 W. Polk Street; and

WHEREAS, the Planning Commission held the scheduled and noticed public hearing on September 27, 2022 to take testimony with regard to the proposed application, and;

WHEREAS, Public hearing notices were sent to all property owners within 300 feet of the site as required by Local and State law.

WHEREAS, the Planning Commission has determined that this project is not a project under CEQA and requires no further environmental review, and;

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report and has considered the testimony received during the public meeting process and comments provided via mail, and;

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

General Plan Consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood Compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and

Asset for the Neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

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NOW THEREFORE BE IT RESOLVED, that the Planning Commission approves the proposed sale of alcohol at the above location with conditions (Exhibit A):

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at a regularly scheduled meeting held on the 27th Day of September 2022.

AYES:

NOES:

ABSTAIN:

ABSENT:

_____
Planning Commission Chairman/Vice Chairman

ATTEST:

_____
City Clerk/Deputy City Clerk

Exhibit A

General On-going Procedural and Operational Conditions of Approval – Conditional Use Permit 22-04 (25 W. Polk Street – Sale of Alcohol)

REVISIONS: Any proposed change to the approved use or activity on the site shall require submittal, review and approval of an additional land use application.

EXPIRATION: This approval shall become null and void if all conditions have not been completed and the occupancy or use of the land has not taken place within one (1) year of the effective date of conditional approval.

LICENSES: Prior to selling alcoholic beverages, the applicant shall obtain the appropriate license (Type 20 or 21 – Beer, Wine and Distilled Spirits) from the California State Department of Alcoholic Beverage Control and must follow the conditions of said license at all times.

CONTINUOUS EFFECT: All of the conditions of this approval are continuously in effect throughout the operative life of the project for the uses approved. Failure of the property owner, tenant, applicant, developer or any operator to comply with any or all of the conditions at any time may result in a public hearing and revocation of the use provided adequate notice, time and opportunity is provided to the property owner or other party to correct the non-complying situation.

PROPERTY MAINTENANCE: The tenant and/or property owner shall continually maintain the property and its infrastructure so that it is visually attractive and not dangerous to the health, safety and general welfare of both its employees, patrons and surrounding properties.

SIGNAGE: All signage related to the sale of alcoholic beverages shall be in accordance with temporary sign regulation in the City's planning and zoning code.

POLICE DEPARTMENT: Should the Police Department determine that the sale of alcohol at this location has become an excessive burden on police services the Police Department may remedy the situation by recommending to the Planning Commission revoke the Conditional Use Permit.

ADDITIONAL CONDITIONS:

1. The applicant shall defend, indemnify, and hold harmless the City or any if its boards, commissions, agents, officers, and employees from any claim, action or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable state and /or local statues. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

2. This use permit shall be subject to revocation by the Planning Commission at such time as any of the following conditions are found to exist:

    a. Conditions of approval have not been fulfilled;
    b. The use has resulted in a substantial adverse effect on the health and/or general welfare of users of adjacent or proximate property; or
    c. The use has resulted in a substantial adverse impact on public facilities or services.

CITY OF COALINGA
The Sunny Side of the Valley

Staff Report- Chairman and Planning Commission

Subject:	Planning Commission Consideration of Conditional Use Permit 22-02 and Further Adopting Resolution No. 022P-010 Approving with Conditions a Commercial Cannabis Indoor Cultivation Facility Located at 9900 Cody Street
Meeting Date	September 27, 2022
Project Location:	9900 Cody Street, Coalinga, CA 93210
Applicant:	ST Green Co., PO Box 738, Coalinga, CA 93210
Owner:	ST Green Co., PO Box 738, Coalinga, CA 93210
Prepared By:	Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 022P-010 with conditions approving application No. CUP 22-02 for a commercial cannabis cultivation facility to be located a 9900 Cody Street.

II. BACKGROUND:

On July 26, 2022, the Community Development Department received a conditional use permit application for the development of an indoor cannabis cultivation facility within the existing structures located at 9900 Cody Street.

Conditional Use Permit Application

In accordance with Section 9-5.128(f) of the Coalinga Planning and Zoning Code related to Commercial Cannabis operations, prior to, or concurrently with, applying for a regulatory permit, the applicant shall process a conditional use permit as required by the City's Land Use Regulations. Information that may be duplicative in the two (2) applications can be incorporated by reference. The conditional use permit shall run with the regulatory permit and not the land. The applicant currently has a regulatory permit application under review with the Police Department and pending City Council approval. The State of California is now accepting applications from commercial cannabis operators who will be subject to the comprehensive set of regulations that the State has adopted. The regulations that will apply to Cannabis Manufacturing operations have been drafted by the California Department of Public Health. Those regulations will govern the various cannabis operations within the state in addition to applicable sections of the City of Coalinga's commercial cannabis ordinance.

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code requires that remodels over 50% of

existing structures require a site plan review and approval by the Planning Commission for consistency with all applicable zoning regulations.

The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

California Environmental Quality Act

This application constitutes a project in accordance with the California Quality Act, therefore staff has prepared an environmental analysis as part of this land use application.

Comments

Once the application was deemed complete staff requested comments from the necessary City Departments. This proposal including conditions of approval reflect feedback from the necessary City Departments.

III. PROPOSAL AND ANALYSIS:

Site Plan Analysis

Manufacturing and Business Development Regulations
There are several development regulations that staff evaluates prior to recommending approval of a site plan review application. This site plan application has been reviewed for compliance with the Coalinga Planning and Zoning Code and meets all applicable requirements for the proposed use based on type, location and site constraints.

Development Proposal
The applicant is proposing to remodel four (4) existing structures at 9900 Cody Street totaling 18,468 square feet to support indoor commercial cannabis cultivation facility with up to 6,000 square feet of cultivation canopy.

- Building A: Office/Administration
- Building B/C/D: Cultivation & Processing Activities

Access
The primary access point for the development will be via the multiple driveways on Cody Street. According to the Fire Department and City Engineer there is adequate space onsite for public safety maneuvering.

Utilities
All utilities are readily available for connection on Cody Street. All utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. Improvement plans will be reviewed and approved by the City Engineer. Public Natural Gas, Sewer and Water Facilities exist on this development. On-site storage retention currently exists at this site.

Meters: There shall be meters for both water and natural gas which shall be identified on the final site plan when submitted to the Planning Department for final approval. There will be separate landscape and domestic meters in order to differentiate between landscaped water and domestic water per City policy. Since this is a

secure facility the water meters shall be located outside the secured area and gas meters shall be placed in a location that are protected from damage. If gas meters are to be located on-site within the secured area the applicant shall work with Public Works to determine the best practice for reading meters.

Parking
In accordance with section 9-4.302 Table 4.4 of the zoning code, the parking requirement for the industrial building is (1) stall for every 1,000 square feet of building space (19 parking spaces). The proposed development has exceeded the requirement by providing a total of (70) vehicle stalls including three (3) accessible spaces.

Refuse Containers
The proposed site plan identifies a location for solid waste collection near the middle of the site. Upon final site plan submission, the trash enclosure will be required to meet City Standard for construction and available space for required receptacles.

Landscaping
The proposed landscaping exceeds the city's minimum requirement for landscaped areas as it relates to site frontage, parking, highway setbacks and equipment screening. A separate landscape plan will be submitted to the Community Development Department for review and approval prior to building permit issuance.

The proposed project is located within 200 feet of a state highway and shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. The applicant has provided the adequate setback from the state highway and will provide the required two (2) fifteen (15) gallon trees for every twenty-five (25) feet of site frontage toward the highway. This will be denoted on the final landscape plan but has been provided conceptual on this plan.

Fencing
The facility is fenced with a combination of chain link fencing and razer wire. All existing dilapidated interior chain link fencing shall be replaced with new chain link fencing where permitted. All access points into the facility shall be equipped with access control measures to restrict unauthorized access.
All fencing adjacent to public rights or way (State Route 33/198) will be a combination of wrought iron and landscaping or of a decorative block material.

Lighting
Lighting has been reviewed and approved by the Police Department to ensure that there will be no spill over lighting including security camera coverage.

Signage
In accordance with the zoning regulations related to Commercial Cannabis facilities, no business-related signage shall be provided except for those federally regulated such as ADA.

Offsite Improvements
The applicant shall furnish and install off-site Curb & Gutter, Driveway Approaches and 70-watt equal LED Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the southeasterly curb return at Gayle Avenue & Cody Street to continue through the new curb & gutter and connect to the exit curb & gutter to the south.

Floodplain
The property lies within a Zone "A" special flood hazard area inundated by 100-year storm. The applicant shall be required to comply with all federal, state and city regulations (Section 9-8.501) such as construction materials

and methods, grading and excavation and other applications which control development in flood prone areas. This has been added as a condition of approval to comply with the applicable section in the planning and zoning code related to floodplain management.

Conditional Use Permit Analysis

The CUP analysis will look at operation criteria such as security, odor control, hours of operation, ect. The regulatory permit reviewed by the Police Chief and approved by the City Council will consider these items in more depth and to ensure full compliance with the city planning and zoning code related to commercial cannabis operations.

Project Summary

The project applicant proposes to operate an indoor cannabis cultivation facility.

CULTIVATION

In accordance with State Law, "Cultivation" means any activity involving the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis. In addition, a "Cultivation site" means a location where commercial cannabis is planted, grown, harvested, dried, cured, graded, or trimmed, or a location where any combinations of those activities occurs.

The applicant plans to cultivate 6,000 square feet of canopy of commercial cannabis with ancillary processing and administrative work areas within the facility. There will be several dedicated grow rooms with additional work rooms for drying, trimming, water testing, and nutrient storage (processing space). In addition to the grow rooms there will be several grow areas for seedlings as well as vegetative plants. According to the applicant's application documents, their products will be "Certified Organic" eliminating the exposure to synthetic fertilizers. The applicant will be utilizing both hydroponic grow systems as well as traditional soil-based systems. The facility will be equipped with the proper ventilation to ensure that the smell of cannabis does not emanate beyond the property.

The applicant will be required to obtain a State of California Cultivation License applicable to the City's approved permit in addition to meeting all of the regulations adopted by the California Bureau of Cannabis Control (BCC).

General Plan/Zoning Consistency: The location where the manufacturing facility will be located has a General Plan designation of (MB) Manufacturing and Business with a zoning designation of Manufacturing and Business Light (MBL). The project proposal is consistent with the General Plan and Zoning Designations for Cannabis Uses.

Location (9900 Cody Street - Map & Floor Plans Attached): The existing buildings are located at 9900 Cody Street.

Security

The applicants site protection strategy will address all forms of security concerns and will be required to meet all the security requirements of 9-5.128 of the Planning and Zoning Code as it relates to commercial cannabis activities. The Police Department has reviewed and verified that the security plan including camera placements, access controls, onsite and perimeter security meet the requirements of the code and the satisfaction of the Police Chief (Section 9-5.128). There will be on-site security provided at this site during business hours in accordance with planning and zoning code.

Building Access
All employees and authorized personnel will enter the buildings at designated entry areas after checking with the security personnel at the site entrances who will grant authorization into the facility.

Odor Control
In order to control odor while producing at the above capacity and remaining compliant with §9-5.128(d)(15), the facilities will be equipped with both negative pressure and mass filtration systems. Odor control systems will be checked and replaced as necessary to prevent odor from escaping the facilities and becoming a nuisance to the applicant's neighbors.

Hours of Operation
The production facility is expected to operate (24) hours a day, (7) days a week with approximately 10-15 employees.

Parking
This facility will be accommodated by the (70) parking stalls as shown on the site plan.

Fuel Storage and other Potential Hazardous Materials
The applicant will be required to meet with the Fire Marshall and Building Official to determine the level of safety protection required based on the desired storage of solvents, and all other hazardous materials on site.

Water Use
The facility is expected to use approximately 200,000 gallons of water per year which is less than one (1) acre foot (325,851 gallons = 1 acre foot).

Wastewater Disposal
The applicant will not introduce any toxic chemical waste or solvents into the local waste stream and will be required to disclose all products, chemicals, solvents, active ingredients that will be used as part of the cultivation process.

Solid Waste
The applicant will be required to utilize the City of Coalinga's solid waste hauler (Mid-Valley Disposal for all solid waste needs including destroyed product, green waste, typical solid waste and any other cannabis related products or byproducts where the State of California has authorized franchised solid waste haulers to provide said services.

Surrounding Land Uses:

Surrounding Land Use Setting	
South	**Agriculture**
West	**Industrial**
East	**Agriculture**
North	**Industrial**

Per §9-5.128(d)(12), a Commercial Cannabis Operation shall not be located within 1,800 feet, measured from property boundary to property boundary, of any existing school or proposed school site as identified in the General Plan. For purposes of this section, school means any public or private school providing instruction in kindergarten or grades 1-12, inclusive, but does not include any private school in which education is primarily conducted in private homes. The applicant meets this set-back requirement.

Public Notification

On September 15, 2022 public hearing notices were sent to all property owners within 300 feet of the site as required by Local and State law.

Environmental Review

Section 21084 of the Public Resources Code requires the California Environmental Quality Act (CEQA) Guidelines to include a list of classes of projects that have been determined not to have a significant effect on the environment and which shall, therefore, be exempt from the provisions of CEQA. In response to that mandate, the Secretary for Resources has found that several classes of projects listed in Article 19 of the CEQA Guidelines do not have a significant effect on the environment, and they are declared to be categorically exempt from the requirement for the preparation of environmental documents.

Since this proposed use is not expanding the footprint of the existing buildings and are permitted uses subject to CUP, the proposed project has been determined to be exempt from CEQA in accordance with Section 15301(a) for existing facilities. A notice of exemption will be filed with the Fresno County Clerk's Office once approval has been granted for this application.

Summary of Project's Qualifications for Exemption

The proposed project includes the rehabilitation and remodeling of the existing buildings located at 9900 Cody Street. Cannabis cultivation remains consistent with the General Plan designation of MB and zoning designation of MBL. The project site is located within the City of Coalinga limits on a developed 5.7 acre parcel that is surrounded by existing industrial development and does not have any value as a habitat for endangered, rare, or threatened species. The proposed project meets all requirements established by Section 15332 of the CEQA guidelines and can consequently be considered exempt from the provisions of CEQA under a Class 32 exemption.

IV. FISCAL IMPACT:

This project will generate cannabis tax and licensing revenue to the City including business licenses taxes.

V. REASONS FOR RECOMMENDATION:

Site Plan Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

- The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
- The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Conditional Use Permit finding of Approval

A Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record.

General Plan consistency: Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood compatibility: The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;

Asset for the neighborhood: The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

Staff feels that all of these findings have been met.

ATTACHMENTS:

Description

- Site Plan
- CUP 22-02 - CUP Application
- CUP 22-02 Environmental App
- CUP 22-02 - Site Plan Application
- Resolution 022P-010 with Conditions

SITE PLAN NOTES

1. CONSTRUCT PARKING LOT IN ACCORDANCE WITH THE CITY OF COALINGA PARKING MANUAL AND THE CITY OF COALINGA PUBLIC WORKS STANDARDS.
2. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION OF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
3. TWO (2) MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
4. PROVIDE WARNING SIGNS PERTAINING TO PARKING IN FIRE LANE IN ACCORDANCE WITH FIRE DEPARTMENT STANDARDS.
5. PROVIDE 'HOURS OF OPERATION' SIGNS AT ALL GATE LOCATIONS.
6. DEED(S) OF EASEMENT(S) FOR REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS
7. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT, ALSO ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAX. CROSS SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO OCCUPANCY.
8. (2) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
9. UNDERGROUND ALL EXISTING OFF-SITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 12-1011 AND RESOLUTION NO. 78-522/88-229
10. SUBMIT STREET LIGHTING PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING AND PLANNING.
11. INSTALL STREET LIGHTS ON ALL FRONTAGES TO CITY STANDARDS AS PER P.W. STD E-1/E.8 DETERMINED BY THE CITY TRAFFIC ENGINEER. STREET LIGHTING PLANS ARE REQUIRED AND MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT/ ENGINEERING SERVICES PRIOR TO COMMENCEMENT OF THE WORK.
12. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA
13. CONSTRUCT CONCRETE SIDEWALKS, CURBS, GUTTERS AND DRIVEWAY APPROACHES TO THE PUBLIC WORKS STANDARDS SPECIFICATIONS.
14. A BACKFLOW PREVENTION DEVICE MAY BE REQUIRED TO BE INSTALLED ON THE WATER SERVICE TO PROTECT THE PUBLIC WATER SYSTEM. A PLUMBING PERMIT IS REQUIRED TO INSTALL THE DEVICE. CONTRACT THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION FOR DETERMINATION OF SIZE, TYPE, ACCEPTABLE MAKE/MODEL AND LOCATION. BACK FLOW PREVENTION DEVICES SHALL BE INSTALLED AT THE DEVELOPER'S EXPENSE BY A QUALIFIED JOURNEYMAN PLUMBER WHO HAS BEEN CERTIFIED AS COMPETENT FOR SUCH INSTALLATION BY THE WATER SYSTEMS MANAGER; BACKFLOW DEVICES MUST BE TESTED AND ACCEPTED BY THE WATER DIVISION PRIOR TO GRANTING BUILDING FINAL; THE DEVELOPERS RESPONSIBLE TO CONTACT THE WATER DIVISION A MINIMUM OF 5 DAY PRIOR TO REQUESTING FINAL BUILDING INSPECTION
15. APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, ZONING ORDINANCE, AND ALL PUBLIC WORKS STANDARDS AND SPECIFICATIONS. THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR ADDITION OR ALTERATIONS TO THE CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISION,
16. NO USES OF LAND,BUILDINGS, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
17. TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY; OR AS MAY OTHERWISE BE APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
18. LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
19. PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, PLANNING AND DEVELOPMENT DEPARTMENT.
20.NO STRUCTURES OF ANY KIND MAY BE INSTALLED OR MAINTAINED WITHIN THE ABOVE LANDSCAPED AREAS. NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPT THE BACKFLOW PREVENTION DEVICE), ETC., ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OF SETBACKS OR ON THE STREET FRONTAGES OF BUILDINGS. ALL TRANSFORMERS, ETC., SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
21. SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SHOULD ADDITIONAL SIGNS BE REQUIRED, THE APPLICANT MUST SUBMIT FOR A SIGN REVIEW PERMIT. APPLICATIONS AND REQUIREMENTS FOR SUBMITTAL ARE AVAILABLE AT THE PLANNING DIVISION'S PUBLIC FRONT COUNTER.
22. ALL HANDICAPPED STALLS SHALL BE MARKED WITH THE INTERNATIONAL SYMBOL OF SPACES AND A WARNING THAT VEHICLES IN VIOLATION OF SECTION 10-1017 OF THE
COALINGA MUNICIPAL CODE SHALL BE TOWED AWAY. THE INTERNATIONAL SYMBOL AND TOW-AWAY WARNING SHALL BE POSTED CONSPICUOUSLY ON SEVEN-FOOT POLES.
23. ALL HANDICAPPED PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS AND RAMPS.
24. LIGHTING, WHERE PROVIDED TO ILLUMINATE PARKING,SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
25. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
26. IF THERE ARE SUSPECTED HUMAN REMAINS, THE COALINGA COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS
POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE 916-653-4082) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA
ARCHAEOLOGICAL INVENTORY/SOUTHERN SAN JOAQUIN VALLEY INFORMATION AL LIST CENTER (PHONE 805-644-2289) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF
RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
27. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.

FIRE NOTES:

28. AUTOMATIC FIRE SPRINKLER SYSTEM IN THE APARTMENTS BUILDING SHALL BE INSTALLED PER NFPA 13 OR 13R STANDARDS AS APPROVED BY THE FIRE DEPARTMENT.
29. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLERS AND WATER FLOW SWITCHES ON ALL SPRINKLER SYSTEM SHALL BE ELECTRONICALLY FOR INTEGRITY.
30. INTERIOR SPRINKLER FLOW ALARM: A SINGLE APPROVED VISUAL/AUDIBLE WATER FLOW DIVES SHALL BE INSTALLED PER THE CITY OF COALINGA FIRE DEPARTMENT #45
31. SPRINKLER FLOW ALARM: AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE FLOW ALARM TO THE OCCUPANTS SHALL BE PROVIDED TO THE INTERIOR OF EACH DWELLING UNIT. PLANS FOR THE INSTALLATION FLOW ALARM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COALINGA FIRE DEPARTMENT PRIOR TO INSTALLATION.
32. UNDERGROUND FIRE SERVICE LINE INSTALLATION: PRIOR TO INSTALLATION, THE APPLICANT SHALL SUBMIT FIRE SPRINKLER UNDERGROUND WATER SUPPLY PLANS FOR REVIEW AND APPROVAL AND ISSUANCE OF A PERMIT BY THE COALINGA FIRE DEPARTMENT. INSTALLATION SHALL BE PREFORMED BY A CALIF. LICENSED CONTRACTOR.
33. LANDSCAPING TREES OR SHRUBS LOCATED ADJACENT TO THE FIRE ACCESS DRIVES SHALL BE OF THE TYPE THAT WILL NOT IMPEDE FIRE ACCESS DUE TO THEIR GROWTH PROCESS
34. THE APPLICANT SHALL PROVIDE ALL WEATHER ACCESS TO THE SITE DURING ALL PHASES OF CONSTRUCTION PER COALINGA FIRE DEPARTMENTS STANDARD #29 OR#30.
35. THE DEVELOPER SHALL INSTALL 8" ONSITE WATER LINE.
36. ALL ONSITE WATER MAINS SHALL BE 15' UTILITY EASEMENTS DEDICATED TO THE CITY.
37. ANY ABANDON SEPTIC SYSTEMS AND WATER WELLS SHALL BE PER CITY STANDARDS
38. THE DEVELOPER SHALL ADDRESS ALL COALINGA METROPOLITAN FLOOD CONTROL DISTRICT REQUIREMENTS: (559) 456-3292
39. THE DEVELOPER SHALL ADDRESS ALL COALINGA IRRIGATION DISTRICT REQUIREMENTS. (559) 233-7161
40. THE AAPPLICANT/OWNER SHALL HAVE A COVENANT RECORDED FOR THE PERPETURAL MANINT4ENCE OF THE LANDSCAPE AND IRRIGATION TO BE INSTALLED IN PUBLIC RIGHT OF WAY.
41. LIGHTING SHALL BE SHIELDED TO PREVENT DIRECT VIEW ADJACENT RESIDENTIAL PROPERTIES.

LANDSCAPE SYMBOLS

EXISTING TREE TO REMAIN	
NEW DROUGHT TOLERANT TREE, PER CITY OF COALINGA DEVELOPMENT STANDARDS. REFER TO MUNICIPAL CODE SEC. 9-4.204., LANDSCAPING & SEC. 9-4.305., PARKING DESIGN AND DEVELOPMENT STANDARDS.	

AREA MAP

NO SCALE

VICINITY MAP

NO SCALE

SITE PLAN

1" = 40'-0"

PROJECT INFORMATION

PROJECT ADDRESS	9900 CODY ST. COALINGA, CA 93210
PROJECT OWNER	FERDOSEE RANCH LLC. P.O. BOX 738 COALINGA, CA. PHONE: (202) 304-6565
A.P.N.	PARCEL 1: 070-120-01
	PARCEL 2: 070-120-02
	PARCEL 3: 070-120-03
ZONING CODE	MBL - LIGHT MANUFACTURING / BUSINESS
GENERAL USE	.
PROPOSED USE	LIGHT MANUFACTURING / BUSINESS
CONSTRUCTION TYPE	V-B, SPRINKLERED
AUTOMATIC FIRE SPRINKLER REQUIRED:	YES
AUTOMATIC FIRE ALARM SYSTEM REQUIRED:	YES

SITE CALCULATIONS

PARCEL AREA	PARCEL 1: 49,222.8 SQ. FT. = 1.13 AC
	PARCEL 2: 101,494.8 SQ. FT = 2.33 AC
	PARCEL 3: 98,881.2 SQ. FT. = 2.27 AC
TOTAL SITE AREA	249,598.8 SQ. FT = 5.73 AC
BUILDING AREA	BUILDING A: 3,445 SQ. FT.
	BUILDING B: 2,604 SQ. FT.
	BUILDING C: 5,678 SQ. FT.
	BUILDING D: 5,410 SQ. FT.
	BUILDING RR: 440 SQ. FT.
TOTAL BUILDING AREA	17,577 SQ. FT.
TOTAL BUILDING AREA COVERAGE	17,577 SQ. FT. = 0.07%

PARKING REQUIREMENTS

BUSINESS SERVICES: 1 STALL / 300 S.F.	3,445 S.F. / 300 = 12 STALLS REQUIRED
INDUSTRY, GENERAL: 1 STALL / 1,000 S.F.	13,692 S.F. / 1,000 = 14 STALLS REQUIRED
TOTAL PARKING REQUIRED:	26 STALLS REQUIRED
TOTAL PARKING PROVIDED:	70 STALLS PROVIDED
ACCESSIBLE PARKING REQUIRED:	70 SPACES X 1/25 = 3 STALLS REQUIRED
ACCESSIBLE PARKING PROVIDED:	6 STALLS PROVIDED

REVISIONS		
REV	DESCRIPTION	DATE

CR CONSULTING GROUP
DESIGN AND PLANNING
RESIDENTIAL, COMMERCIAL, INDUSTRIAL

CR CONSULTING GROUP
2615 TUOLUMNE ST.,
FRESNO, CA. 93721
PH.#559-286-4605
FAX.#559-412-2044
email: cesar@crconsultinggroup.net

PROJECT TITLE

TENANT IMPROVEMENT FOR:

9900 CODY ST.
COALINGA, CA 93210

REGISTERED PROFESSIONAL ENGINEER
CHARLES E. GARABEDIAN,JR
No. C57975
CIVIL
Renewal Date: 6/30/22
STATE OF CALIFORNIA

PROJECT NUMBER: 22-01

DRAWING TITLE

SITE PLAN

SCALE: AS NOTED
PLOT DATE: 03/19/22
PROJECT MANAGER: CRR
SHEET NO. A1.0

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CITY OF COALINGA
CONDITIONAL USE PERMIT APPLICATION

CUP 22-02 (Application Number) 7/26/2022 (Date)

APPLICANT INFORMATION:

Applicant/Property Owner: ST Green Co.

Mailing Address: P.O Box 738, Coalinga CA 93210

Telephone Number: (949) 556-7221 Assessor Parcel Number: 070-120-015, 025, 035

Property Location: 9900 Cody Ave Coalinga CA 93210

Legal Description (lot, block, Tracts, etc.)

See the Attache File - "EXHIBIT A"

PROPERTY USE INFORMATION:

Current Zoning: MBL

Existing Number of Lots: 3 Proposed Number of Lots: 3 Area of Parcel: 5.73 acres

Proposed Use: Commercial Indoor Cannabis Cultivation Facility.

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures).

(If additional space is required attach separate sheet of paper)

Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

Hours of operation: 24/7 hrs, 10~15 employee,

Light Vehicle Traffic, 89 parking stalls.

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signature of APPLICANT/AGENT	Signature of OWNER
Mohsen Tofab - ST Green Cal	Forbes Ranch LLC
Name of APPLICANT/AGENT (Please Print)	Name of OWNER (Please Print)
P.O. Box 738 Coalinga CA 93210	PO Box 738, Coalinga, CA 93210
Mailing Address	Mailing Address
9499333677	949 556 7221
Telephone Number	Telephone Number

EXHIBIT A

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COALINGA, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcels 1, 2 and 3 of Parcel Map No. 039, in the City of Coalinga, County of Fresno, State of California, according to the map thereof recorded in Book 57, Pages 77 and 78 of Parcel Maps, Fresno County Records, and corrected by Certificate recorded September 9, 1997, as Document No. 97117306.

EXCEPTING THEREFROM and retaining unto grantor the sole and exclusive right to drill for, produce, extract and take oil, gas and other hydrocarbons which may be found, produced, extracted or taken therefrom, provided that the surface to a depth of 500 feet below the surface thereof shall never be used for the purpose of drilling for, producing, extracting and taking the oil, gas and other hydrocarbons, excepted and retained by Grantor thereunder, as reserved in the deed from Pleasant Valley Farming Company, a California Corporation, to M. J. and R. S. Allen, a general partnership, dated February 27, 1963, recorded March 1, 1963, as Document No. 17943.

APN: **070-120-01s, 02s & 03s**

CITY OF COALINGA
ENVIRONMENTAL REVIEW APPLICATION

CUP 22-02 (Application Number) 7/26/2022 (Date)

APPLICANT INFORMATION:

Applicant: ST Green Co.

Mailing Address: PO. Box 738, Coalinga, CA 93210

Telephone Number: (949) 933-2677 Assessor Parcel Number: 070-120-015, 025, 035

Property Owner's Name: Ferdosee Ranch LLC - Seyed Milad Torabi

Property Owner's Address: 36254 Highway 33, Coalinga CA 93210

Contact Person: Seyed Milad Torabi - Milad_JT@Hotmail.com

PROPERTY USE INFORMATION:

Size of Parcel (Square Feet/Acres) 5.73 Acres / 249,598.8 sqft

Describe Existing Use of Property: West Hill Community College District.

Square Feet of Existing Building Area 18,468 Square Feet of Existing Paved Area

Current Zoning MBL Proposed Zoning MBL

Describe in General Terms Existing Uses to the:

North: Agriculture

South: Ferdosee Ranch LLC - Cannabis cultivation Facility

East: Agriculture

West: Former private prison converted into cultivation facility

Are there any man-made or natural water channels on property? Yes

If there are, where are they located West side of property

Number of existing trees on the site Number of trees to be moved (Age & Type)

Residential

a. Number of Dwelling Units: b. Unit Size(s)

c. Range of Sales Prices and/or Rents (projected):

d. Type of Household Size Expected:

Commercial

a. Orientation:
Neighborhood: Commercial and Vacant Lot
City or Regional: Coalinga

b. Square Footage of Sales Area: 18,468 sqft

c. Range of Sales Prices and/or Rents (Projected): N/A

d. Type of Household Size Expected: Unknown

e. Number of Employees: Full Time 5 Part Time 5 Seasonal 5

f. Days and Hours of Operation 24/7

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signature of APPLICANT/AGENT	Signature of OWNER
ST Green Co Mohsen Tatabi	Fordosee Ranch Llc
Name of APPLICANT/AGENT (Please Print)	Name of OWNER (Please Print)
P.O. Box 738 Coalinga CA 93210	Pobox 738, Coalinga CA 93210
Mailing Address	Mailing Address
9409332677	949 556 7221
Telephone Number	Telephone Number

CITY OF COALINGA
The Sunny Side of the Valley

City of Coalinga
Community Development Department

APPLICATION FOR ENVIRONMENTAL EVALUATION

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: Ferdosee Ranch LLC
PROPERTY OWNER'S ADDRESS: 36254 Highway 33 Coalinga, CA 93210
TELEPHONE: (949) 556-7221 EMAIL: Milad_JT@Hotmail.com

APPLICANT'S NAME, COMPANY/ORGANIZATION: ST Green Co.
APPLICANT'S ADDRESS: 36254 Highway 33, Coalinga CA 93210
TELEPHONE: (949) 933-2677 EMAIL: seyedmohsen2010@Gmail.com

CONTACT FOR PROJECT INFORMATION: Farhood Hajebi
ADDRESS: 36254 Highway 33 Coalinga CA 93210
TELEPHONE: (202) 304 6565 EMAIL: Farhood.hajebi@yahoo

2. Location and Classification

STREET ADDRESS OF PROJECT: 9900 Cody Ave, Coalinga CA 93210
CROSS STREETS: South of Gale Ave
ASSESSOR'S PARCEL NUMBER(S): 070-120-015, 025, 035
LOT DIMENSIONS: _____ LOT AREA (SQ FT): 5.73 Acres / 249,598.8
ZONING DESIGNATION: Mbl GENERAL PLAN DESIGNATION: _____

3. Project Description (please check all that apply)

- [x] Change of Use
- [ ] Change of Hours
- [ ] New Construction
- [ ] Alterations
- [ ] Demolition
- [ ] Other (please clarify):

PRESENT OR PREVIOUS USE: Educational Facility

PROPOSED USE: Cannabis Cultivation Facility

BUILDING APPLICATION PERMIT #: _____ DATE FILED: _____

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Project Features				
Dwelling Units	—	—		
Parking Spaces	—	89		
Loading Spaces		5		
Bicycle Spaces				
Number of Buildings		5		
Height of Buildings				
Number of Stories		1		
Gross Square Footage (GSF)				
Residential		—		
Retail		—		
Office		3,884 sqft		
Industrial		6,000 sqft		
Parking		89		
Other Restroom		384 sqft		
Other Offic		8,200 sqft		
Other _____				
Total GSF		18,468		18,468 sqft

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

All Projects

Land Use

What is the current use of the site? NONE

Please list all previous land uses of the site for the last 10 years.

Educational Facility — West Hills Community College.

Neighborhood Contact

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, Neighborhood Associations, Business Associations, or Community Groups in the project area.

Ferdosee Ranch LLC — 9840 Cody Ave. Coalinga CA 93210 — (949) 556-7221

Site Characteristics

Providing the following information regarding the environmental setting with your application is one of the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested in order to conduct the environmental review of your project.

Are there any structures or buildings on the project site? ■ Yes ☐ No

If yes, how many? 5 building

What is the construction date of each structure?

Current use of existing structure(s)? N/A

Proposed use of existing structure(s)? Cultivation Facility

Are there any trees on the project site? ■ Yes ☐ No

Are any trees proposed to be removed? ☐ Yes ■ No

Does the site contain any natural drainage ways? ■ Yes ☐ No

Does the site contain any wetland areas or areas where water pools during the rainy season? ■ Yes ☐ No

What land uses surround the project site? (i.e., single-family residential, commercial, etc.)

Please describe: Commercial Cannabis Cultivation Facility.

Are you proposing any new fencing or screening? ☐ Yes ☒ No

If yes, please describe the location, the height, and the materials (i.e., wood, masonry, etc.) of the fencing._____

Is there parking on-site? ☒ Yes ☐ No

If yes, how many spaces are existing (for the entire property) and how many are proposed on-site for the project?

Existing 89

Proposed —

Is any parking proposed off-site? ☐ Yes ☒ No

If yes, where will it be located and how many spaces?_____

Are you proposing new signs with the project? ☐ Yes ☒ No

If yes, please describe the number and type._____

Are there any easements crossing the site? ☒ Yes ☐ No

Are there any trash/recycling enclosures on-site? ☒ Yes ☐ No

If yes, what is the size/height/materials of the enclosure(s) and where are they located?

Please site plan - per City of Calabasas standard.

What is the total number of cubic yards allocated for recycling?_____

Building Setback from Property Lines		
	Existing (feet/inches)	**Proposed (feet/inches)**
Front		
Rear		
Streetside		
Interior Side		

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other properties, please write "N/A."

1st Address:_____ 2nd Address:_____

Setback:_____ Setback:_____

Exterior Materials

Existing Exterior Building Materials: Modular office - metal building

Existing Roof Materials:_____

Existing Exterior Building Colors: pearl white

Proposed Exterior Building Materials: N/A

Proposed Roof Materials: N/A

Proposed Exterior Building Materials: N/A

Residential Projects

Fill in this section if your project has residential units. Complete both residential and non-residential sections if you are submitting a mixed-use project. Provide information below for the proposed project unless the question specifically requests information on the existing conditions of the property.

Total Number of Lots:_____ Net Acreage of Site:_____
Total Dwelling Units:_____ Density/Net Acre:_____

# of Single-Family Units:_____ # of Duplex/Half-Plex Units:_____
# of Multi-Family/Apartment Units:_____ # of Condominium Units:_____

Structure Size

Please identify the size of all existing structures to be retained (identify separately).

Residence Gross Square Footage:_____
Garage Gross Square Footage:_____
Other Gross Square Footage:_____

Size of new structure(s) or building addition(s): Gross Square Footage:_____

Total Square Footage:_____

Building Height

Building height means the vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the plate line, where the roof meets the wall.

Existing Building Height and # of Floors (from ground to the plateline):_____
Existing Building Height and # of Floors (from ground to the top of the roof):_____
Proposed Building Height and # of Floors (from ground to the plateline):_____
Proposed Building Height and # of Floors (from ground to the top of the roof):_____

Lot Coverage

Total Building Coverage Area* (proposed new and existing to be retained) (sq. ft.):_____
Project Site Lot Area (sq. ft.):_____
Total Lot Coverage Percentage:_____

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)
* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Non-Residential Projects

Fill in this section if your project has a non-residential component. Complete both residential and non-residential sections if you are submitting a mixed-use project.

Hours of operation of the proposed use: 24 hours - 7 days a week.
If your project includes fixed seats, how many are there? _____

Building Size

Total Building Square Footage On-Site (gross sq. ft.) 18,468 sqft

Breakdown of Square Footage – Please Mark All That Apply		
	Existing	**Proposed**
Warehouse Area	6000 sqft	
Office Area	3,884 sqft	
Storage Area		
Restaurant/Bar Area		
Sales Area		
Medical Office Area		
Assembly Area		
Theater Area (modular Restrooms)	384 sqft	
Structured Parking		
Other Area* (modular office)	8,200 sqft	
*Describe use type of "Other" areas.		

Building Height

Existing Building Height and # of Floors: 12'~20' - Single floor
Proposed Building Height and # of Floors: N/A

Lot Coverage

Total Existing and Proposed Building Coverage Area* (sq. ft.): 18,468 sqft
Project Site Lot Area (sq. ft.): 249,598.8 sqft
Total Lot Coverage Percentage: Less than 10%.

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)
* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Environmental Evaluation Application Submittal Checklist

Application Materials	Provided	Not Applicable
Two (2) originals of this application signed by owner or agent, with all blanks filled in.	X	
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.		X
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically.	X	
Photos of the project site and its immediate vicinity, with viewpoints labeled.	X	
Check payable to Coalinga Community Development Department.	X	
Letter of authorization for agent, if applicable.	X	
Available technical studies.	X	

For Department Use Only

Application Received by Community Development Department:

By: _____ Date: 7/26/2022

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

CUP 22-02
Application Number

7/26/2022
Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: ST Green Co.

Mailing Address: P.O Box 738 Coalinga CA 93210

Telephone Number: (949) 933 2677 Assessors Parcel Number: 070-120-015,025,035

Property Location (Street Address): 9900 Cody Ave, Coalinga, CA 93210

Property is located: west side of Rout 33 Street, between South of Gale Ave Street and _____ Street

PROJECT INFORMATION:

Current Zoning: MBL Proposed Zoning MBL

Existing Floor Plan: 18,468 sqft Proposed Floor Area: 18,468 sqft

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) please see the Attached file "Description of Improvments"

Is project: ☐ new construction or ■ remodeled.

Residential

Number of dwelling units _____ Total of area (in square feet) _____

Total lot coverage of buildings or structures (in square feet) _____ Percentage of lot coverage _____ %

Number of off street parking spaces provided. Covered _____ Open _____

Total square feet of sign area _____ Total square feet devoted to recreation and open space _____ sq ft.

Give total percentage of lot devoted to recreation and open space _____ sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area _____

Describe type and material to be used on exterior walls and doors _____

Commercial

Gross floor area or building when complete 18,468 sq ft.

Describe sign (free standing, affixed to wall etc.) Sign Affixed to wall.

Number of parking spaces provided 89 Number of customers expected per day 1-3 per/day

Hours and days of operation 24/7 Hours

Describe any outside storage of equipment or supplies: All storage inside the building

Industrial

Describe any outside storage of equipment or supplies: NONE

Maximum number of employees in any daily shift: 10~15

Number of delivery or shipping trucks per day: 3-5

Number of delivery or shipping trucks per day when construction is complete: 3-5

Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements:
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.

Mohsen Tahabi — 4-20-2022

Signature of Applicant — Date

Signature of Record Property Owner — Date

DESCRIPTION OF IMPROVEMENTS

The subject is improved with an office shop facility and several modular office structures. The gross building area is summarized as follows:

Building Area	*Gross (S.F.)*
Main Office	3,884
Modular Offices	8,200
Modular Restroom	384
Shop	6,000
Total	18,468

Main Office: The office is constructed on a concrete slab foundation and floor. Walls are wood frame finished with vinyl siding and brick facia. Doors and windows are glass set in aluminum frame. The roof is covered with tile shingles.

The interior is demised into a reception area, bullpen, five private offices, several open work areas, conference room, three ADA restrooms, and second-floor storage mezzanine. Flooring is a mix of carpet and tile. Walls are finished with painted drywall. Ceilings are suspended acoustic tile. Lighting is provided via ceiling mount fluorescent fixtures. The second-floor storage mezzanine is unfinished. Climate control is via a split system including exterior condensers and interior forced air heaters.

Modular Offices: There are seven relocatable modular offices and one modular restroom on site. The modular buildings are prefabricated construction, sitting on raised wood foundation with skirting. Exterior walls are finished in a mix of wood siding and painted stucco. The roof is composition. Heating and cooling are via dual pack HVAC units. Interior finish is primarily carpeting with drywall partitions, suspended acoustical tile ceiling, and fluorescent lighting. Most of the units have open floorplans. Three of the units have private offices and one unit is demised into a storage area.

Shop: The shop is constructed on a concrete slab foundation and floor. Walls and roof are pre-engineered steel frame finished with painted ribbed metal siding and roofing. Lighting is via ceiling mount mercury vapor and fluorescent fixtures. Heating is provided via suspended gas heater, there is no cooling. There are three overhead rollup doors on the north elevation and two on the south elevation. The roof and west side of the building are insulated. Finished area is limited to a single restroom module.

Site Improvements: The site is improved with asphalt paved parking in various locations. The parking lot north of the office has 20 stalls. West of the shop is another parking lot with 22 stalls. An additional 47 stalls are located between the modular buildings and shop. A total of six stalls are marked ADA. South of the shop building is a large gravel paved lot, improved with overhead LED light poles. The entire facility it enclosed with six-foot chain-link fencing with barbed wire and gates. There are landscaped flowerbeds and lawn areas around the office. The perimeter has a berm structure that is landscaped with trees and shrubs.

Quality and Appeal: The office and shop are constructed of average quality material. The modular office buildings are lower quality but have utility. Onsite parking is abundant, and the gravel yard is appealing to many industrial users. Commercial cannabis cultivation has had a positive impact on the market over the last three years. Our conversations with local brokers indicate that the boom is nearing its end and values have leveled off. Due to the zoning and the existing improvements, the subject is appealing to owner-users, primarily in the cannabis industry. Secondary users include truck yard, non-profit and government agencies.

Condition: The improvements have been well maintained with no visible deferred maintenance other than typical wear and tear. Overall, the subject is in average condition.

SUBJECT PHOTOS

Main office

Bullpen

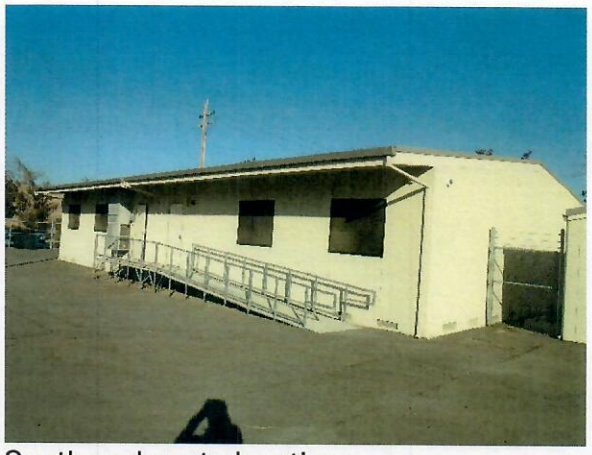
Office

Conference room

ADA restroom

Breakroom

Modular offices



South and east elevations

Modular offices

Board room

RESOLUTION 022P-010

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT APPLICATION NO. 22-02 FOR THE USE OF THE EXISTING BUILDINGS AT 9900 CODY STREET TO ACCOMMODATE AN INDOOR COMMERICAL CANNABIS CULTIVATION OPERATION

WHEREAS, the City of Coalinga Community Development Department received a Conditional Use Permit, Site Plan Review and Environmental Review Application for the remodeling of the existing buildings at 9900 Cody Street (APNs: 070-120-01, 070-120-02, and 070-120-03) to accommodate commercial cannabis indoor cultivation activities; and,

WHEREAS, the subject project requires approval of a site plan review, conditional use permit and environmental review in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on July 26, 2022; and

WHEREAS, the Planning Commission has determined that this project is exempt from further environmental review under CEQA Guidelines §15301(a) as a Class 32 exemption (existing facilities), and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on September 27, 2022; and

WHEREAS, the Planning Commission has made the following conditional use permit findings based on the development proposal:

General Plan Consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood Compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and

Asset for the Neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

WHEREAS, the Planning Commission has made the following site plan findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
    - Facilities and improvements;
    - Vehicular ingress, egress and internal circulation;
    - Setbacks;
    - Height of buildings;
    - Location of services;
    - Fences and/or walls;
    - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;
- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the Land Use Application (No. CUP 22-02) subject to the conditions attached hereto which are also incorporated by this reference as Attachment "A" and Attachment "B".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 27th Day of September 2022.

AYES:

NOES:

ABSTAIN:

ABSENT:

_____
Planning Commission Chairman/Vice Chairman

ATTEST:

_____
City Clerk/Deputy City Clerk

Attachment "A"
CONDITIONS OF APPROVAL
APPLICATION NO. CUP 22-02

The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

COA-1. The approved land use permit shall become void in the event occupancy does not occur within twenty-four (24) months of the approval date.

COA-2. Approval of the use permit may be extended for an additional period or periods of one (1) year upon a written application to the Commission before the expiration of the first approval.

COA-3. The applicant, within 15 days of the approved application, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.

COA-4. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.

COA-5. The applicant shall file with the City, a lot line adjustment application to merge the three parcels in which this development is being undertaken.

COA-6. Any minor alternations to the site plan shall be reviewed and approved by the Community Development Director, unless under his/her discretion warrants review and approval by the Commission.

COA-7. The Developer is responsible for paying all applicable development impact fees as well all regional fees related to the project.

COA-8. A final site plan shall be submitted to the Community Development Department to ensure that all conditions of approval have been incorporated.

COA-9. *Actions voiding approval.* If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.

COA-10. *Periodic review or monitoring of conditions.* All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.

COA-11. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or

proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

COA-12. *State and Local Cannabis Laws and Regulations:* The applicant shall, at all times, remain in compliance with all State and Local laws and regulations, as amended from time to time. Failure to comply with any and all laws and regulations related to Cannabis operations shall be subject to possible revocation of their local permit and notice to the State of California of non-compliance with local authorization.

COA-13. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.

COA-14. The applicant shall provide smooth AC pavement transitions from new concrete driveway to existing Cody Street asphalt pavement.

COA-15. The applicant shall furnish and install off-site Curb & Gutter, Driveway Approaches and 70-watt equal LED Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the southeasterly curb return at Gayle Avenue & Cody Street to continue through the new curb & gutter and connect to the exit curb & gutter to the south.

COA-16. The applicant shall comply with all 2019 (or most current) California Building Code (CBC) Chapter 11B ADA accessibility guidelines.

COA-17. The applicant shall comply with all of the requirements of the Building Official.

COA-18. The applicant shall obtain approval from the Public Works Department for the location of the trash enclosure for solid waste disposal and pick up. The trash enclosure shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.

COA-19. The applicant shall construct a 6-foot-high Wrought Iron fence along the existing public utility easement line running along the rear property line of the project development.

COA-20. Public Sewer Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a sewer lateral to the project site.

COA-21. Public Water Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a water service to the project site.

COA-22. Public Natural Gas Facilities exist in Cody Street and are available to serve this development. The applicant shall extend natural gas service to the project site.

COA-23. Mailboxes shall be located outside of secured areas for access by postal workers. Obtain final approval by Postmaster prior to installation.

COA-24. The applicant shall show all existing public utility easements on the site plan.

COA-25. The applicant shall comply with the requirements of the Police Chief for approval of the existing 6-foot-high chain link fence with razor wire ribbon crown along the project perimeter.

COA-26. All existing fire hydrant locations shall be shown on the site plan. All fire hydrant locations shall be reviewed and approved by the Fire Chief.

COA-27. The applicant shall furnish and install a backflow prevention device for the domestic water service behind the existing water meter. The existing backflow prevention device serving the irrigated landscape areas of the project shall be tested and certified for use.

COA-28. Applicants shall obtain all necessary stormwater permits from the California Regional Water Quality Control Board, Central Valley Region.

COA-29. A storm water basin shall be located on the unimproved land onsite and shall be shown on the final site plan, engineered and fenced.

COA-30. The applicant shall provide a compacted all-weather surface (gravel, aggregate base rock) for the area south of the southerly parking lot. The compacted all weather surface shall provide for adequate turning movements for fire trucks and solid waste disposal trucks.

COA-31. The property lies within zone "A" special flood hazard areas inundated by 100-year storm. The applicant shall comply with all federal, state and city regulations (Section 9-8.501) such as construction materials and methods, grading and excavation and other applications which control development in flood prone areas.

COA-32. Indicate on Site Plan the Americans Disability Act path of travel from building entrances and restrooms to disabled parking stalls.

COA-33. An occupancy permit for the existing structure(s) shown on the approved site plan shall not be issued until all proposed buildings, structures and other stated improvements are completed, or the Community Development Director authorizes its issuance upon making a finding that all on-site and off-site conditions relating to the building, structure or use have been or will be met.

COA-34. *Screening of parking areas.* Any parking area located between a building and right-of-way, or within fifty (50) feet of and visible from a right-of-way, must be screened by a wall or berm at least two and one-half (2.5) feet high with a (3.5) foot wrought iron fencing above the wall/berm. The fence shall be placed along the 10-foot Public Utility Easement line. A screening wall meeting this requirement shall be composed of brick, stone, stucco, or other quality durable material approved by the Community

Development Director, and shall include a decorative cap or top finish as well as edge detail at wall ends. Plain concrete blocks are not allowed as a screening wall material unless capped and finished with stucco or other material approved by the Community Development Director.

COA-35. *Setback and screening from highways.* Any site in a Manufacturing/Business district that is fully or partially located within 200 feet of a state highway shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. At least two (2) fifteen (15) gallon trees shall be provided for every twenty-five (25) feet of site frontage toward the highway.

COA-36. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.

a. Weekdays from 7:00 a.m. to 6:00 p.m.;
b. Saturday from 8:00 a.m. to 5:00 p.m.;
c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager

COA-37. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Federal and State regulations. The applicant shall contract with the City of Coalinga's Franchised Solid Waste Hauler for all cannabis disposal needs in accordance with State and Local Laws. If there are services that the City's Franchised Solid Waste Hauler cannot provide, it shall be the responsibility of the owner/applicant to secure said services as approved by the applicable State agency.

COA-38. A landscaping plan shall be submitted to the Community Development Department for review and approval. *Water efficient landscaping.* The model Water Efficient Landscaping Ordinance, as published by the California Department of Water Resources, pursuant to California Water Conservation in Landscaping Act (Government Code § 65591, et seq.), was adopted in full, by reference, and effective in the City of Coalinga commencing on January 1, 2010. A copy of the Water Efficient Landscaping Ordinance is retained on file in the Office of the City Manager, the Community Development Department, and the Office of the Coalinga City Clerk at all times. Landscaping plans must be consistent with the adopted Water Efficient Landscaping Ordinance.

COA-39. *Shade trees.* A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City.

COA-40. The conversion of the building shall be of solid wall construction to ensure that there is no issue with sight and smell from the facility. In accordance with CMC Section 9-

5.128(d)(17) of the Commercial Cannabis Ordinance. Compliance with CMC Section 9-5.128(d)(17) will be verified at the time building plans are submitted and will be reviewed and approved by the Building Department and Police Chief for License conformity and security compliance. The Police Chief shall have full authority to ensure compliance with the intent of security measures and building measures for all structures.

COA-41. In the event that archaeological remains are encountered during grading, work shall be halted temporarily, and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.

COA-42. The applicant shall comply with all the requirements of the Police Department and Fire Department and obtain all required local (Police, Fire, Finance), County, State, or Federal permits prior to the start of operations.

COA-43. On-site lighting shall be provided so that the parking areas are illuminated at a level of 1.5 foot candles. A photometric plan (not a full study) shall be provided to ensure that 1.5 FC has been met. All of the regulations in section 9-4.206 of the Coalinga Planning and Zoning Code shall be met as it relates to lighting and illumination. The photometric plan shall be reviewed and approved by the Building Department prior to building permit issuance.

Attachment "B"
DEPARTMENT COMMENTS AND CONDITIONS
APPLICATION NO. CUP 22-02

CITY OF COALINGA

FIRE DEPARTMENT

General Conditions of Approval

Based on California Code of Regulations, Title 24,
2019 Edition of the California Fire Code (CFC)

Project Name: St. Greens **Use of Building or Facility: Cannabis Cultivation Facility**

Project Address: 9900 Cody Street, Coalinga CA

Construction Type: II-S **Occupancy Type: F-1** **Occupancy Hazard Class: Ordinary Gp. II (Storage to 12')**

The items check marked below, in the right-hand column, are requirements for your project.

(X) ***Construction Documents***

Construction documents (plans and cut sheets) and calculations for all fire protection and notification systems shall be provided in an approved format to Coalinga Fire Prevention Division for review. Installation or modification of any fire protection or notification system shall not be started without first receiving a permit from Coalinga Fire Prevention Division. Permits will not be issued until plans are approved by Coalinga Fire Prevention Division and the permit fees are paid to Coalinga Fire Prevention Division. Temporary occupancy or the issuance of a "Temporary Certificate of Occupancy" will not be allowed until all life safety items have been completed and inspected by the Coalinga Fire Prevention Division. (CFC, Appendix 105.4)

( ) ***Phasing of Projects***

Projects that wish to be reviewed, inspected, or approved in phases are required to obtain separate per0mits for each phase. (CFC, Appendix 105.1)

(X) ***Timing of Installation***

When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to construction except when approved alternative methods of protection are provided. (CFC Sec. 501, 3312)

(X) ***Fire Apparatus Access***

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. They shall be designed and maintained to support the imposed loads of fire apparatus (45,000) pounds. The grade of fire apparatus access roads shall not exceed 10%. Fire apparatus access roads shall be surfaced so as to provide all-weather driving capabilities and shall not be obstructed in any manner, including the parking of vehicle. The minimum widths and clearances shall be maintained at all times. Fire apparatus access roads shall be identified utilizing an approved method. (CFC 503)

(X) ***Fire Apparatus Turning Radius***

The required turning radius of a fire apparatus access road shall have a 20 foot inside radius and a 40 foot outside radius unless otherwise determined by the fire code official. (CFC 503)

(X) ***Fire Apparatus Access Dead Ends***

Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved area for turning around the fire apparatus. (CFC 503)

( ) ***Street or Road Signs***

Street and roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant, shall be Arabic numerals or alphabet letters and be maintained until replaced by permanent signs. (CFC 505)

(X) ***Marking***

Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which *fire lanes* are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. (CFC 503)

(X) ***Obstruction of fire apparatus access roads***

Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times (CFC 503)

(X) ***Premises Identification***

New and existing buildings shall have approved address numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with their background and be posted a minimum of 10 feet above the ground. Address numbers shall be Arabic numerals or alphabet letters. Numbers shall be a minimum of 8 inches high with a minimum stroke width of three-quarter inch. (Commercial Occupancies) (CFC 505)(Coalinga FD)

(X) ***Gate Locks***

An approved lock or opening device (Knox) shall be installed on walk-through and vehicle gates or similar barriers when required by the fire code official. Vehicle gates shall not be less than 20 feet wide. (CFC 605)

(X) ***Key Boxes***

An approved key box (Knox Box) shall be installed in an approved location at a height of approximately 6-8 feet above grade. (Usually the right side of the main entrance.) The key box shall contain labeled keys to gain access into all portions of the building or specific portions of the building as required by the fire code official. The operator of the building shall immediately notify the fire code official and provide a new key when a lock is changed or rekeyed. The key to such lock shall be secured in the key box by the fire code official. (CFC 506)

(X) ***Required Water Supply***

An approved water supply capable of supplying the required fire flow for fire protection shall be provided to facilities, structures or portions of structures that are hereafter constructed, have a change of occupancy or moved into or within the jurisdiction. Water supplies consist of reservoirs, pressure tanks, elevated tanks, **WATER MAINS** or other fixed systems. (CFC 508)
CFC Sec. 3312.1 When required. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site.

Water storage required utilizing the California Fire Code _____ gallons.
OR
Water storage required utilizing NFPA Standard 1142 _____ gallons.

(X) ***Fire Flow***
Fire flow requirement for building or portions of buildings and facilities shall be determined by an approved method or *Appendix B from the CFC*.

(X) ***Fire Sprinkler System***
A fire sprinkler system is required for structures to be built, have a change of occupancy, having an addition to an existing non-conforming structure or moved into the city limits. Fire sprinkler systems shall be installed and maintained in accordance with the California Fire Code, Coalinga Fire Prevention Division amendments and policies and NFPA Standards 13, 13D and 13R. Fire sprinkler systems shall be monitored by an approved fire alarm system that reports to a monitoring company. Alternative fire suppression systems (Clean Agent, etc.) may be installed and monitored with the approval of Coalinga Fire Prevention Division. (CFC 903)

(X) ***Fire Department Connections***
Fire Department Connections shall have caps as well as have address markings in contrasting colors (Red background White letters minimum of 4" high ¾" stroke) painted or affixed to the FDC for that address. Fire department connections may be placed on the same city water connection with the backflow prevention device if done on an above-ground installation. Three feet of clearance shall be maintained to all areas if installed in this manner and the same Markings for the FDC shall apply.

(X) ***Fire Hydrants***
Fire hydrant systems shall comply with the CFC, Sections 507.1 through 507.5.6 and Appendix C or by an approve Method. A 3-foot clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. Fire hydrants shall be painted safety yellow in color and have a "blue dot" installed on the driving surface near the hydrant. (CFC 507)
Hydrant is required within 50' of any Fire Department Connections and shall be a Clow 960 series hydrant. Fire Department Connections shall have caps as well as have address markings in contrasting colors(Red background White letters minimum of 4" high ¾" stroke) painted or affixed to the FDC for that address.

Number of hydrants required 2. Hydrant spacing shall be a maximum of 300 feet apart.

(X) ***Fire Alarms***

Where required, an approved manual, automatic or manual and automatic fire alarm system shall be installed in accordance with the provisions of the California Fire Code, Coalinga Fire Prevention Division amendments and policies and the National Fire Protection Association, Standard 72. (CFC 907)

(X) ***Vehicle Impact Protection of Fire Protection Equipment***

Vehicle impact protection shall be required when any fire protection equipment is located closer then 4-foot from the face of a curb or when located in open areas such as parking lots and yards. Physical barriers shall be a minimum of 72 inches high and have a minimum diameter of 3 inches. The barrier shall be a steel pipe filled with concrete and painted safety yellow. The pipes shall be spaced at 36 inches on center. The pipe shall be installed so that 36 inches of the pipe are below ground, and 36 inches of the pipe are above ground. The footing for the pipe shall be 36 inches deep with 24-inch side dimensions. The physical barrier shall resist a force of 12,000 pounds, applied 36 inches above the adjacent ground surface. (CFC 312)

( ) ***Commercial Extraction Equipment***

Provide plans and specifications for the commercial extraction equipment for processing the product. Sprinkler hazard level subject to change based on the hazard of the processing and storage area.

(X) ***Portable Fire Extinguishers***

Portable fire extinguishers shall be selected, installed, and maintained in accordance with the California Fire Code, NFPA Standard 10 and Chapter 3, Title 19 California Code of Regulations. All fire extinguishers, including new extinguishers, shall have a current California State Fire Marshal service tag attached to the extinguisher. Fire extinguishers shall be mounted on the wall at no more than 5 feet above the floor. (Gross weight not to exceed 40 pounds.) Fire extinguisher type and placement locations shall be shown on the plans and coordinated with Coalinga Fire Prevention Division. (CFC 906) At no time shall the rated size of the extinguisher be less than 2A 10 BC.

(X) ***Hazardous Materials***

Safeguards shall be provided to minimize the risk of exposing hazardous materials to a fire or physical damage whereby such exposure could endanger or lead to the endangerment of people, property, or the environment. Provide a Hazardous Materials Management Plan and a Hazardous Materials Inventory Statement as required by CFC 2701 and Title 19. (CFC 407). A copy of the Site Safety Plan to include the Hazardous Materials Management Plan and a Hazardous Materials Inventory shall be available to all first responders at the nearest location to the main entrances as well as in the front office administrative area. All hazardous materials storage meeting reportable quantity thresholds shall be noted by affixing the applicable NFPA 704 Placard to all entrances to the property as well as the building(s) where the products are stored.

(X) ***Combustible Vegetation and combustible storage***

Provide 30 feet of clearance between cut or uncut weeds, dead grass, vines and other flammable vegetation. Outside storage of combustible items must be reduced to a reasonable limit. This includes wood, pallets, tires, etc. All quantities of combustible materials stored will be subject to Tables within (CFC 315.1 315.7 105.6.29) and at no time will the amounts be allowed to exceed those identified in said table.

(**X**) ***Fire Safety and Evacuation Plans***

Provide, for review and approval, a fire safety and evacuation plan in compliance with Chapter 4 of the California Fire Code. (Group A, other than group A buildings used exclusively for religious worship that have an occupant load less than 2,000, B with an occupant load of 500 or more, E, H, I, R-1, R-2, college and university buildings, R-4 , M with an occupant load of 500 or more, high-rise buildings, covered mall buildings exceeding 50,000 sq. feet and underground buildings). (CFC 404)

Plans submitted to Coalinga Fire Prevention Division shall include the governing codes used for the project, type of occupancy and type of construction. Provide a "Fire Protection" page in your general construction plans that include a depiction of all fire protection systems applicable to the project. Please include project notes indicating any applicable requirements that are not included on the page. List any submittals to be deferred, such as fire sprinklers, fire alarms, fire pumps, kitchen hood suppression systems, etc., in the project notes. Underground water supply and access requirements shall not be deferred.

Please feel free to contact the Fire Prevention Division at (559) 935-1652 ext. 303 with any questions, comments, or concerns.

Revised:12/13/2021)
EB