



AGENDA

PLANNING COMMISSION

WEBINAR MEETING

TUESDAY SEPTEMBER 8, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

Notice is hereby given that the City Council will hold a Regular Meeting, on August 20, 2020 via webinar only. The webinar can be accessed by visiting <https://us02web.zoom.us/j/81650312152?pwd=enZsQjA4KzFkWExiMlInRnIERHJWdz09> with PASSWORD: 344852 or by telephone at +1 669 900 9128 with WEBINAR ID: 816 5031 2152 and PASSWORD: 344852. Persons with disabilities who may need assistance should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. Anyone interested in translation services should contact the City Clerk at least 24 hours prior to the meeting at 935-1533 x113. The Meeting will begin at 6:00 p.m. and the Agenda will be as follows:

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

<i>Chairman Sailer</i>
<i>Vice Chairman Jacobs</i>
<i>Commissioner Helmar</i>
<i>Commissioner Garza</i>
<i>Commissioner Pruitt</i>

Staff:

<i>Sean Brewer, Assistant City Manager</i>
<i>Marissa Trejo, City Manager</i>

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

1. Approve MINUTES - 2-11-20
2. Approve MINUTES - 2-25-20
3. Approve MINUTES - 3-10-20
4. Approve MINUTES - 5-12-20
5. Approve MINUTES - 5-26-20
6. Approve MINUTES - 6-09-20

PUBLIC HEARINGS

1. Planning Commission Adoption of Resolution No. 020P-009, Approving With Conditions Site Plan Review, Conditional Use Permit, and Environmental Review (City Application CDA 18-02), For the Development of a New Indoor Commercial Cannabis Cultivation Facility to be Located at 9840 Cody Street
2. Planning Commission Adoption of Resolution No. 020P-010, Approving a Conditional Use Permit Application (20-03), Approving a Proposed Truck Terminal at 140 Truman Street

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 2-11-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ 2-11-2020 PC Minutes

MINUTES

PLANNING COMMISSION

155 W. Durian, Coalinga, CA 93210
TUESDAY February 11, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:02 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
Vice Chairman Jacobs
Commissioner Helmar
Commissioner Garza
Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
City Clerk Shannon Jensen (Absent)

PUBLIC COMMENTS

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None

INFORMATION/CONSENT CALENDAR

None

PUBLIC HEARINGS

None

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Coalinga Planning and Zoning Code 5-Year Review Update (on-going)

Assistant City Manager Sean Brewer gave a brief overview of the time.

The Planning Commission reviewed the following sections: Chapter 1, Article 2 – Definitions; Chapter 4: Additional Use and Development Regulations, Article 1: Measurements and Determinations and Article 2: Standards for All Development and Land Uses.

DEPARTMENT REPORTS

Mr. Brewer gave the Public Works and Utilities Monthly Report for January which was originally presented to the City Council at the February 6, 2020 City Council Meeting.

COMMUNICATIONS

1. Staff Announcements

None

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 7:25PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 2-25-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ 2-25-2020 PC Minutes

MINUTES

PLANNING COMMISSION

155 W Durian Ave., Coalinga, CA 93210
TUESDAY February 25, 2020

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
Vice Chairman Jacobs
Commissioner Helmar
Commissioner Garza
Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
City Clerk Shannon Jensen

PUBLIC COMMENTS

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None

INFORMATION/CONSENT CALENDAR

None

PUBLIC HEARINGS

1. Planning Commission Consideration and Recommendation to the City Council Approval of a City Initiated Zoning Text Amendment (No. ZTA 20-01) Amending the Planning and Zoning Code as it Relates to Conditional Use Permit Regulations for Commercial Cannabis Facilities

Assistant City Manager Sean Brewer gave a brief overview of the item.

Chairman Sailer opened the Public Hearing for comment. Seeing none, Chairman Sailer closed the Public Hearing.

*Motion by Pruitt, Second by Helmar to Adopt Resolution No. 020P-003 Approving the City Initiated Zoning Text Amendment (No. ZTA-20-01) Amending the Planning and Zoning Code Related to Conditional Use Permit Regulations for Commercial Cannabis Facilities. Motion **Approved** by a Roll-Call 5/0 Majority Vote.*

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Coalinga Planning and Zoning Code 5-Year Review Update (on-going)

Assistant City Manager Sean Brewer gave a brief overview of the item.

The Planning Commission reviewed the following sections: Chapter 1, Article 2 – Definitions; Chapter 4: Additional Use and Development Regulations, Article 3: Off-Street Parking & Lodging, and Article 4: Performance Standards.

DEPARTMENT REPORTS

None

COMMUNICATIONS

1. Staff Announcements

City Clerk Shannon Jensen reminded the Commission to submit their completed Form 700s by the April 1, 2020 deadline.

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 7:00PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 3-10-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ 3-10-20 PC Minutes

MINUTES

PLANNING COMMISSION

155 W Durian Ave., Coalinga, CA 93210

TUESDAY March 10, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
 Vice Chairman Jacobs
 Commissioner Helmar
 Commissioner Garza
 Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
 City Clerk Shannon Jensen

PUBLIC COMMENTS

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None

INFORMATION/CONSENT CALENDAR

1. Planning Commission Recommendation to the City Council for Approval of the 2019 General Plan Progress Report

*Motion by Helmar, Second by Garza to Approve the Planning Commission Recommendation to the City Council for Approval of the 2019 General Plan Progress Report. Motion **Approved** by Roll-Call 5/0 Majority Vote.*

PUBLIC HEARINGS

None

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Coalinga Planning and Zoning Code 5-Year Review Update (on-going)

Assistant City Manager Sean Brewer gave a brief overview of the item.

The Planning Commission reviewed the following sections: Chapter 1, Article 2 – Definitions; Chapter 4: Additional Use and Development Regulations, Article 5: Signs.

DEPARTMENT REPORTS

None

COMMUNICATIONS

1. Staff Announcements

Assistant City Manager Sean Brewer announced that his Community Development and Public Works and Utilities monthly reports will be placed on the second City Council meeting of each month.

Mr. Brewer further announced the receiving the official authorization for the Cambridge and Elm signalization project. The project is out for bid and the project is scheduled to be completed sometime in July 2020 and the Sunset project is set to begin in the summer.

The Washington and Sunset school parking project will probably occur next year. We are currently waiting on California Department of Transportation approval.

The City Council received a report on the reopening of the Hospital at their last meeting. Mr. Bill Lewis it may open in August, however the Hospital Board may end up having to make some tough decisions if things do not begin to progress soon.

The April 21, 2020 meeting will be cancelled.

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 6:25PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 5-12-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ 5-12-20 PC Minutes

MINUTES

PLANNING COMMISSION

155 W Durian Ave., Coalinga, CA 93210
TUESDAY May 12, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:04 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
 Vice Chairman Jacobs
 Commissioner Helmar
 Commissioner Garza
 Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
 City Clerk Shannon Jensen (Absent)

PUBLIC COMMENTS

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None

INFORMATION/CONSENT CALENDAR

1. Approval of Minutes from the September 10, 2019 Planning Commission Meeting
2. Approval of Planning Commission Minutes - August 13, 2019
3. Approval of Planning Commission Minutes - August 27, 2019
4. Approval of Planning Commission Minutes - July 9, 2019
5. Approval of Planning Commission Minutes - May 14, 2019

6. Approval of Planning Commission Minutes - May 28, 2019
7. Approval of Planning Commission Minutes - September 24, 2019

*Motion by Helmar, Second by Pruitt to Approve Consent Calendar Item Nos. 1 through 7. Motion **Approved** by Roll-Call 5/0 Majority Vote.*

PUBLIC HEARINGS

None

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

None

DEPARTMENT REPORTS

1. Community Development Report

Assistant City Manager Sean Brewer gave the Community Development and Public Works and Utilities Monthly Reports for April which was originally presented to the City Council at the May 7, 2020 City Council Meeting.

COMMUNICATIONS

1. Staff Announcements

None

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 6:33PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 5-26-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description



5-26-2020 PC Minutes

MINUTES

PLANNING COMMISSION

155 W. Durian, Coalinga, CA 93210

TUESDAY May 26, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
 Vice Chairman Jacobs
 Commissioner Helmar
 Commissioner Garza
 Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
 City Clerk Shannon Jensen

PUBLIC COMMENTS

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None

INFORMATION/CONSENT CALENDAR

1. Approval of Planning Commission Minutes - January 14, 2020
2. Approval of Planning Commission Minutes - January 21, 2020 (Special Meeting)
3. Approval of Planning Commission Minutes - November 12, 2019

*Motion by Garza, Second by Pruitt to Approve Consent Calendar Item Nos. 1 through 3. Motion **Approved** by Roll-Call 5/0 Majority Vote.*

PUBLIC HEARINGS

1. Planning Commission Review and Approval of Resolution No. 020P-004 Recommending to the City Council approval of a Tentative Subdivision Map, General Plan Amendment, Re-zone and Certification of an Initial Study Mitigated Negative Declaration for the Property Located at 150 S. Hachman

Assistant City Manager Sean Brewer gave a brief overview of the item. Mr. Brewer indicated he received two comments after the notices were posted. One of which was from the California Department of Fish and Wildlife and the other came from the San Joaquin Valley Air Pollution Control District. The comment from the California Fish and Wildlife the Mitigated Negative Declaration ("MND") did not properly evaluate impacts to the San Joaquin Kit Fox, however given the project site is currently developed with residential-single family residences and is located near an urban area, this site does not contain any suitable habitat for San Joaquin Kit Fox and the species is not anticipated to occur on or near this site. The analysis presented within the attached documents is adequate and mitigation for the San Joaquin Kit Fox is not required for this project. The comments provided by the San Joaquin Valley Air Pollution Control District do not address the adequacy of the MND and are basically supportive of the air quality analysis that was presented in the documentation and was issued more as a general comment letter.

Commissioner Sailer opened the Public Hearing for comments. Hearing none, Commissioner Sailer closed the Public Hearing.

Assistant City Attorney Megan Dodd indicated there was a comment from the public.

Commissioner Sailer reopened the Public Haring for comment.

The following individual(s) submitted electronic comment(s):

Mary Jones asked if these are intended to be owned, or rented? Does the developer plan to sell them or keep them?

Mr. Brewer indicated that would be a question for the applicant and I am not sure if the applicant is on the call. I would imagine that they may be rented considering it is one company that will own all the lots, but I do not know if their intention is to sell the lots or if they plan to build the homes themselves. If the applicant is not on the line, then I will request the information and report it at the Council Meeting.

Commissioner Sailer closed the Public Haring.

Motion by Helmar, Second by Pruitt to Adopt Resolution No. 020P-004 Recommending to the City Council Approval of a Tentative Subdivision Map, General Plan Amendment, Re-Zone and Certification of an Initial Study Mitigated Negative Declaration for the Property Located at 150 S. Hachman. Motion Approved by Roll-Call 5/0 Majority Vote.

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

None

DEPARTMENT REPORTS

Assistant City Manager Sean Brewer reported the next Planning Commission meeting will be held on June 9, 2020 via webinar.

COMMUNICATIONS

1. Staff Announcements

None

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 6:29PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Approve MINUTES - 6-09-20
Meeting Date September 8, 2020
Project Location: 155 W Durian Ave., Coalinga, CA
Applicant: N/A
Owner: N/A
Prepared By:

I. RECOMMENDATION:

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ 6-09-2020 PC Minutes

MINUTES

PLANNING COMMISSION

155 W. Durian Ave., Coalinga, CA 93210
TUESDAY June 9, 2020

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00 PM) Meeting conducted via webinar.

Pledge of Allegiance

CHANGES TO THE AGENDA

None

ROLL CALL

Commissioners: Chairman Sailer
Vice Chairman Jacobs
Commissioner Helmar
Commissioner Garza
Commissioner Pruitt

Staff: Assistant City Manager, Sean Brewer
City Clerk Shannon Jensen

PUBLIC COMMENTS

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Casey Dalton announced she was on the call and available for questions.

Nathan Vosburg is in favor of a second retail cannabis location, onsite consumption lounge and outdoor cannabis cultivation.

INFORMATION/CONSENT CALENDAR

None

PUBLIC HEARINGS

1. Planning Commission Consideration and Recommendation to the City Council Approval of a City Initiated Zoning Text Amendment (No. ZTA 20-03) Amending the City of Coalinga's Commercial Cannabis Regulations to Permit a Second Retail Location and Establishing Regulations for onsite Consumption (Consumption Lounge)

Assistant City Manager Sean Brewer gave a brief overview of the item.

Commissioner Sailer opened the Public Hearing for comments. Hearing none, Commissioner Sailer closed the Public Hearing.

*Motion by Pruitt, Second by Helmar to Approve a City Initiated Zoning Text Amendment (No. ZTA 20-03) Amending the City of Coalinga's Commercial Cannabis Regulations to Permit a Second Retail Location and Establishing Regulations for onsite Consumption (Consumption Lounge). Motion **Approved** by a Roll-Call 4/1 Majority Vote. (Sailer voted "No").*

2. Planning Commission Consideration and Recommendation to the City Council Approval of a City Initiated Zoning Text Amendment (No. ZTA 20-04) Amending the Commercial Cannabis Regulations Related to Establishing Regulations for Permitting Outdoor Cannabis Cultivation

Assistant City Manager Sean Brewer gave a brief overview of the item.

Commissioner Sailer opened the Public Hearing for comments.

Nathan Vosburg spoke in favor of permitting outdoor cannabis cultivation.

Michael Green, on behalf of Claremont Capital Partners, spoke in favor of permitting outdoor cannabis cultivation.

Hearing no additional comments, Commissioner Sailer closed the Public Hearing.

*Motion by Garza, Second by Pruitt to Approve a City Initiated Zoning Text Amendment (No. ZTA 20-04) Amending the Commercial Cannabis Regulations Related to Establish Regulations for Permitting Outdoor Cannabis Cultivation. Motion **Approved** by a Roll-Call 4/1 Majority Vote. (Sailer Voted "No").*

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

None

DEPARTMENT REPORTS

None

COMMUNICATIONS

1. Staff Announcements

Mr. Brewer announced the next Planning Commission Meeting is scheduled for June 23, 2020 and will be done via webinar.

2. Commissioner Announcements

None

3. Chairman Announcements

None

ADJOURN 7:26PM

Chairman/Vice Chairman

Shannon Jensen, City Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Planning Commission Adoption of Resolution No. 020P-009, Approving With Conditions Site Plan Review, Conditional Use Permit, and Environmental Review (City Application CDA 18-02), For the Development of a New Indoor Commercial Cannabis Cultivation Facility to be Located at 9840 Cody Street

Meeting Date September 8, 2020

Project Location: 9840 Cody Street, Coalinga, CA 93210 (APN: 070-120-11S)

Applicant: Urbgreen Co., 4200 Park Blvd, Suite 506, Oakland, CA 94606

Owner: Vinny MaNguyen, 4200 Park Blvd, Suite 506, Oakland, CA 94606

Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 020P-009 with conditions approving Application No. CDA 18-02 for an indoor commercial cannabis cultivation facility to be located a 9840 Cody Street.

II. BACKGROUND:

On June 18, 2020, the Community Development Department received a combined development application for the development and construction of a new indoor cannabis cultivation facility totaling approximately 10,000 square feet at 9840 Cody Street.

Conditional Use Permit Application

In accordance with Section 9-5.128(f) of the Coalinga Planning and Zoning Code related to Commercial Cannabis operations, prior to, or concurrently with, applying for a regulatory permit, the applicant shall process a conditional use permit as required by the City's Land Use Regulations. Information that may be duplicative in the two (2) applications can be incorporated by reference. The conditional use permit shall run with the regulatory permit and not the land. The applicant currently has a regulatory permit application under review with the Police Department and pending City Council approval. The State of California is now accepting applications from commercial cannabis operators who will be subject to the comprehensive set of regulations that the State has adopted. The regulations that will apply to Cannabis Manufacturing operations have been drafted by the California Department of Public Health. Those regulations will govern the various cannabis operations within the state in addition to applicable sections of the City of Coalinga's commercial cannabis ordinance.

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code requires that all applicable new

structures permanent or temporary erected in the City require a site plan review and approval by the Planning Commission for consistency with all applicable zoning regulations.

The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

California Environmental Quality Act

This application constitutes a project in accordance with the California Quality Act, therefore staff has prepared an environmental analysis as part of this land use application.

Comments

Once the application was deemed complete staff requested comments from the necessary City Departments. This proposal, including conditions of approval, include feedback from the necessary City Departments.

III. PROPOSAL AND ANALYSIS:

Site Plan Analysis

Manufacturing and Business Development Regulations

There are several development regulations that staff evaluates prior to recommending approval of a site plan review application. This site plan application has been reviewed for compliance with the Coalinga Planning and Zoning Code and meets all applicable requirements for the proposed use based on type, location and site constraints.

Development Proposal

The applicant is proposing to construct a 10,000 square foot indoor commercial cannabis cultivation facility with associated on and off-site improvements.

Access

The primary access point for the development will be on Cody Street. According the Fire Department and City Engineer there is adequate space onsite for public safety maneuvering.

Utilities

All utilities are readily available for connection on Cody Street. All utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. Improvement plans will be reviewed and approved by the City Engineer.

Storm Runoff: On-site storage of storm runoff will be required to be provided in the undeveloped portion of the parcel and will be screened by wrought iron. The Storm water basin shall be reviewed and approved by the City Engineer.

Gas: Public Natural Gas Facilities exist in Cody Street and are available to serve this development. The applicant shall extend natural gas service to the project site. Gas meters may be located within private property but must be accessible to meter readers.

Water: Public Water Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a water service to the project site. The Public Works Director has recommended that

water meters be located on or near the property line to ensure ease of meter reading.

Sewer: Public Sewer Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a sewer lateral to the project site. Sewer clean out will be placed at the property line.

Meters: There shall be meters for both water and natural gas which shall be identified on the final site plan when submitted to the Planning Department for final approval. There will be separate landscape and domestic meters in order to differentiate between landscaped water and domestic water per City policy. Since this is a secure facility the water meters shall be located outside the secured area and gas meters shall be placed in a location that are protected from damage. If gas meters are to be located on-site within the secured area the applicant shall work with Public Works to determine the best practice for reading meters.

Parking

In accordance with section 9-4.302 Table 4.4 of the zoning code, the parking requirement for the industrial building is (1) stall for every 1,000 square feet of building space. The proposed development has met the requirement by providing a total of (34) vehicle stalls including (2) accessible space.

Refuse Containers

The proposed site plan identifies a location for solid waste collection near the southwest portion of the site. Upon final site plan submission, the trash enclosure will be required to meet City Standard for construction and available space for required receptacles.

Landscaping

The proposed landscaping exceeds the city's minimum requirement for landscaped areas as it relates to site frontage, parking, highway setbacks and equipment screening. A separate landscape plan will be submitted to the Community Development Department for review and approval prior to building permit issuance.

The proposed project is located within 200 feet of a state highway (rear property line) and shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. The applicant has provided the adequate setback from the state highway and will provide the required two (2) fifteen (15) gallon trees for every twenty-five (25) feet of site frontage toward the highway. This will be denoted on the final landscape plan but has been provided conceptual on this plan.

Fencing

All interior fencing shall be of material allowed under the planning and zoning code. All fencing adjacent to public rights or way will be a combination of wrought iron and landscaping or of a decorative block material. All existing dilapidated interior chain link fencing shall be replaced with new chain link fencing where permitted.

Lighting

Lighting has been reviewed and approved by the Police Department to ensure that there will be no spill over lighting. A photometric plan will be provided, as a condition of approval, to ensure compliance with the requirements of meeting 1.5 foot candle of light site wide. All lighting shall use decorative poles and fixtures with LED technology and avoid HPS lighting in an effort to reduce energy consumption.

Signage

In accordance with the zoning regulations related to commercial cannabis facilities, no business-related signage shall be provided except for those federally regulated such as ADA.

Offsite Improvements

The applicant shall furnish and install off-site Curb & Gutter, Sidewalk, Driveway Approach and Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the existing northerly dirt swales to continue through the new curb & gutter and exit onto the existing dirt swale to the south.

Floodplain

The property lies within a Zone “A” special flood hazard area inundated by 100 year storm. The applicant shall be required to comply with all federal, state and city regulations (Section 9-8.501) such as construction materials and methods, grading and excavation and other applications which control development in flood prone areas. This has been added as a condition of approval to comply with the applicable section in the planning and zoning code related to floodplain management.

Conditional Use Permit Analysis

The CUP analysis will look at operation criteria such as security, odor control, hours of operation, ect. The regulatory permit reviewed by the Police Chief and approved by the City Council will consider these items in more depth and to ensure full compliance with the city planning and zoning code related to commercial cannabis operations.

Cannabis Cultivation

In accordance with State Law, “Cultivation” means any activity involving the planting, growing, harvesting, drying, curing, grading, or trimming of cannabis. In addition, a “Cultivation site” means a location where commercial cannabis is planted, grown, harvested, dried, cured, graded, or trimmed, or a location where any combinations of those activities occurs.

The applicant proposes 10,000 square feet of the facility for indoor cultivation activities. There will be several dedicated large grow rooms with additional work rooms for drying, trimming, water testing, and nutrient storage (manufacturing space). In addition to large grow rooms there will be several grow areas for seedlings as well as vegetative plants. According to the applicant’s application documents, their products will be “Certified Organic” eliminating the exposure to synthetic fertilizers. The applicant will be utilizing both hydroponic grow systems as well as traditional soil-based systems. The facility will be equipped with the proper ventilation to ensure that the smell of cannabis does not emanate beyond the property.

The applicant will be required to obtain a State of California Adult Use and Medicinal Use Cultivation License applicable to the City’s approved permit in addition to meeting all of the regulations adopted by the California Department of Food and Agriculture (CalCannabis).

General Plan/Zoning Consistency: The location where the manufacturing facility will be located has a General Plan designation of (MB) Manufacturing and Business with a zoning designation of Manufacturing and Business Light (MBL). The project proposal is consistent with the General Plan and Zoning Designations for Cannabis Uses.

Location (9840 Cody Street - Map & Floor Plans Attached): The proposed industrial building located at 9840 Cody Street. It will be a single-story industrial building approximately 10,000 square feet. The building provides space for cultivation, processing (trimming and storage), offices, conference room, break room and restrooms for employees, and a receiving area which will include secured access.

Security: The applicants site protection strategy will address all forms of security concerns and will be required to meet all the security requirements of 9-5.128 of the Planning and Zoning Code as it relates to commercial cannabis activities. The Police Department has reviewed and verified that the security plan including camera placements, access controls, onsite and perimeter security meet the requirements of the code and the satisfaction of the Police Chief (Section 9-5.128). There will be on-site security provided at this

site during business hours in accordance with planning and zoning code.

Building Access: All employees and authorized personnel will enter the building at designated entry area after checking with the security personnel at the site entrances who will grant authorization into the facility.

Odor Control: In order to control odor while producing at the above capacity and remaining compliant with §9-5.128(d)(15), the facilities will be equipped with both negative pressure and mass filtration systems. Odor control systems will be checked and replaced as necessary to prevent odor from escaping the facilities and becoming a nuisance to the applicant's neighbors.

Hours of Operation: The production facility is expected to operate (24) hours a day, (7) days a week with approximately 15-20 employees.

Parking: This facility will be accommodated by the (34) parking stalls as shown on the site plan.

Fuel Storage and other Potential Hazardous Materials: The applicant will be required to meet with the Fire Marshall and Building Official to determine the level of safety protection required based on the desired storage of solvents, and all other hazardous materials on site.

Water Use: The facility is expected to use approximately 60,000 gallons of water per year which is equivalent to two (2) typical households.

Wastewater Disposal: The applicant will not introduce any toxic chemical waste or solvents into the local waste stream and will be required to disclose all products, chemicals, solvents, active ingredients that will be used as part of the cultivation process. This shall be reviewed and approved by the Fire Marshall before occupancy.

Solid Waste: The applicant will be required to utilize the City of Coalinga's solid waste hauler (Mid-Valley Disposal for all solid waste needs including destroyed product, green waste, typical solid waste and any other cannabis related products or byproducts where the State of California has authorized franchised solid waste haulers to provide said services.

Surrounding Land Uses:

Surrounding Land Use Setting	
South	Industrial
West	Industrial
East	Agriculture
North	Industrial

Per §9-5.128(d)(12), a Commercial Cannabis Operation shall not be located within 1,800 feet, measured from property boundary to property boundary, of any existing school or proposed school site as identified in the General Plan. For purposes of this section, school means any public or private school providing instruction in kindergarten or grades 1-12, inclusive, but does not include any private school in which education is primarily conducted in private homes. The applicant meets this set-back requirement.

Public Notification: On August 27, 2020 public hearing notices were sent to all property owners within 300 feet of the site as required by Local and State law.

Environmental Review: Section 21084 of the Public Resources Code requires the California Environmental Quality Act (CEQA) Guidelines to include a list of classes of projects that have been

determined not to have a significant effect on the environment and which shall, therefore, be exempt from the provisions of CEQA. In response to that mandate, the Secretary for Resources has found that several classes of projects listed in Article 19 of the CEQA Guidelines do not have a significant effect on the environment, and they are declared to be categorically exempt from the requirement for the preparation of environmental documents.

Class 32 Exemption

Section 15332 of the CEQA Guidelines is as follows:

15332. IN-FILL DEVELOPMENT PROJECTS

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- The project site has no value as habitat for endangered, rare or threatened species.
- Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- The site can be adequately served by all required utilities and public services.

Summary of Project's Qualifications for Exemption

The proposed project includes the construction of a new 32,300-s.f. industrial building for cannabis manufacturing, cultivation and distribution and remains consistent with the General Plan designation of MB and zoning designation of MBL. The project site is located within the City of Coalinga limits on a 1.7-acre parcel that is surrounded by existing industrial development and does not have any value as a habitat for endangered, rare, or threatened species. The proposed project meets all requirements established by Section 15332 of the CEQA guidelines and can consequently be considered exempt from the provisions of CEQA under a Class 32 exemption.

IV. FISCAL IMPACT:

the project is expected to generate approximately \$42,000 (based on 6,000 canopy) in cultivation taxes and \$60,000 in annual licensing fees.

V. REASONS FOR RECOMMENDATION:

Site Plan Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

- The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
- The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- The construction/alteration will not have significant adverse effects on the public health, safety and

welfare.

Conditional Use Permit finding of Approval

A Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record.

General Plan consistency: Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood compatibility: The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;

Asset for the neighborhood: The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

ATTACHMENTS:

	Description
<input type="checkbox"/>	Application
<input type="checkbox"/>	Business Plan
<input type="checkbox"/>	Elevations
<input type="checkbox"/>	Elevations
<input type="checkbox"/>	Floor Plan
<input type="checkbox"/>	Site Plan
<input type="checkbox"/>	Color Pallet for Building
<input type="checkbox"/>	Resolution No. 020P-009

**CITY OF COALINGA
CONDITIONAL USE PERMIT APPLICATION**

CDA 18-02 6/18/20
Application Number Date

APPLICANT INFORMATION:

Applicant/Property Owner: Urbgreen Co.
Mailing Address: 4200 park Blvd Ste. 506 Oakland CA 94606
Telephone Number: 510-684-5654 Assessor Parcel Number: 070-120-11S
Property Location: 9840 Cody Street, Coalinga, CA 93210
Legal Description (lot, block, Tracts, etc.) See attached Exhibit "A"

PROPERTY USE INFORMATION:

Current Zoning: Light Industrial / Agricultral
Existing Number of Lots: 1 Proposed Number of Lots: 1 Area of Parcel: 74,448 sq ft
Proposed Use: Commercial Cannabis Cultivation

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures). 10,000 sq ft new building - See Site Plans

(If additional space is required attach separate sheet of paper)


Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

Hours of operation: 24 hrs, 7 days a week, 15-20 employees, Light vehicle traffic, 34 stalls
of open parking stalls

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.



Signature of APPLICANT/AGENT

Vinny MaNguyen

Name of APPLICANT/AGENT (Please Print)

4200 Park Blvd Suite 506, Oakland CA 94602

Mailing Address

510-684-5654, vinny@manguyen.com

Telephone Number



Signature of OWNER

Denise MaNguyen

Name of OWNER (Please Print)

4200 Park Blvd Suite 506, Oakland CA 94602

Mailing Address

510-593-7367, denisemn@gmail.com

Telephone Number

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

CDA 18-02
Application Number

6/13/20
Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: Urbgreen Co.
Mailing Address: 4200 Park Blvd, Ste. 506, Oakland CA 94602
Telephone Number: 510-684-5654 Assessors Parcel Number: 070-120-11S
Property Location (Street Address): 9840 Cody Street, Coalinga, CA 93210
Property is located: West side of Route 33 Street, between South of Gale Ave Street and
Street

PROJECT INFORMATION:

Current Zoning: Light Industrial / Agricultural Proposed Zoning: No change
Existing Floor Plan: None - Vacant Lot Proposed Floor Area: 10,000 sq ft
Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.): Cannabis cultivation and processing facility; a metal building

Is project: ☒ new construction or ☐ remodeled.

Residential

Number of dwelling units Commercial Building Total of area (in square feet) _____
Total lot coverage of buildings or structures (in square feet) _____ Percentage of lot coverage _____ %
Number of off street parking spaces provided. Covered _____ Open _____
Total square feet of sign area _____ Total square feet devoted to recreation and open space _____ sq ft.
Give total percentage of lot devoted to recreation and open space _____ sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).
Total square feet of common recreation and open space area _____
Describe type and material to be used on exterior walls and doors _____

Commercial

Gross floor area or building when complete 10,000 sq ft.
Describe sign (free standing, affixed to wall etc.): Sign affixed to wall
Number of parking spaces provided 34 Number of customers expected per day 1-3 per day
Hours and days of operation 24 Hours
Describe any outside storage of equipment or supplies: All storage inside the building

IndustrialDescribe any outside storage of equipment or supplies: NoneMaximum number of employees in any daily shift: 15Number of delivery or shipping trucks per day: 3-5Number of delivery or shipping trucks per day when construction is complete: 5-7**Site Plan Requirements – Mapping/Drawings**

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.

Signature of Applicant


Vinny MaNguyen

Date

5/25/2010

Signature of Record Property Owner


Denise MaNguyen

Date

5/25/2010

CITY OF COALINGA
ENVIRONMENTAL REVIEW APPLICATION

CDA 18-02

Application Number

6/18/20

Date

APPLICANT INFORMATION:

Applicant: Urbgreen co.

Mailing Address: 4200 Park Blvd., Suite 506, Oakland, CA 94062

Telephone Number: 415-993-1689

Assessor Parcel Number: 070-120-11S

Property Owner's Name: Red Dragon Holdings, LLC

Property Owner's Address: 4200 Park Blvd., Suite 506, Oakland, CA 94062

Contact Person: Vinny Manguyen

PROPERTY USE INFORMATION:

Size of Parcel (Square Feet/Acres) 74,448 sq. ft.

Describe Existing Use of Property: Vacant Lot

Square Feet of Existing Building Area 0

Square Feet of Existing Paved Area 0

Current Zoning Light industrial/Agricultural

Proposed Zoning Same for Commerical Cannabis Operation

Describe in General Terms Existing Uses to the:

West North: Former Private Prison now converted into commercial cannabis operation

South: None Ag

East: None Ag

North West: West Hills Community College Former District Office

Are there any man-made or natural water channels on property? No

If there are, where are they located N/A

Number of existing trees on the site 0 Number of trees to be moved (Age & Type) 0

Residential

a. Number of Dwelling Units: _____ b. Unit Size(s) _____

c. Range of Sales Prices and/or Rents (projected): _____

d. Type of Household Size Expected: _____

Commercial

a. Orientation:

Neighborhood: Commercial and Vacant Lots

City or Regional: Coalinga

b. Square Footage of Sales Area: 10,000 sq ft

c. Range of Sales Prices and/or Rents (Projected): N/A

d. Type of Household Size Expected: Unknown

e. Number of Employees: Full Time 15 Part Time _____ Seasonal _____

f. Days and Hours of Operation 24 hours 7 days

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.


Signature of APPLICANT/AGENT

Vinny Manguyen

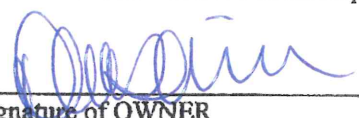
Name of APPLICANT/AGENT (Please Print)

4200 Park Blvd., Suite 506, Oakland, CA 94062

Mailing Address

510-684-5654. Email: vinny@maNguyen.com

Telephone Number


Signature of OWNER

Denise MaNguyen

Name of OWNER (Please Print)

4200 Park Blvd., Suite 506, Oakland, CA 94062

Mailing Address

510-593-7367; DeniseMN@gmail.com

Telephone Number

Recreational Cannabis Cultivation

BUSINESS PLANS



RDH

Coalinga, California



EXECUTIVE SUMMARY RED DRAGON HOLDINGS, LLC LOAN APPLICATION- CONSTRUCTION BRIDGE LOAN

- I. **Borrower: Denise MaNguyen.**
 - A. Credit Score- 704 (median score: TransUnion) - Appendix No. 17.
 - B. Red Dragon Managing Member - See Red Dragon Holdings, LLC ("RDH") Incorporation Documents. - Appendix No. 7.
 - C. 1003 Loan Application - See App. No. 1
 - I. **Construction Budget:** \$6.7 MM. See App. No. 30, 90 day use of funds and overall budget.
 - A. Site, Elevation and Floor Plans. See App. 11, 12 and 13. Plans to build 10,000 sq. ft. cultivation facility.
 - B. Projected Revenue from both Cultivation and Distribution Business - \$29 MM per year. See Business Plans attached.
 - C. Time Line: 6 to 9 months until commencement of operation after construction completion.
 - D. License Application Pending as new operators with City of Coalinga. See App. 27 and 28.
 - E. Previous owners received Marijuana cultivation permits and conditional use permits from the City of Coalinga. See App. 4 and 6.
- II. **Bridge Loan Amount Requested secured by the subject property and additional real estate owned by Borrowers:** \$1 MM.
- III. **Exit Plan:** Permanent Construction Loan to cover the entire construction costs. A tentative construction loan approval pending with Berma Capital. Berma has approved similar construction

loan for another cannabis cultivation project in Coalinga, CA for \$5.3 MM , See App contract.

IV. The bridge loan will be paid off when Berma loan funds.

V. Operating Principal - Vinny MaNguvei1.

A. Experienced and Seasoned Real Estate Professional - See Bio. Appendix No. 18.

VI. Subject Real Property Collateral

- A. Vacant Lot at 9840 Cody Street, Coalinga, CA 93210, APN 070-020-115.
- B. Purchased for \$450,000 in November, 2017. (Appendix No. 2, 3, 5 and 8)
- C. Value Appraisal when fully entitled: \$3 MM. (See Comparable Value Report, Appendix 9).
- D. Business Valuation by Blue Moon when fully stabilized: \$40 MM to \$50 MM (See Business Valuation, App. No. 10).

VII. Additional Collaterals Available - \$4 MM to \$5 MM in equity. See Rental Properties owned by 168 Southeast Investments, LLC.

- A. January 2018 Rental Income Schedule shows \$40,000 monthly rental income (Cash Flow to support mortgage payments). App. No. 29.
- B. Recent 3 months bank statements show \$800,000 in reserve and deposits in excess of \$40k per month. See App. 22, 23 and 24 for the bank statements and App. 24 and 25 showing past K-1's issued to Borrowers.
- C. 168 Southeast Investments, LLC - 50% owned by the Borrowers. See App. 21 for Operating Agreement.



I. INTRODUCTION

Red Dragon Holdings LLC. ("RDH") is a medical and recreational marijuana cultivator operating as a for-profit Limited Liability Company (LLC). We will offer a wide variety of cannabis products to our customers, who have legal identification indicating that they are officially able to purchase medical marijuana products from a fully-licensed California medical marijuana cultivator RDH will target the entire California market (northern, central and southern).

In addition to cannabis cultivation, ROH will engage in the cannabis distribution business as well.

Our team is committed to the highest standards of safety, professionalism, and integrity. We will apply the best effort to achieve productivity and quality as set forth in our commitment to produce the best possible cannabis products we can by using the most responsible methods available.

A.Vision Statement

To be the industry leader in cultivating and processing the highest quality cannabis products possible.

B.Mission Statement

Enhance the lives of medical patients through our products;
Produce highest-quality recreational cannabis products and establish top-tier brand; Provide alternative solutions to serious health concerns; Become an industry leader in California cannabis product cultivation; and, Strengthen and improve our communities through an unprecedented revenue source.

Proposed Location of Business:

The business site is a 1.7 acre lot in Coalinga, 9840 Cody Street, Coalinga, California. ROH purchased the lot in November, 2017 and owns it free and clear of any liens.

As the attached site plan shows, RDH will construct 10,000 sq. ft. cultivation facility.



II. Products

Red Dragon Holdings, LLC ("RDH ") will offer a "Happy" line of medicinal cannabis products for patients. This line will consist of 8 strains of varying profiles that will build brand loyalty and capture greater market share.

Brand Names and Production Lines:

1. **Happy Sour Diesel** - Sativa strain, great for pain relief and for helping patients suffering from depression
2. **Happy Silver Haze** - 50/50 hybrid, making it great for patients suffering from depression.
3. **Happy Space Queen** – Sativa dominant hybrid, leaves users happy and sociable. An excellent strain for patients suffering from anxiety and fatigue.
4. **Happy Pineapple Express** – 40% Indica/60% Sativa. Leaves patients feeling happy and euphoric. Perfect for patients suffering from depression.
5. **Happy Girl Scout Cookies** – 40% Sativa/60% Indica, perfect for patients suffering from pain and anxiety.
6. **Happy Apollo 13** – Predominantly Sativa hybrid, leaves users feeling energetic, euphoric, creative, and sociable, great for patients suffering from anxiety and depression.
7. **Happy Lemon Haze** – 70% Sativa / 30% Indica, a happy, euphoric, and relaxed experience perfect for those suffering from depression and anxiety.
8. **Happy Bubba Kush** – 100% Indica, great for patients suffering from stress and anxiety, pain, or insomnia.

10/1/2018 10:10:10 AM

III. Operational Plan- CULTIVATION

A. Overall Strategy

We will be utilizing cutting-edge of both Hydroponic grow systems and traditional soil-based system. Hydroponic and soil-based grow system will give our Master Grower total operational control over everything that happens to and with our plants. We will be able to control the total environment and all inputs delivered to the plants, including temperature, humidity, light wavelengths, light cycles, air movement, air exchange, and carbon dioxide levels. Specialized feed programs will be implemented so we can precisely control the amount and ratio of nutrients the plants ingest. These programs will be tailored to individual strains to maximize each strains' unique habits and potential.

All the aspects of the cultivation operation will be monitored 24 hours a day, 365 days a year. Our Master Grower and support staff will have the technology and software to allow them to view the entire operation remotely and make any changes necessary to ensure that the plants are always being allowed to maximize their growth cycles. We expect to have a maximum 5 harvests per year made possible with our state-of -the-art greenhouse, hydroponics system and combination with soil based enhanced with additional growing with CO2 generators.

The team has been working with hydroponics' supply companies, and soil grown organic science as growing marijuana cannabis customers have become interested in organically grown, especially patients using marijuana for medical purposes. Additionally, Current Culture H2O technologies and Control Systems to design the layout and provide the best environment for the plants in each stage of growth for both organic and hydroponically grown, so Current Culture H2O will provide the optimum design and take into consideration the room size; length, width and ceiling height; the lighting component; the number of lamps and wattage and whether they are vertically or horizontally mounted; the plant numbers, and the desired or required numbers of plants. Also with traditional soil based grow methods, our system will provide the best, highest yields available. Organically grown cannabis will take advantage of the organic nutrient sources to achieve a smoother and tastier final product.

Systems will feature comprehensive self-monitoring functionality to control components and communications pathways as well as extensive monitoring of controlled equipment and processes. In the event of emergencies, our flexible alarm annunciation options will ensure that problems are detected early, enabling the promptest responses possible not only by retained security services but also by local fire department and law enforcement personnel.

B. Cultivation Indoors (Grow Room)

We have designed the building to measure 10,000 square feet at full capacity. Our grow room will utilize a light deprivation system, minimizing light exposure, and allowing us to maximize the number of harvests produced each year. Also, we will be using supplemental lighting to maintain harvests in the winter months. We will employ air filters with a diameter of 0.3 micrometers (um) capable of removing 99.97% of particles to prevent potential contamination from pathogenic organisms. Our management team has been consulting with a grow facility design firm that has provided several options based on the available square footage of the grow room. The management team has already identified the best system that will allow us to install in the grow facility.

In addition to the larger grow room, we will also have several other grow areas for the seedlings and for the vegetative state of the plants. These rooms will be small and will use different lighting systems and will provide

the first step in the growing cycle to "feed" the larger grow room where the plants will mature and flower. Our products will be "Certified Organic' This label carries a great deal of weight in the American cannabis culture and will surely boost our SALES price by 10 to 20%. ALL-NATURAL ingredients used in the grow operation will provide a sense of security that we are growing a clean cannabis grown in soil without synthetic fertilizers.

C. Daily Operations

As we are growing hydroponically, our day-to-day activities will revolve around daily testing of our water, ensuring that we maintain a proper PH level for the water, and that the water contains the right combination of nutrients. In addition to water testing, our employees will also monitor the internal temperature of the grow room, making any necessary adjustments.

Next, both employees and managers will be tasked with reviewing and analyzing the data produced by our automated grow software, which will be complied using sensors placed on the plants themselves, and on strategic locations throughout the grow room.

To organize these day-to-day activities, we will use a custom variation of a Hazard Analysis Critical Control Point (HACCP), originally designed by NASA and used by food and medicine manufacturers. In short, our employees and managers will have a daily checklist of duties to address throughout the work day. Employees and Managers will be required to "check" off each point addressed on the list, either via inspection, or verification. In the event employee or manager cannot "check off" a duty, because of an issue, there will be a defined procedure to address and correct issues or imbalances and unfinished duties.

After completing the checklist, employees will present signed documents to deliver to the Manager for their verification and signature as to all of the daily task checks. Then the documents are stored (in both hard and electronic copies) and saved for record keeping. The Manager is also required to sign and save two copies of their completed HACCP, and this procedure is to be completed at the end of each business day.

These HACCP's will address the following areas on a daily basis (yet, this is only a general list, and can be changed to address future City, State, or Federal regulations):

- Water testing;
- Internal grow room temperatures;
 - Visual inspection of plants; Carbon Dioxide levels;
 - Facility Maintenance;
 - Fire prevention;
 - Sanitation Practices;
 - Electrical Systems;
 - Ventilation;
 - Trash Disposal and Waste; and,
 - Security.
 - Carbon Dioxide levels;
 - Facility Maintenance;
 - Fire prevention;
 - Sanitation Practices;
 - Electrical Systems;
 - Ventilation;
 - Trash Disposal and Waste; and,

- Security.

The point of daily HACCP's is not only to ensure the safety and integrity of the operations, but also to provide sufficient documentation for either a City or State audit, or a product recall.

D. Energy Use

Although we will utilize supplemental lighting, we will be primarily relying on the sun for lighting with a film roof building. And the climate of Coalinga, California is perfect for our plans to maximize the benefits of natural lighting from the sun. Since Coalinga, California enjoys nearly year-round sunshine, we can rely on the sun as a primary light source, while using supplemental lighting only when necessary. And this will result in substantial energy conservation and savings. Also, we will be employing cheap, but effective measures to keep costs of air conditioning down, such as using white cloth pots instead of dark cloth pots, to help keep the grow room temperature down.

E. Water Use and Conservation

One of the benefits of using a hydroponic and soil-drip system is the water savings. Generally, a hydroponic systems and drip systems, use up to two thirds (2/3) less water than traditional indoor, or outdoor grow, keeping our costs down and conserving water for the community and the environment. We plan to recycle our used water by deploying it to water our outdoor plants (non-cannabis) and palm trees, creating an aesthetically pleasing outdoor landscape that enriches the property and neighborhood. Finally, all dead plants will be used as mulch or compost for our outdoor plants and trees.

F. Employees and Managers

Both employees and managers will be comprehensively trained to ensure compliance with both local and state rules and regulations, employee sanitation and hygiene protocols, as well as emergency procedures.

But they will also undergo frequent training both on the job and in the classroom settings to receive continuing education. We want all our employees to understand the biological and medical properties of the cannabis plant and will provide the opportunities to send employees to medical cannabis seminars and conferences. We also want to develop our employees to allow them to grow within our company. That's why we will provide frequent training to enhance each employee's job-related skills, and management skills, by providing training programs focusing on manager effectiveness, leadership development, communication, and presentation skills, and mentoring and coaching programs.

Finally, we will train employees and managers on our emergency recall plan. Our plan will focus on the following areas:

1. Identifying factors which necessitate a product recall.
2. Adverse Event Reporting, ensuring the Cannabis Bureau is immediately notified of any potential contaminated or defective product.
3. Lot Batch Tracking; and
4. Comprehensive recall procedures, including the destruction of any contaminated or defective products, and a mechanism to contact all customers who may have had contact with the recalled product.

G. Enhanced Product Safety

By growing plants hydroponically and by soil-drip system, we will eliminate all normal threats to the plants including pests, diseases, viruses, microbes, heat, cold, drought, bad water, nutrients and humidity problems. The additional costs of implementing a Hydroponics Systems are offset by larger harvests each year, higher quality medicine and most importantly, enhanced product safety. Our employees will be exposed to no harmful pesticides, there will be little waste to dispose of, with the result being qualified patients receiving the highest quality medicinal marijuana produced in an environmentally friendly and sustainable manner.

Also, readily available hand washing stations will be strategically placed around the interior facility, along with hand sanitation mechanisms (gloves, sanitizers) to ensure that our plants are uncontaminated by human touch.

H. In-House Testing

We will also have an in-house testing lab for increased product safety and to ensure compliance with state regulations. Our testing lab will feature an ACQUITY H-Class UPLC analytical system with a Photo-diode Array Detector for potency testing. For terpene testing we will use a gas-chromatograph. And in the event pesticides are used, we will employ an LC/MS-MS system with an atmospheric pressure gas-chromatograph (APGC). Naturally all testing is done for our records and quality control, and we will still hire a distributor to take our products to a dually licensed testing lab for certification.

I. Record Keeping

Another component of our safety program is our record keeping. Quality control is dependent on keeping sufficient records of all activity, and we understand Coalinga California and the Medical Cannabis Bureau will conduct audits of our operation to ensure compliance. That's why we will have two record keeping systems, the first being the traditional hard copy record keeping, where we will file and save documents in storage. The other system will be electronic, where we will keep all data in a cloud-based storage software that can be accessed on multiple devices from different locations.

We will keep thorough records of the following areas (records will be separated into individual grow cycles (generally a three-month period):

Propagation records, including the type of growing medium used for each harvest cycle, and the type and amount of nutrients used for each grow cycle. We will also keep records of any fumigants used, and of all pruning technique incorporated during the grow cycle.

Planting records, including the types of strains planted, the date of planting, and if clones are employed the size and maturity of the clone. Also, the number of plants used in the flowering cycle, the size of the cultivation area, and the exact location of the plant in the cultivation area.

Pesticide records (if applicable), including the chemical name, brand name, manufacturer

name, amount applied, date applied, identification or location of plants product was applied, and name of applicator

Harvest records, including the identity (identifier number) of each plant harvested, the date of harvest, and the gross weight (after drying) of the harvest, the total weight of waste from the harvest, and the net weight (gross weight less waste) of the harvest

Processing records, including the identity (identity number) of each plant processed, sufficient information to trace the processed plant to the cultivation source, the date of processing, and the initial weight before processing, and the total weight of all cannabis after processing.

Commercial sale records, including the identity of the plants distributed, the total weight of the plants distributed, the date of distribution and the identity and contact information of the business receiving the distributed cannabis.

J. Track & Traceability

Transportation and distribution of products, testing, and quality control practices, will be guided by the MMRSA and State Laws. RDH is committed to "seed to sale tracking". That requires effectively tracking the bar codes or radio-signal tags affixed to the plants, as well as making sure the data can be exported to business software such as Excel and QuickBooks.

We intend to use market leaders such as MJ Freeway and BioTrackTHC as part of our compliance with the MEDICAL CANNABIS REGULATION AND SAFETY ACT ("MCRSA") and any existing or future governmental regulations. The programs from the two companies are designed to automate as much plant-monitoring as possible, including fertilizer and PH level. A plant will receive a bar code or radio tag, which identifies, logs and records the stems, leaves, crumbs, and flower resin trimmed off before the flowers are bagged. Each package will then get its own tag or bar code associated with the parent plant. Every bag can be traced either to the person who bought it -in the case of medical users or the seed it grew from, and both programs record all inventory changes, making theft easier to detect.

K. Compliance with State Laws

Pursuant to both the MCRSA and the Adult Use of Medical Marijuana Act of 2016 (AUMA), we will strictly adhere to distribution model contained in both pieces of legislation. Thus, we will only contract locally licensed retailers, manufacturers, distributors, and testing labs. And once the state licensing is obtained, we will only contract with cannabis business that are dually licensed.

As we possess the transportation license issued by Coalinga, we can transport our products as well as other cultivator's products throughout the State of California to an authorized testing lab, and upon certification.

After we can transport our medicine to either a manufacturer or retailer, we would like to contract with Coaling California licensed manufacturer and in the future licensed retailers.



IV. Safety and Security Plan

A third-party Security Companies will manage safety and Security concerns. Our system will have visual monitoring and on-call security service along with the Coaling police department that meets the Cannabis industry's most stringent regulatory requirements. The desired system will have state of the art hardware and software, and operated only by highly trained intervention specialists, all connected to the local security and police.

Our facility will have installed wired IP based cameras that will record for a minimum of 90 days and record at 30 fps or greater. System will have battery backup and generator to power camera system and cameras during outages for a minimum 12 hours record time. All recording will be archived. Red Dragon Holdings will work closely with the local police and ensure security compliance within the requirements set forth by the Police Chief.

We will adhere to all security requirements set forth by the Coalinga California City Police Department, Medical Marijuana Bureau Ordinance and the State of California. RDH will meet or exceed all regulations or ordinances pertaining to the requirements concerning the perimeter fencing, lighting, locks, windows, security cameras, security personnel, alarms, transportation, remote monitoring, electronic tract and trace, and record keeping. The grow rooms/warehouses will have biometric scanners to restrict entry by personnel and visitors through unmistakable identifying access systems. System will have a readily available recorded log showing all employees, last whereabouts as to entry and exits not only from site, also from highest level secured rooms.

Our design will include Alarm System Details, which will provide perimeter, fire, and panic details. Full exterior perimeter and interior security camera layout including fields of view and equipment specifications, with floor plan will be available. * See appendix for colored facility camera drawings.

Included in this plan are the fencing and the perimeter layout so that they meet construction requirements preventing unauthorized entries. Full fire remote monitoring for fire notification will also be installed. Security Team Plan, protocols, security guards that must be licensed by the State of California and equipment. Interior and exterior lighting plan that show conceptual type of light fixtures including base, location, fixture height, source, and surface illumination.

Lighting plans shall demonstrate that the lighting fixtures can provide adequate illumination for security, including foot candles, maintained across the surface of the parking area. This will also have an Access Control Plan and equipment for entry.

All recordings will be stored for 90 days. All systems will have back-up battery system and this development will have back-up power generation to provide additional security of recording. Backup systems will have

The capacity for over 24 hours. This will include all entry, and exit areas, where personnel movements can be recorded continuously having a 360-degree field of view. All other areas including operational areas like, trim, storage, office, entry will carry the same secure recording capacity.

Steel fencing will achieve additional security, with over 8 feet in height, surrounding the entire development, with a decorative overtone all around for a more pleasant business design and look. Sally Port Entry will have an electric gate with cameras picturing front and back of any autos or trucks. All arrivals and departures of all vehicles will alert the personnel through the call boxes to notify employees, or security. All will be recorded on systems.

All employees and personnel will use both an access card and biometric system for identification in and out of this facility. All employees must pass through this access point, controlled, recorded, and monitored. Employees must pass through controlled gate access to enter main business property. All emergency vehicles will have total access to codes for entry, fire, security, and police entry. Employee parking will be separate and not adjacent to building.

Secured limited access areas, including cultivation area and warehouse will be accessed by a biometric thumbprint system that records all entry access to this area. Total controlled secured areas in this facility will be recorded and kept in storage for 90 days or as required by the local law enforcement. Recorded security log will include employee name, ID number, date and time, and all areas patrolled/monitored daily.

Alarm systems and registered personnel names, address, telephone numbers, cell numbers, make and model color of all cars used by management, employees, in responding to any alarm calls at this facility can notify Coalinga California police Department for dispatch or to relay vital information responding officers on alarms. All systems will carry a backup supply power and hooked to a backup electrical generation equipment by design.

Security on Site will monitor 24 hours per day, 365 days a year, and will patrol facility, while product is on site. An armed guard will be present at the following locations:

Main gate/ main building access (outside)

Inside secondary security door

Any door that is not 24/7 alarmed as a fire-escape type door and where employees may leave the building without activating an alarm.

Security Company and personnel will have DOJ and FBI clearances and training record of this training, firearm certificates, State guard card, and first aid/CPR certification. Security Company will provide all scheduling of personnel, with management review. Any issues will be reported to the Coalinga California Police, and or fire department.

Alarm system will be registered with the Coalinga California Police Department and Red Dragon Holdings will provide all available responsible party names, addresses, phone numbers, cell phone numbers, make, model, and color of vehicles they will be driving when responding to alarm calls at the site.



The proposed location of our facility is in Coalinga, California. The lot is adjacent to the private prison purchased by Darin Marley, the son of famed Reggae singer, Bob Marley for the marijuana production operation. The lot has all the utility connections available including sufficient amount of electricity needed for the operation. This ideal location means that our State of the Art Industrial metal enclosed warehouse/greenhouse will complement and enhance the neighborhood. No cultivation shall be visible from outside of this facility. This facility will comply with local building codes, and land conversion, grading, electricity, water usage, riparian habitat protection, agricultural discharges.

Odor control will be managed with an array of Exhaust Filters, Ultra-violet light technology and negative air pressure system that prevents and eliminates internal odors from being emitted externally.

We anticipate a rise in the property values for the surrounding properties due to capital improvements made on our site. Our Site-Plan details the improvements that will be made to the proposed site, including the exterior landscaping and structural elements.

We believe in maximizing energy efficiency while minimizing our environmental impact and being a leader in "Green" cultivation. All-natural fertilizers and growth chemicals will be bio-safe for use in our operation and will ensure the health and safety of our employees, customers and the surrounding community. Our waste water will be repurposed to feed landscaping elements, including palm trees and other similar vegetation. We will also dispose of our deceased plants and failed clones in a commercial compost er, for use in on-site landscaping. This serves a dual purpose of minimizing waste and adding a lush and vibrant landscape for public viewing.



VI. Site Plan Details:

- » 1.7 Acre
- » Fully Insured State of the Art Metal Warehouse/Greenhouse
- » Zoning MI
- » All Utilities available on premises
- » Landscaping
- » Floor Plan
- » Secured Perimeter Fencing - Slats and Razor Wire
- » Lights and Cameras
- » Controlled Access Gates for entry and exit
- » Proper Signage
- » Parking and Emergency Vehicle Access



VII. Schedule and Timeline

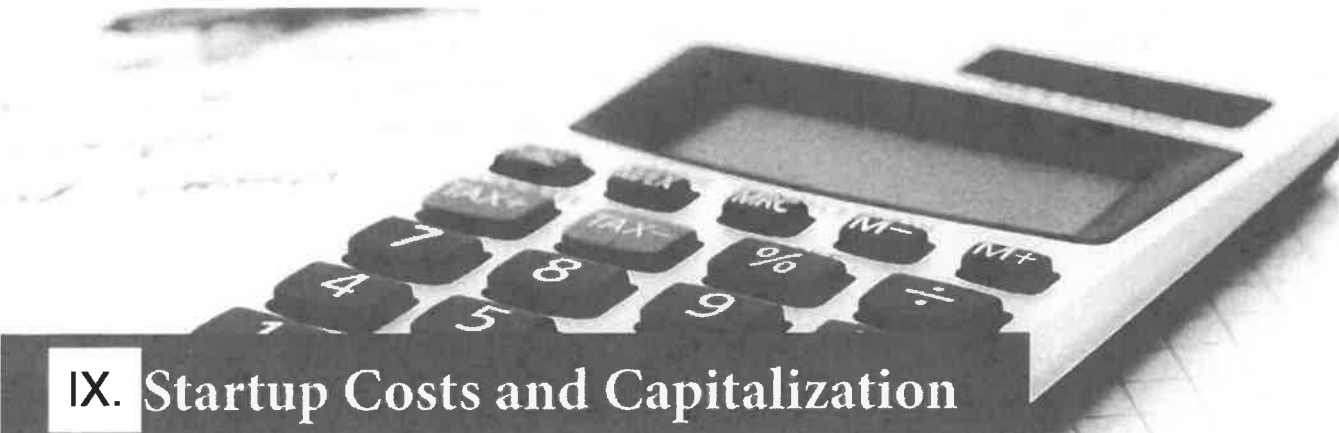
- Coalinga City Licenses (Cultivation) and Conditional Use Permit – 2 months
- Grading and Building Permit – 1 month
- Actual Construction – 4 months
- Preparation for Operation – 1 month



VIII. Community Benefits

ROH is committed to the growth and development of Coalinga's economy, people, and its unique Central Valley culture. This local enterprise is a collaborative effort to contribute to a vibrant local economy.

ROH will implement an employee handbook that emphasizes hiring from within the local community whenever possible. Employees will be given a living wage at a minimum of 100% over the State minimum wage. We believe local jobs for the local economy is the preferred model to grow our business and connect with the community at large.



IX. Startup Costs and Capitalization

-
- A. CONSTRUCTION BUDGET - \$6.1 MM
 - B. EQUIPMENTS - \$570,000
 - C. INITIAL OPERATION CAPITAL BEFORE SELF-GENERATION -\$1 MM.
 - D. TOTAL BUDGET- \$7.67 MM.
-



X. Organization and Management

A. Principals

0



Vinny Manguyen:

Chief Executive Officer and
President MICHAEL JAMES
Real Estate

1211 Embarcadero, Ste 202, Oakland, CA 94606

Vinny MaNguyen was elected chief executive officer of MICHAEL JAMES Real Estate and a member of the Board of Directors in October 2009. He became president in November 2011.

Previously he served as chief operating officer for CENTURY21 LandMark Excellence from November 2003 to October 2009. In that role, Vinny was responsible for the operations of the company's four main business groups: Community partnership, Consumer Service, Business Development, and Coaching.

A 10-year company veteran, Vinny had led the company's real estate business beginning in 2009- overseeing approximately 4 different departments, including Internet/Print Marketing, Commercial/Residential Real Estate, Community Service and Real Estate Investments.

Prior to that, he served as CENTURY21 LandMark Excellence's chief financial officer, responsible for real estate management functions including controllers, financial reporting, asset liability management, treasury, investor relations, and investment portfolios. From September 2003 to February 2009, Vinny served as chief administrative officer and managed Office Communications, Local Social Responsibility, Local Marketing, Customer Relations, and Human Resources.

From 1991 to 2003, Vinny held various leadership roles but not limited to banking and sales, including Shell Oil Gas Owner, Chevron Oil Owner, and Restaurant Services. Prior to joining CENTURY21 LandMark Excellence Vinny earned his B.A. in economics and history from San Francisco State University.

He is also senior management and member of the advisory committee of 5 California Corporation including Red Dragon Holding, LLC., Golden Green Gecko, LLC., 168 South East Investment, LLC., Five Sisters Group LLC., and Angkor Reach Holdings LLC. in flipping real estate, real estate investments and real estate development. Vinny is known for his many talents in business, communication, and public relation.

Additional Staffing:

The following positions will be filled upon necessity and seasonal requirements:

Master Grower

Sales Manager

Trimmers/Harvesters

Security Guards,

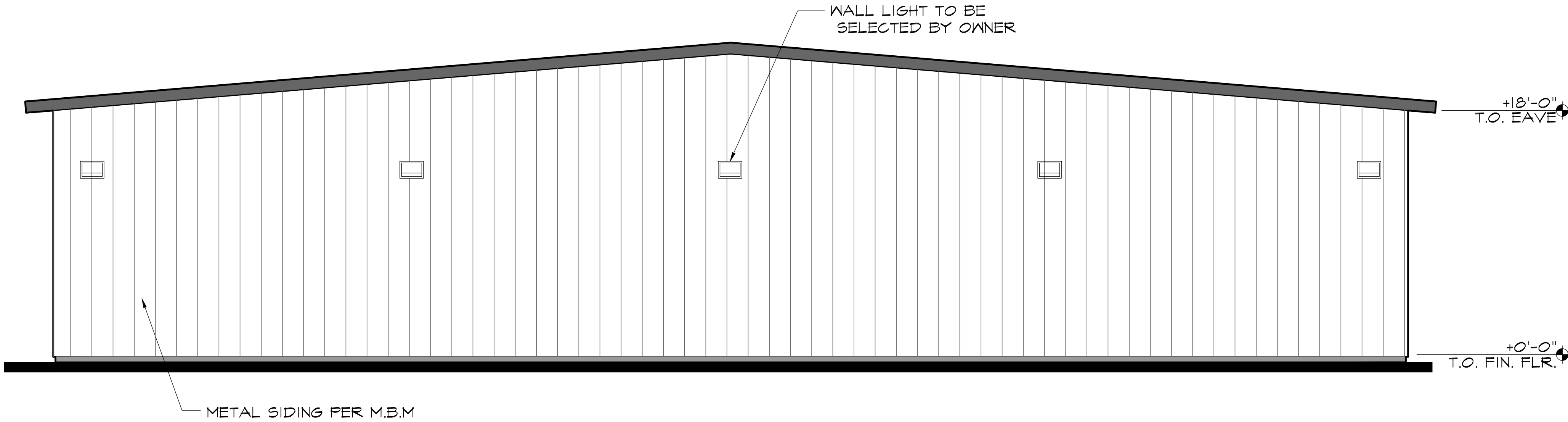
Office Manager

Accountant

General Labor (Maintenance, Packaging)

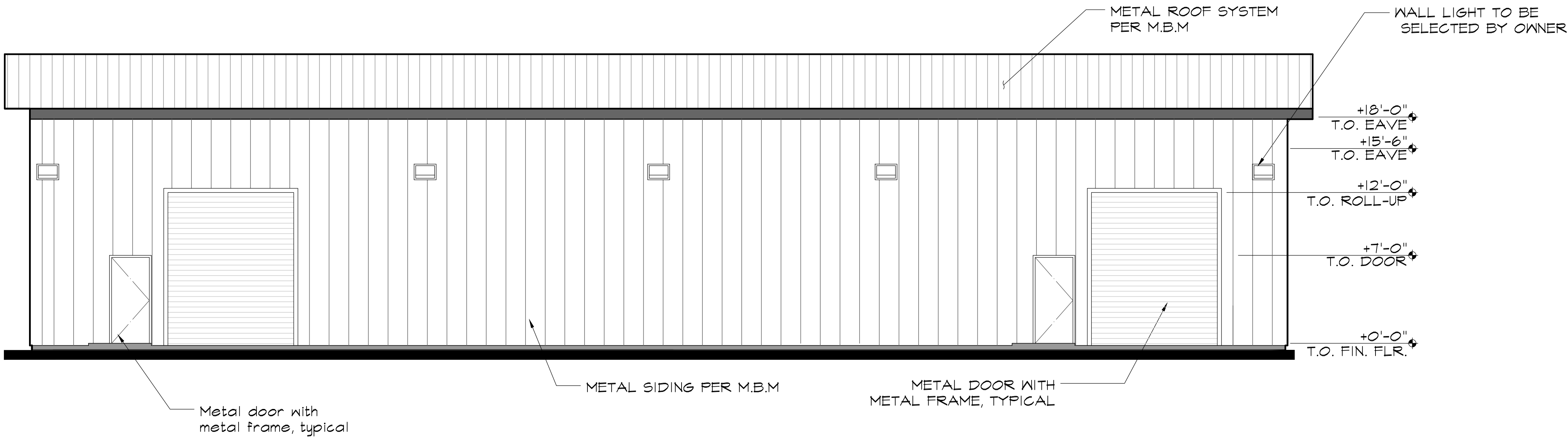
Human Resources and Benefits Manager

Delivery Operator and Personnel



WESTT ELEVATION

1/8"=1'-0"



SOUTH ELEVATION

1/8"=1'-0"

REVISIONS		
REV	DESCRIPTION	DATE

CR CONSULTING GROUP

DESIGN AND PLANNING

RESIDENTIAL, COMMERCIAL, INDUSTRIAL

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2615 TUOLUMNE ST.,
FRESNO, CA. 93721
PH.#559-286-4605
FAX.#559-412-2044
email: ccsa@crconsultinggroup.net

PROJECT TITLE

NEW METAL BUILDING
MANUFACTURING
FOR: RED DRAGON HOLDING LLC.
9840 CODY STREET
COALINGA, CA

REGISTERED PROFESSIONAL ENGINEER
CHARLES E. GARABEDIAN
No. C57975
CIVIL
Renewal Date:
6/30/18
STATE OF CALIFORNIA

PROJECT NUMBER: 17-052

DRAWING TITLE

EXTERIOR
ELEVATIONS

CUP PACKAGE

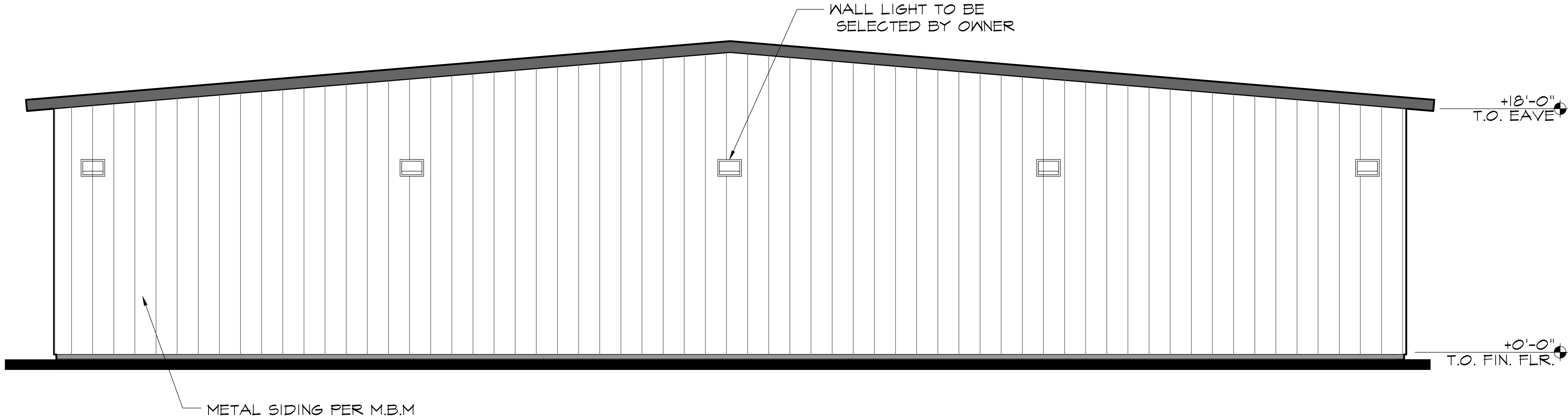
SCALE:
As noted

PLOT DATE:
11/28/17

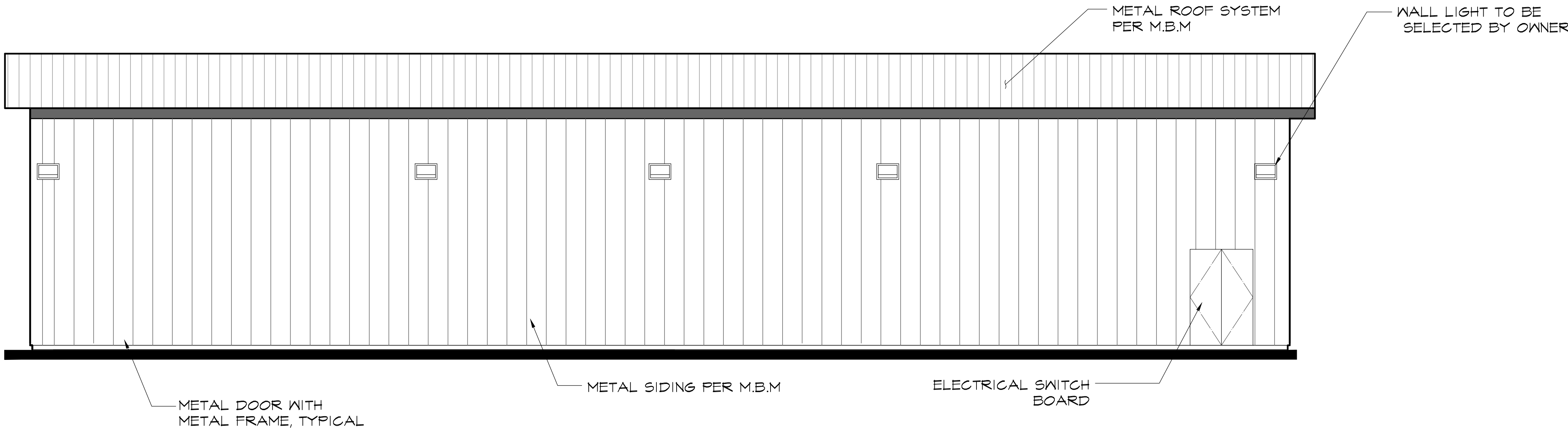
PROJECT
MANAGER:
CRR

SHEET NO.

A3.1



EAST ELEVATION
1/8"=1'-0"



NORTH ELEVATION
1/8"=1'-0"

REVISIONS

REV	DESCRIPTION	DATE

CR CONSULTING GROUP

DESIGN AND PLANNING

RESIDENTIAL, COMMERCIAL, INDUSTRIAL

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NEW METAL BUILDING
MANUFACTURING
FOR: RED DRAGON HOLDING LLC.
9840 CODY STREET
COALINGA, CA

REGISTERED PROFESSIONAL ENGINEER
CHARLES E. GARABEDIAN
No. C57975
CIVIL
Renewal Date:
6/30/18
STATE OF CALIFORNIA

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DRAWING TITLE

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ELEVATIONS

CUP PACKAGE

SCALE:
As noted

PLOT DATE:
11/28/17

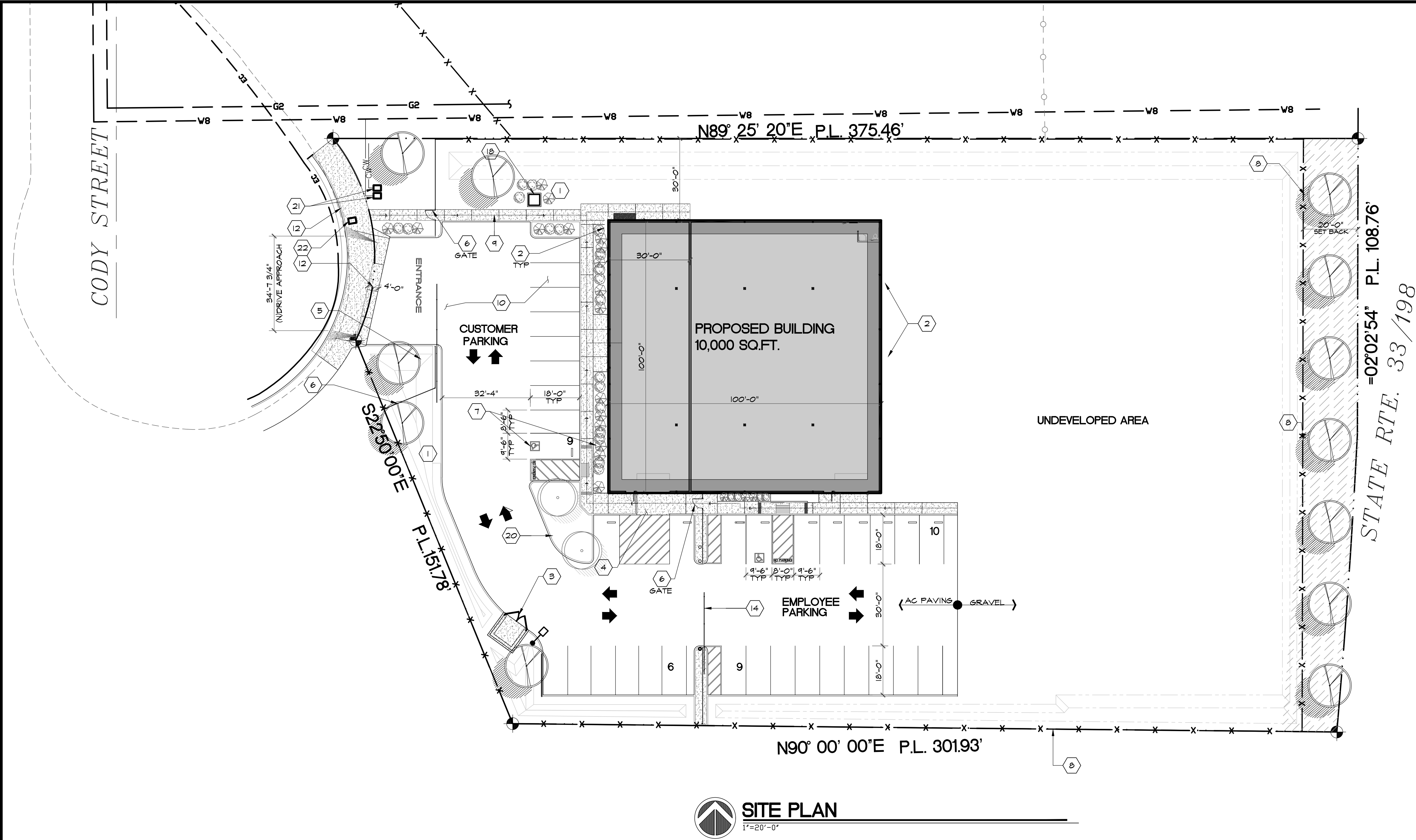
PROJECT
MANAGER:
CRR

SHEET NO.

A3.2

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SITE PLAN
1"=20'-0"

Project Location

APN: 070-120-011



VICINITY MAP

1. Construct parking lot in accordance with the City of Coalinga Parking Manual and the City of Coalinga Public Works Standards.
2. All construction work on this project is subject to interruption of the road system becomes impossible for Fire Apparatus due to rain or other obstacles.
3. Two (2) means of ingress/egress must be maintained during all phases of construction.
4. Provide warning signs pertaining to parking in Fire Lane in accordance with Fire Department Standards.
5. Provide "Hours of Operation" signs at all gate locations.
6. Deed(s) of easement(s) for required dedication(s) shall be prepared by the owner/developer's engineer and submitted to the City with verification of ownership PRIOR TO ISSUANCE OF BUILDING PERMITS.
7. Repair all damaged and/or off-grade concrete street improvements as determined by the construction management, also all existing sidewalks in excess of 2% max. cross slope must be brought into compliance prior to occupancy.
8. 2 Working days before commencing excavation operation within the street right-of-way and/or utility easements, all existing underground facilities shall have been located by Underground Services Aerial (USA), Call 1-800-642-2444.
9. Not Used.
10. Not Used.
11. Not Used.
12. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the state of California.
13. Construct concrete sidewalks, curbs, gutters and driveway approaches to the public works standards specifications.
14. A backflow prevention device may be required to be installed on the water service to protect the public water system. A plumbing permit is required to install the device. Contact the Department of Public Utilities, Water Division for determination of size, type, acceptable make/model and location. Back flow prevention devices shall be installed at the developer's expense by a qualified journeyman plumber who has been certified as competent for such installation by the Water Systems Manager; backflow devices must be tested and accepted by the Water Division Prior to granting building final, the developers responsible to contact the Water Division a minimum of 5 day prior to requesting final building inspection.
15. All site grading shall comply with the 2018 California Building Code.
16. The ground immediately adjacent to all foundations shall be sloped away from the building at a slope of not less than 2% for a minimum of 10 feet measured perpendicular to the face of the wall. If physical obstructions or lot lines prohibit 10 feet of horizontal distance from the foundation, then a swale that runs parallel to the foundation may used and will be required to be a minimum slope of 20% within 10 feet of the building foundation. All other grading outside of the building envelope is required to be a minimum of 0.5%.
17. No surface drainage shall be permitted to drain onto adjacent properties, except if a covenant agreement for cross drainage applies.

Site Plan Notes

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, Zoning Ordinance, and all Public Works Standards and Specifications. The Development Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or addition or alterations to the construction plan not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revision.
2. No uses of landbuildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.
3. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as may otherwise be approved by the Development Department.
4. Landscaping must be in place before issuance of the certificate of occupancy.
5. Prior to final inspection, a written certification signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.
6. No structures of any kind may be installed or maintained within the required landscaped areas. No exposed utility boxes, transformers, meters, piping (except the backflow prevention device), etc., are allowed to be located in the landscape areas at setbacks or on the street frontages of buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.
7. Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit. Should additional signs be required, the applicant must submit for a Sign Review Permit. Applications and requirements for submittal are available at the Development Services Division's Public Front counter.
8. All handicapped stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Fresno Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles.
9. All handicapped parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from handicapped parking stalls and ramps.
10. Lighting, where provided to illuminate parking areas or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works.
11. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.
12. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone 916-653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information all list center (Phone 805-644-2284) shall be contacted to obtain a referral list of recognized archaeologists. An Archaeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.
13. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.
14. The RP device shall be tested and approved by a certified ANWA or ABFA tester or agency within five days of installation. The results shall be delivered, mailed or faxed to the City of Coalinga Public Works Division backflow program coordinator.

Site Plan Review Notes

PROJECT INFO: RED DRAGON WAREHOUSE:
9840 CODY STREET
Coalinga Ca.
APN # 0070-120-011

PROJECT OWNER: VINNY MANGUYEN (RED DRAGON HOLDING LLC)
4200 PARK BLVD #506, / OAKLAND, CA.
Phone:(415)993-1689

PROJECT GENERAL CONTRACTOR: OWNER BUILD
4200 PARK BLVD./ OAKLAND CA.
Phone:(415)993-1689
CONTACT PERSON: VINNY MANGUYEN

PROJECT ZONING: EXISTING M-3 TO REMAIN

PROJECT INFORMATION

SITE CALCULATIONS

Total Site Area:	1.71 Acres = 74,488 SF.
Landscape (DA)	0.05 Acres = 2,400 Sq. Ft.
AC PAVING (DA)	0.34 Acres = 15,200 Sq. Ft.
Total Dedicated	4,974/38,276= 12.9% (TOTAL SITE)
Building/Land	NEW BUILDING -10,00/74,488 = 13.4%

	PARKING	PARKING
PARKING STALLS REQUIRED	DB -----3	CB -----29
DISTRIBUTION BUILDING	4 Stalls	
CULTIVATION BUILDING	29 Stalls	
TOTAL PROVIDED	34 STALLS	

STALL TYPE	QUANTITY
Standard - 18'-0" x 9'-0"	32
(C) Compact - 15'-0" x 8'-0"	-
Handicap - 18'-0" x 9'-0"	2
Total	34

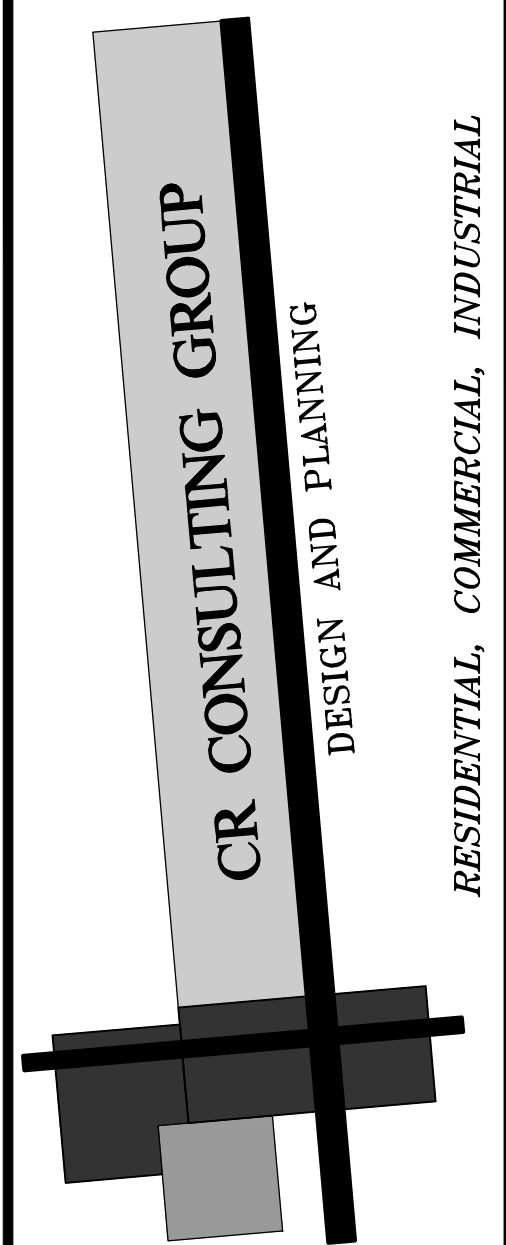
PARKING SUMMARY

SHELL BUILDING

SITE PLAN KEYNOTES

1. LANDSCAPE PER CITY OF COALINGA STANDARDS
2. WALL PACK LIGHTING TO BE SELECTED BY OWNER
3. TRASH ENCLOSURE PER CITY OF COALINGA STANDARDS REFER TO
4. CONCRETE APRON
5. UNAUTHORIZED VEHICLES SIGNAGE REFER TO DETAIL I/A1.2
6. WROUGHT IRON FENCE AND 36" GATE PROVIDED WITH A KEY CARD ENTER.
7. ACCESSIBLE PARKING, RAMP & SIGNAGE PER CITY OF COALINGA
8. 6' TALL OR LESS CHAIN LINK FENCE WITH PRIVACY SLATS - PER CITY OF COALINGA STANDARDS
9. PEDESTRIAN PATH OF TRAVEL
10. ASPHALT PAVING PER CIVIL DESIGN
11. PROPOSED 4' MINIMUM WIDE CONC. PEDESTRIAN EASEMENT BEHIND (N) DRIVE APPROACHES PER CITY OF COALINGA STANDARDS
12. PROPOSED CURB/GUTTER AND 10' FOOT COMMERCIAL SIDEWALK PATTERN PER PUBLIC WORKS STANDARDS
13. NOTE IN USE
14. MOTORIZED GATE (WROUGHT IRON)
15. 15'X20' LEAN-TO CANOPY
16. 3'-0" MIN MANUAL GATE
17. NOT USED
18. PROPOSED ELECTRICAL TRANSFORMER LOCATION
19. NOT USED
20. PROPOSED FIRE HYDRANT PER CITY OF COALINGA FIRE DEPARTMENT STANDARDS
21. CITY WATER METER LOCATION- TYPICAL OF (2) A. DOMESTIC WATER AND LANDSCAPE. BOTH PROVIDED WITH BF DEVICE
22. MAIL BOX LOCATION

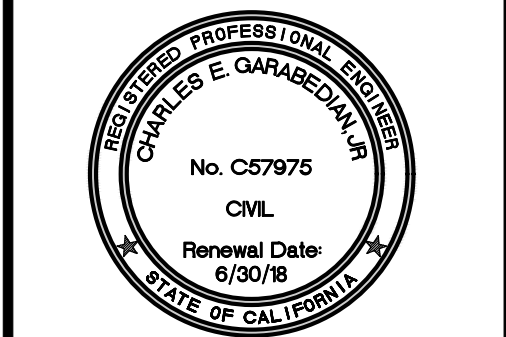
REVISIONS		
REV	DESCRIPTION	DATE



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FRESNO, CA. 93721
PH.#559-286-4605
FAX.#559-412-2044
email: ccsa@crconsultinggroup.net

PROJECT TITLE

NEW METAL BUILDING
MANUFACTURING
FOR: RED DRAGON HOLDING LLC.
9840 CODY STREET
COALINGA, CA



PROJECT NUMBER: 17-052
DRAWING TITLE

SITE PLAN

CUP PACKAGE

SCALE: As noted	SHEET NO.
PLOT DATE: 11/28/17	A1.1
PROJECT MANAGER: CRR	



BEHR: Dark Ash 770F-5

Ash Gray + Charcoal Gray

This agricultural building shows how even Charcoal Gray gutters and downs can compliment the overall color scheme.

AGRICULTURAL BUILDINGS

Behr Charcoal Gray C40-63 / #61696e Hex
Color Code

RESOLUTION 020P-009

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A COMBINED DEVELOPMENT APPLICATION NO. 18-02 FOR THE DEVELOPMENT OF A NEW INDUSTRIAL BUILDING TO ACCOMMODATE A COMMERCIAL CANNABIS CULTIVATION LOCATED ON 1.7 ACRES AT 9840 CODY STREET

WHEREAS, the City of Coalinga Community Development Department received a Combined Development Application for a Conditional Use Permit, Site Plan Review and Environmental Review for the development of a new industrial building on 1.7 acres at 9840 Cody Street (APN: 070-120-11S) to accommodate commercial cannabis indoor cultivation activities; and,

WHEREAS, the subject project requires approval of a site plan review, conditional use permit and environmental review in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on June 18, 2020; and

WHEREAS, the Planning Commission has determined that this project is exempt from further environmental review under CEQA Guidelines §15332 as a Class 32 exemption (infill development), and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on September 8, 2020; and

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

General Plan Consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood Compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and

Asset for the Neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
 - Facilities and improvements;
 - Vehicular ingress, egress and internal circulation;
 - Setbacks;
 - Height of buildings;
 - Location of services;
 - Fences and/or walls;
 - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;
- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the Combined Development Application (No. 18-02) subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 8th Day of September 2020.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman/Vice Chairman

ATTEST:

City Clerk/Deputy City Clerk

Exhibit “A”
CONDITIONS OF APPROVAL
COMBINED DEVELOPMENT, APPLICATION NO. 18-02

Administrative

- COA-1. The approved site plan shall become void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan.
- COA-2. Approval of the site plan may be extended for an additional period or periods of one (1) year upon a written application to the Commission before the expiration of the first approval.
- COA-3. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-4. Any minor alternations to the site plan shall be reviewed and approved by the Community Development Director, unless under his/her discretion warrants review and approval by the Commission.
- COA-5. The Developer is responsible for paying all applicable development impact fees as well all regional fees related to the project.
- COA-6. A final site plan shall be submitted to the Community Development Department to ensure that all conditions of approval have been incorporated.
- COA-7. *Actions voiding approval.* If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA-8. *Periodic review or monitoring of conditions.* All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA-9. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers,

or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

- COA-10. *State and Local Cannabis Laws and Regulations:* The applicant shall, at all times, remain in compliance with all State and Local laws and regulations, as amended from time to time. Failure to comply with any and all laws and regulations related to Cannabis operations shall be subject to possible revocation of their local permit and notice to the State of California of non-compliance with local authorization.

Public Works/Engineering

- COA-11. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.
- COA-12. The applicant shall provide smooth AC pavement transitions from new concrete driveway to existing Cody Street asphalt pavement.
- COA-13. The applicant shall furnish and install off-site Curb & Gutter, Sidewalk, Driveway Approach and Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the existing northerly dirt swales to continue through the new curb & gutter and exit onto the existing dirt swale to the south.
- COA-14. The applicant shall comply with all 2016 California Building Code (CBC) Chapter 11B ADA accessibility guidelines.
- COA-15. The applicant shall comply with all of the requirements of the Building Official.
- COA-16. The applicant shall obtain approval from the Public Works Department for the location of the trash enclosure for solid waste disposal and pick up. The trash enclosure shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.
- COA-17. The applicant shall construct a 6-foot-high Wrought Iron fence along the existing public utility easement line running along the rear property line of the project development.

- COA-18. Public Sewer Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a sewer lateral to the project site.
- COA-19. Public Water Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a water service to the project site.
- COA-20. Public Natural Gas Facilities exist in Cody Street and are available to serve this development. The applicant shall extend natural gas service to the project site.
- COA-21. Mailboxes shall be located outside of secured areas for access by postal workers. Obtain final approval by Postmaster prior to installation.
- COA-22. All fire hydrant locations shall be reviewed and approved by the Fire Chief.
- COA-23. The applicant shall furnish and install new water service, irrigation controller and backflow prevention device for all irrigated landscape areas of the project frontage. Utilities and public infrastructure should be undergrounded, or screened with trees, landscaping, or public art.
- COA-24. Applicants shall obtain all necessary stormwater permits from the California Regional Water Quality Control Board, Central Valley Region.
- COA-25. A storm water basin shall be located on the unimproved land onsite and shall be shown on the final site plan, engineered and fenced.
- COA-26. The applicant shall provide a compacted all-weather surface (gravel, aggregate base rock) for the area south of the southerly parking lot. The compacted all weather surface shall provide for adequate turning movements for fire trucks and solid waste disposal trucks.
- COA-27. The property lies within zone "A" special flood hazard areas inundated by 100 year storm. The applicant shall comply with all federal, state and city regulations (Section 9-8.501) such as construction materials and methods, grading and excavation and other applications which control development in flood prone areas.

Planning

- COA-28. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.

- COA-29. Buildings shall provide adequate architectural articulation and detail to avoid a bulky and "box-like" appearance. The building façade at ground floor street frontage level shall be articulated with measures such as, indentation in plane, change of materials in a complimentary manner, sensitive composition and juxtaposition of openings and solid wall and/or building frame, and projecting elements, such as awnings or marquees, to provide shade and shelter.
- COA-30. An occupancy permit for the existing structure(s) shown on the approved site plan shall not be issued until all proposed buildings, structures and other stated improvements are completed, or the Community Development Director authorizes its issuance upon making a finding that all on-site and off-site conditions relating to the building, structure or use have been or will be met.
- COA-31. *Screening of parking areas.* Any parking area located between a building and right-of-way, or within fifty (50) feet of and visible from a right-of-way, must be screened by a wall or berm at least two and one-half (2.5) feet high with a (3.5) foot wrought iron fencing above the wall/berm. The fence shall be placed along the 10-foot Public Utility Easement line. A screening wall meeting this requirement shall be composed of brick, stone, stucco, or other quality durable material approved by the Community Development Director, and shall include a decorative cap or top finish as well as edge detail at wall ends. Plain concrete blocks are not allowed as a screening wall material unless capped and finished with stucco or other material approved by the Community Development Director.
- COA-32. *Setback and screening from highways.* Any site in a Manufacturing/Business district that is fully or partially located within 200 feet of a state highway shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. At least two (2) fifteen (15) gallon trees shall be provided for every twenty-five (25) feet of site frontage toward the highway.
- COA-33. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- a. Weekdays from 7:00 a.m. to 6:00 p.m.;
 - b. Saturday from 8:00 a.m. to 5:00 p.m.;
 - c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager
- COA-34. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Federal and State regulations. The applicant shall contract with the City of Coalinga's Franchised Solid Waste Hauler for all

cannabis disposal needs in accordance with State and Local Laws. If there are services that the City's Franchised Solid Waste Hauler cannot provide, it shall be the responsibility of the owner/applicant to secure said services as approved by the applicable State agency.

- COA-35. A landscaping plan shall be submitted to the Community Development Department for review and approval. *Water efficient landscaping.* The model Water Efficient Landscaping Ordinance, as published by the California Department of Water Resources, pursuant to California Water Conservation in Landscaping Act (Government Code § 65591, et seq.), was adopted in full, by reference, and effective in the City of Coalinga commencing on January 1, 2010. A copy of the Water Efficient Landscaping Ordinance is retained on file in the Office of the City Manager, the Community Development Department, and the Office of the Coalinga City Clerk at all times. Landscaping plans must be consistent with the adopted Water Efficient Landscaping Ordinance.
- COA-36. *Shade trees.* A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City.
- COA-37. All equipment located on roofs and on-site shall be screened from view as approved by the Community Development Director.
- COA-38. The 3-foot pedestrian gate shall be electronically accessed with the appropriate security access protocols. This shall not be accessible by the general public.
- COA-39. The conversion of the building shall be of solid wall construction to ensure that there is no issue with sight and smell from the facility. In accordance with CMC Section 9-5.128(d)(17) of the Commercial Marijuana Ordinance. Compliance with CMC Section 9-5.128(d)(17) will be verified at the time building plans are submitted and will be reviewed and approved by the Building Department and Police Chief for License conformity and security compliance. The Police Chief shall have full authority to ensure compliance with the intent of security measures and building measures for all structures.

Environmental

- COA-40. In the event that archaeological remains are encountered during grading, work shall be halted temporarily, and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.

Public Safety

- COA-41. The applicant shall comply with all the requirements of the Police Department and Fire Department and obtain all required local (Police, Fire, Finance), County, State, or Federal permits prior to the start of operations.
- COA-42. On-site lighting shall be provided so that the parking areas are illuminated at a level of 1.5 foot candles. A photometric plan (not a full study) shall be provided to ensure that 1.5 FC has been met. All of the regulations in section 9-4.206 of the Coalinga Planning and Zoning Code shall be met as it relates to lighting and illumination. The photometric plan shall be reviewed and approved by the Building Department prior to building permit issuance.
- COA-43. All fire hydrant locations shall be reviewed and approved by the Fire Chief.
- COA-44. All electric gates must be tied to the fire alarm system, and automatically open upon activation. All electric gates serving a building with a NFPA 72 Fire Alarm system, shall be wired so gates automatically open when the fire alarm activates. For all electric gates, provide lock box for fire department access. Approved model is Doorking Model 1400-080. You can find dealers on their website <http://doorking.com/accessories/lock-boxes>
- COA-45. The applicant shall provide a Knox Box for emergency vehicle access on new chain link rolling gates.



Staff Report- Chairman and Planning Commission

Subject: Planning Commission Adoption of Resolution No. 020P-010, Approving a Conditional Use Permit Application (20-03), Approving a Proposed Truck Terminal at 140 Truman Street

Meeting Date September 8, 2020

Project Location: 140 Truman Street, Coalinga, CA 93210

Applicant: Ruben Ayala, R. Ayala Trucking Co, PO Box 305, Coalinga, CA 93210

Owner: Ruben Ayala, 375 Hoover Street, Coalinga, CA 93210

Prepared By: Sean Brewer, Assistant City Manager

I. RECOMMENDATION:

The recommendation is for the Planning Commission to approve Resolution 020P-010 for an application for Conditional Use Permit (CUP NO. 20-03) based on the Findings and subject to the Conditions of Approval.

II. BACKGROUND:

On August 11, 2020 the began processing an application for a conditional use permit to permit a truck terminal at 140 Truman Street to periodically park up to 4 semi-trucks and 4 trailers.

Conditional Use Permit Application

In accordance with the land use table in the Planning and Zoning code, truck terminal facilities require the issuance of a conditional use permit reviewed and approved by the Planning Commission. This use classification requires special consideration to ensure that they can be designed, located, and operated in a manner that will not interfere with the use and enjoyment of surrounding properties. The process for review of Conditional Use Permit applications is designed to evaluate possible adverse impacts and to minimize them where possible through the imposition of specific conditions.

Truck Terminal Zoning Classification

A truck terminal zoning classification is defined as, “a facility used for the maintenance and short-term storage of trucks, or the loading and exchange of cargo.” The proposed use is consistent with this land use classification.

California Environmental Quality Act

This application constitutes a project in accordance with the California Quality Act, therefore staff has

prepared an environmental analysis as part of this land use application.

Comments

Once the application was deemed complete staff requested comments from the necessary City Departments. This proposal including conditions of approval reflect feedback from the necessary City Departments.

III. PROPOSAL AND ANALYSIS:

Project Proposal

The applicant is proposing to use the property as a truck terminal to periodically park and store semi-trucks and trailers. According to their application, they plan to store 3 semi-trucks and 4 trailers even though their site drawing showed 4 semi-trucks and 4 trailers. The site is large enough to accommodate an additional truck should it be desired in the future. The total length of the semi-trucks and trailers is 70' feet and can perform turning movements on site to accommodate the trucks and trailers. The applicant does not propose to conduct any repair or maintenance at this facility. This application review does not include maintenance on the semi-trucks therefore a separate modified CUP would be required to do so. This location will be used as their business office location and storage of the trucks only.

Project Location and Site Description

The proposed truck terminal is located at 140 Truman on a dedicated truck route in a commercially designated zoning area. The site is approximately 37,000 square feet. It has an existing structure on the parcel that was previously use for an office for a used car dealership. Attached to the office is an awning used for parking. The site is partially improved with asphalt and the remaining portion of the lot improved with compacted gravel where the semi-trucks will be parked. The property is surrounded by metal cyclone fencing where the east and west sides are slatted and the north and south open. As a condition of approval all boundaries of the property will be required to be slatted.

Truck ingress and egress are accessed off Truman using the existing 35-foot drive approach with electric rolling gate to avoid queuing on Truman as trucks enter the property. The applicant is requesting an extension of that drive approach to properly accommodate the trucks entering and exiting the property without causing damage to the sidewalk, curb, gutter, and driveway apron. A separate encroachment permit will need to be issued for the extension of the drive approach.

There is currently landscaping along the project frontage which satisfies the planning and zoning requirement for landscapes areas. However, any dead or diseased trees will need to be replaced per Public Works inspection.

Hours of Operation

The applicant has identified in their application that hours of operation will vary due to the nature of the business. Typical business hours for the office will be Monday through Friday from 5:00 am to 6:00 pm. Trucks will typically leave on a single day and not return until the end of the week at various hours so there will be limited in/out of trucks and trailers.

Surrounding Uses

Location	Use

South	Unoccupied Lot (Zoned Service Commercial)
North	Oil Field Contractor Yard (Zoned Service Commercial)
West	RV Storage (Dollar General) General Commercial
East	Planned Development (Medium Density Residential)

Public Comments

On August 27, 2020, public hearing notices for this project were posted and mailed to property owners located within 300 feet of the project site. As of this report, the City has received no written or oral comments on the project.

Environmental Review

The California Environmental Quality Act (Section 21000, et. seq. of the California Public Resources Code, hereafter CEQA) requires analysis of agency approvals of discretionary “projects.” A “project,” under CEQA, is defined as “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment.”

Staff has reviewed the project to determine the required level of review under CEQA. Staff has determined that the project is exempt and not subject to CEQA review pursuant to Section 15061 (General Rule) of the CEQA Guidelines. An activity is covered under the General Rule when it can be seen with certainty that there is no possibility that the activity proposed will have a significant impact on the environment.

The Project consists of a CUP to allow the temporary parking and storage of semi-trucks and trailers in conjunction with a trucking operation. The proposed location is not considered environmentally sensitive. All public utilities and services will be available to the Project site. Based on staff’s review of the Project, no special circumstances exist that would create a reasonable possibility that granting a CUP for this project will have a significant effect on the environment. Therefore, the proposed Project is exempt from CEQA and no further environmental review is required.

IV. FISCAL IMPACT:

None

V. REASONS FOR RECOMMENDATION:

Conditional Use Permit Findings

A Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record.

Staff feels that the findings for a conditional use permit have been met and will not have a detrimental effect on health, safety and general welfare of the community.

1. **General Plan consistency.** Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

2. **Neighborhood compatibility.** The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;
3. **Asset for the neighborhood.** The nature use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

All elements of project are consistent with the City's adopted General Plan. The project is also in compliance with the Planning and Zoning Code.

ATTACHMENTS:

Description

- ☐ Resolution No. 020P-010 with Conditions
- ☐ CUP 20-02 Site Layout
- ☐ CUP 20-03 Application

RESOLUTION 020P-010

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING WITH CONDITIONS CONDITIONAL USE PERMIT APPLICATION NUMBER 20-03 FOR A NEW TRUCK TERMINAL AT 140 TRUMAN STREET

WHEREAS, the City of Coalinga Community Development Department has received an application from the applicant, Ruben Ayala (Ayala Trucking), proposing a truck terminal at 140 Truman Street (APN: XXXXXXXX); and

WHEREAS, the Planning Commission held the scheduled and noticed public hearing on September 8, 2020 to take testimony with regard to the proposed applications, and;

WHEREAS, Public Hearing Notices were sent to all property owners within 300 feet of the site as required by Local and State law, and;

WHEREAS, the Planning Commission has determined that this project is exempt from further environmental review under CEQA Guidelines §15061 related to the General Rule, and;

WHEREAS, the Planning Commission completed its review of the proposed application and information contained in the staff report and has considered the testimony received during the public meeting process and comments provided via mail/email, and;

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

General Plan Consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood Compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and

Asset for the Neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

~~~~~

**NOW THEREFORE BE IT RESOLVED**, that the Planning Commission approves the application for conditional use permit for a truck terminal with conditions (Exhibit A) and reports and exhibits associated with this project.

**PASSED AND ADOPTED**, by the City of Coalinga Planning Commission at their regular meeting held on the 8<sup>th</sup> day of September 2020.

AYES:

NOES:

ABSTAIN:

ABSENT:

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Planning Commission Chairman/Vice Chairman

ATTEST:

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City Clerk/Deputy City Clerk

## **Exhibit A**

### **General On-going Procedural and Operational Conditions of Approval – Conditional Use Permit 20-03 (140 Truman Street)**

1. *Revocation of approvals.* Any permit granted may be revoked or modified if any of the terms or conditions of approval are violated, or if any State law, statute and regulation, or City Ordinance is violated. The City Council and Planning Commission, by their own action, or following a recommendation from the Community Development Director, may initiate revocation or modification proceedings. A public hearing shall be held pursuant to Section 9-6.114.
2. The applicant shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable state and /or local statutes. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
3. Within fifteen (15) days of final approval (expiration of the appeal period) by the Planning Commission, the Applicant/Developer shall submit in writing, a statement indicating that he/she has read and agrees to the conditions imposed herein. This approval shall become void, and any privilege, permit, or other authorization granted under these entitlements if compliance with this condition has not been undertaken within the specified time limits.
4. *Permit validity and renewal.* The Permit shall be valid for a period of ten (10) years. If the applicant fails to submit a renewal application at least ninety (90) days prior to expiration of the permit, the permit shall expire. Approval of the Community Development Director shall be required for permit renewal. In the event a timely submitted renewal application has not been acted upon, the permit shall extend beyond the ten (10) year period until the renewal permit has been acted upon. The renewal shall be valid for an additional five (5) years from renewal approval or the prior permit expiration, whichever is later.
5. This approval shall become null and void if all conditions have not been completed and the occupancy or use of 140 Truman Street has not taken place within one (1) year of the effective date of conditional approval.
6. All development on the Project Site shall be in compliance with all applicable provisions of the City's Municipal Code as well as all applicable provisions of the adopted Building and Fire Codes and submitted plans. All applicable construction shall obtain a building

- permit and comply with the requirements of the Planning, Building, Public Works Police and Fire Departments.
7. The applicant shall obtain an Encroachment permit from the Public Works Department prior to expanding the driveway on Truman Street. This shall be reviewed by the City Engineer prior issuance.
  8. All dead and/or diseased landscaping material along the Truman frontage shall be replaced as recommended by the Public Works Department and a proper irrigation system shall be installed to consistent watering. A separate landscape meter shall be required.
  9. The entire property shall be fenced and slatted with approved fence material and not exceed 6 feet in height. Any damaged fencing or slat material shall be replaced.
  10. This project is approved for no more than four (4) semi-trucks and four (4) trailers to be parked and/or temporarily stored on the property. The only trucks permitted on site are those owned and operated by the owners of the Property (Ayala Trucking Co.). Additional trucks and trailers beyond 5 shall be reviewed and approved by the Assistant City Manager or his/her designee.
  11. The access driveway on Truman shall be equipped an automatic gate to limit queuing on Truman Street when accessing the facility.



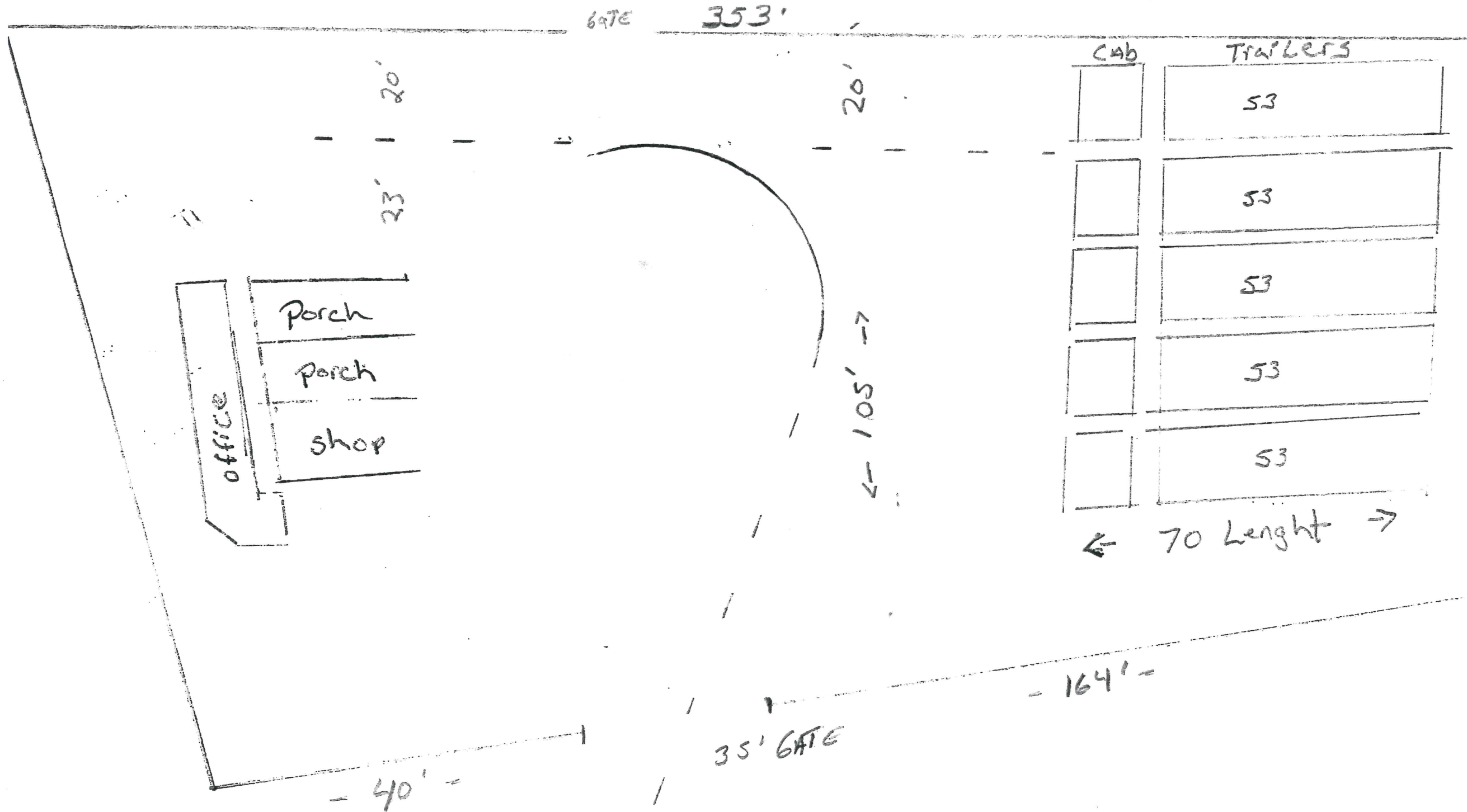


DIAGRAM # 1

140 TRUMAN

CITY OF COALINGA  
CONDITIONAL USE PERMIT APPLICATION

CVP 20-03  
Application Number

7-23-20  
Date

APPLICANT INFORMATION:

Applicant/Property Owner: Ruben Ayala

Mailing Address: P.O. Box 305 Coalinga, CA 93210

Telephone Number: 559.469.9263 Assessor Parcel Number: \_\_\_\_\_

Property Location: 140 Truman St. Coalinga, CA 93210

Legal Description (lot, block, Tracts, etc.) Commercial lot.

r.ayalatrucking-49@yahoo.com

PROPERTY USE INFORMATION:

Current Zoning: CS - Commercial Service

Existing Number of Lots: \_\_\_\_\_ Proposed Number of Lots: \_\_\_\_\_ Area of Parcel: \_\_\_\_\_

Proposed Use: Parking / Storage for our semi-trucks, trailers.

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures).

Extended main gate to 35 feet.

(If additional space is required attach separate sheet of paper)

Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

2 employees random hours. to park 3 semi-trucks.

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

  
Signature of APPLICANT/AGENT

R. Ayala Trucking  
Name of APPLICANT/AGENT (Please Print)

P.O. Box 305 Coalinga, CA 93210  
Mailing Address

559. 469. 9263  
Telephone Number

  
Signature of OWNER

Ruben Ayala  
Name of OWNER (Please Print)

375 Hoover St. Coalinga, CA 93210  
Mailing Address

559. 364. 6073  
Telephone Number

CITY OF COALINGA  
ENVIRONMENTAL REVIEW APPLICATION

CUP 20-03

Application Number

7-23-20

Date

**APPLICANT INFORMATION:**

Applicant: Ruben Ayala

Mailing Address: P.O. Box 305 Coalinga, CA 93210

Telephone Number: 559. 469. 9263 Assessor Parcel Number: \_\_\_\_\_

Property Owner's Name: Ruben Ayala

Property Owner's Address: 375 Hoover St. Coalinga, CA 93210

Contact Person: Elida Ayala - 559. 469. 9263

**PROPERTY USE INFORMATION:**

Size of Parcel (Square Feet/Acres) 37, 929 sq.

Describe Existing Use of Property: Parking / storage for our semi-trucks and trailers.

Square Feet of Existing Building Area \_\_\_\_\_ Square Feet of Existing Paved Area \_\_\_\_\_

Current Zoning CS- Commercial Service Proposed Zoning CS- Commercial Service

Describe in General Terms Existing Uses to the:

North: Same

South: Same

East: Same

West: Same

Are there any man-made or natural water channels on property? NO

If there are, where are they located \_\_\_\_\_

Number of existing trees on the site \_\_\_\_\_ Number of trees to be moved (Age & Type) \_\_\_\_\_

Residential

a. Number of Dwelling Units: \_\_\_\_\_ b. Unit Size(s) \_\_\_\_\_

c. Range of Sales Prices and/or Rents (projected): \_\_\_\_\_

d. Type of Household Size Expected: \_\_\_\_\_



Commercial

a. Orientation:

Neighborhood: Commercial

City or Regional: Coalinga, CA 93210

b. Square Footage of Sales Area: \_\_\_\_\_

c. Range of Sales Prices and/or Rents (Projected): \_\_\_\_\_

d. Type of Household Size Expected: \_\_\_\_\_

e. Number of Employees: Full Time \_\_\_\_\_ Part Time \_\_\_\_\_ Seasonal \_\_\_\_\_

f. Days and Hours of Operation 5 am - 6 pm Monday - Friday

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Ruben Ayala  
Signature of APPLICANT/AGENT

Ruben Ayala  
Name of APPLICANT/AGENT (Please Print)

P.O. BOX 305 Coalinga, CA 93210  
Mailing Address

559.469-9263  
Telephone Number

Ruben Ayala  
Signature of OWNER

Ruben Ayala  
Name of OWNER (Please Print)

375 Hoover St. Coalinga, CA  
Mailing Address 93210

559.364.6073  
Telephone Number



City of Coalinga  
Community Development Department

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**APPLICATION FOR ENVIRONMENTAL EVALUATION**

**1. Owner/Applicant Information**

PROPERTY OWNER'S NAME: Ruben Ayala  
PROPERTY OWNER'S ADDRESS: 375 Hoover St. Coalinga, CA 93210  
TELEPHONE: 559.364.6073 EMAIL: chiripas-1@sbcglobal.net

APPLICANT'S NAME, COMPANY/ORGANIZATION: R. Ayala Trucking  
APPLICANT'S ADDRESS: P.O. Box 305 Coalinga, CA 93210  
TELEPHONE: 559.469.9263 EMAIL: r.ayala.trucking-49@yahoo.com

CONTACT FOR PROJECT INFORMATION: Elida Ayala  
ADDRESS: 375 Hoover St. Coalinga, CA 93210  
TELEPHONE: 559.469.9263 EMAIL: chiripas-1@sbcglobal.net

**2. Location and Classification**

STREET ADDRESS OF PROJECT: 140 Truman St. Coalinga, CA 93210  
CROSS STREETS: Van Ness Ave. and E. Forest Ave.  
ASSESSOR'S PARCEL NUMBER(S): \_\_\_\_\_  
LOT DIMENSIONS: \_\_\_\_\_ LOT AREA (SQ FT): 37,929 sq  
ZONING DESIGNATION: CS - Commercial Service GENERAL PLAN DESIGNATION: CS - Commercial Service

**3. Project Description (please check all that apply)**

- ☒ Change of Use
- ☐ Change of Hours
- ☐ New Construction
- ☐ Alterations
- ☐ Demolition
- ☐ Other (please clarify):

PRESENT OR PREVIOUS USE: Travel trailer parking  
 PROPOSED USE: Parking/storage for semi-trucks, trailers  
 BUILDING APPLICATION PERMIT #: \_\_\_\_\_ DATE FILED: 7-23-20

#### 4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

|                                   | Existing Uses | Existing Uses to be Retained | Net New Construction and/or Addition | Project Totals |
|-----------------------------------|---------------|------------------------------|--------------------------------------|----------------|
| <b>Project Features</b>           |               |                              |                                      |                |
| Dwelling Units                    |               |                              |                                      |                |
| Parking Spaces                    |               |                              |                                      |                |
| Loading Spaces                    |               |                              |                                      |                |
| Bicycle Spaces                    |               |                              |                                      |                |
| Number of Buildings               | <u>2</u>      | <u>2</u>                     |                                      | <u>2</u>       |
| Height of Buildings               |               |                              |                                      |                |
| Number of Stories                 | <u>1</u>      | <u>1</u>                     |                                      | <u>1</u>       |
| <b>Gross Square Footage (GSF)</b> |               |                              |                                      |                |
| Residential                       |               |                              |                                      |                |
| Retail                            |               |                              |                                      |                |
| Office                            | <u>900 sq</u> |                              |                                      |                |
| Industrial                        |               |                              |                                      |                |
| Parking                           |               |                              |                                      |                |
| Other _____                       |               |                              |                                      |                |
| Other _____                       |               |                              |                                      |                |
| Other _____                       |               |                              |                                      |                |
|                                   |               |                              |                                      |                |
| <b>Total GSF</b>                  | <u>900 sq</u> |                              |                                      |                |

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

## All Projects

### Land Use

What is the current use of the site? Parking/Storage for semi-trucks, trailers.  
Please list all previous land uses of the site for the last 10 years. To our knowledge  
travel trailer parking.

### Neighborhood Contact

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, Neighborhood Associations, Business Associations, or Community Groups in the project area.

None. Only with previous owners Laura & Mike  
oxborough. They were pleased with our intent  
project for the property.

### Site Characteristics

Providing the following information regarding the environmental setting with your application is one of the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested in order to conduct the environmental review of your project.

Are there any structures or buildings on the project site?

☒ Yes ☐ No

If yes, how many? 2 attached to each other

What is the construction date of each structure? unknown

Current use of existing structure(s)? tool storage

Proposed use of existing structure(s)? Same

Are there any trees on the project site?

☒ Yes ☐ No

Are any trees proposed to be removed?

☐ Yes ☒ No

Does the site contain any natural drainage ways?

☒ Yes ☐ No

Does the site contain any wetland areas or areas where water pools during the rainy season?

☐ Yes ☒ No

What land uses surround the project site? (i.e., single-family residential, commercial, etc.)

Please describe: Surrounding project sites are commercial.



Are you proposing any new fencing or screening?

☐ Yes ☒ No

If yes, please describe the location, the height, and the materials (i.e., wood, masonry, etc.) of the fencing. \_\_\_\_\_

Is there parking on-site?

☒ Yes ☐ No

If yes, how many spaces are existing (for the entire property) and how many are proposed on-site for the project?

Existing                     

Proposed                     

Is any parking proposed off-site?

☐ Yes ☒ No

If yes, where will it be located and how many spaces? \_\_\_\_\_

Are you proposing new signs with the project?

☐ Yes ☒ No

If yes, please describe the number and type. \_\_\_\_\_

Are there any easements crossing the site?

☐ Yes ☒ No

Are there any trash/recycling enclosures on-site?

☐ Yes ☒ No

If yes, what is the size/height/materials of the enclosure(s) and where are they located?

What is the total number of cubic yards allocated for recycling? \_\_\_\_\_

| Building Setback from Property Lines |                        |                        |
|--------------------------------------|------------------------|------------------------|
|                                      | Existing (feet/inches) | Proposed (feet/inches) |
| Front                                |                        |                        |
| Rear                                 |                        |                        |
| Streetside                           |                        |                        |
| Interior Side                        |                        |                        |

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other properties, please write "N/A."

1<sup>st</sup> Address: \_\_\_\_\_ 2<sup>nd</sup> Address: \_\_\_\_\_

Setback: \_\_\_\_\_ Setback: \_\_\_\_\_

#### Exterior Materials

Existing Exterior Building Materials: Metal Sheet/Wood

Existing Roof Materials: Metal Sheet

Existing Exterior Building Colors: Light Brown

Proposed Exterior Building Materials: Same as before

Proposed Roof Materials: same as before

Proposed Exterior Building Materials: Same as before

### Non-Residential Projects

Fill in this section if your project has a non-residential component. Complete both residential and non-residential sections if you are submitting a mixed-use project.

Hours of operation of the proposed use: 5am - 6pm  
If your project includes fixed seats, how many are there? None

#### Building Size

Total Building Square Footage On-Site (gross sq. ft.) 2,650 sq all buildings

| Breakdown of Square Footage – Please Mark All That Apply |          |          |
|----------------------------------------------------------|----------|----------|
|                                                          | Existing | Proposed |
| Warehouse Area                                           |          |          |
| Office Area                                              | 900 sq   | 900 sq   |
| Storage Area                                             | 1,750 sq | 1,750 sq |
| Restaurant/Bar Area                                      |          |          |
| Sales Area                                               |          |          |
| Medical Office Area                                      |          |          |
| Assembly Area                                            |          |          |
| Theater Area                                             |          |          |
| Structured Parking                                       |          |          |
| Other Area*                                              |          |          |
| *Describe use type of "Other" areas.                     |          |          |

#### Building Height

Existing Building Height and # of Floors: \_\_\_\_\_  
Proposed Building Height and # of Floors: \_\_\_\_\_

#### Lot Coverage

Total Existing and Proposed Building Coverage Area\* (sq. ft.): 2,650 sq  
Project Site Lot Area (sq. ft.): Same as it was  
Total Lot Coverage Percentage: \_\_\_\_\_

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)

\* Include all covered structures (patios, porches, sheds, detached garages, etc.)

## Environmental Evaluation Application Submittal Checklist

| Application Materials                                                                                                                                                                                                                                                             | Provided | Not Applicable |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----------------|
| Two (2) originals of this application signed by owner or agent, with all blanks filled in.                                                                                                                                                                                        | /        |                |
| Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project. |          | /              |
| One (1) CD containing the application and project drawings and any other submittal materials that are available electronically.                                                                                                                                                   |          | ✓              |
| Photos of the project site and its immediate vicinity, with viewpoints labeled.                                                                                                                                                                                                   |          | ✓              |
| Check payable to Coalinga Community Development Department.                                                                                                                                                                                                                       | ✓        |                |
| Letter of authorization for agent, if applicable.                                                                                                                                                                                                                                 |          | ✓              |
| Available technical studies.                                                                                                                                                                                                                                                      |          | ✓              |

### For Department Use Only

Application Received by Community Development Department:

By:



Date:

7-23-20