



AGENDA

PLANNING COMMISSION

SPECIAL

TUESDAY JULY 24, 2018

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

Notice is given that the Planning Commission will meet at the City of Coalinga Council Chambers at 155 W. Durian, Coalinga, CA 93210 and an alternative location has been designated at the Buffalo Ridge Inn, Room #127, 310 West Mount Rushmore Road, Custer, South Dakota, 57730.

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

Chairman Sailer
Vice Chairman Gonzalez
Commissioner Jacobs
Commissioner Helmar
Commissioner Garza

Staff:

Sean Brewer, Community Development Director
Marissa Trejo, City Manager

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

PUBLIC HEARINGS

1. Consideration of Conditional Use Permit 18-02 for a Commercial Cannabis Retail Facility to be located at 286 N. 5th Street submitted by Ryan S. Kunkel dba Have A Heart

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Consideration of Site Plan Review Application 18-01 for the Construction of Phase (1) of Coalinga Youth Sports Complex at Cambridge Ave and Sunset Street Submitted by the Coalinga-Huron Recreation and Parks District

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Consideration of Conditional Use Permit 18-02 for a Commercial Cannabis Retail Facility to be located at 286 N. 5th Street submitted by Ryan S. Kunkel dba Have A Heart

Meeting Date July 24, 2018

Project Location: 286 N. 5th Street, Coalinga, CA 93210

Applicant: Ryan S. Kunkel dba Have and Heart, 3809 Shore Ave, Everett, WA 98203

Owner: Ryan S. Kunkel dba Have and Heart, 3809 Shore Ave, Everett, WA 98203

Prepared By: Sean Brewer, Community Development Director

I. RECOMMENDATION:

Staff recommends approval of Conditional Use Permit Application Number 18-02 by adopting Resolution No. 018P-004 with conditions for a retail cannabis facility to be located at 286 N. 5th Street.

II. BACKGROUND:

On June 11, 2018, the Community Development Department received a Conditional Use Permit application from Ryan S. Kunkel dba Have and Heart Compassion Care (further identified as “applicant”) to open a retail cannabis facility in the existing building located at 286 N. 5th Street. Staff accepted the application on June 12, 2018 and began processing the application for a conditional use permit.

Conditional use permits are issued for uses that require special consideration to ensure that they can be designed, located, and operated in a manner that will not interfere with the use and enjoyment of surrounding properties. The process for review of Conditional Use Permit applications is designed to evaluate possible adverse impacts and to minimize them where possible through the imposition of specific conditions.

III. PROPOSAL AND ANALYSIS:

Project Summary: The project applicant proposes to open a retail cannabis facility in the existing building at 286 N. 5th Street. A retail cannabis facility is defined as the retail sale and delivery of cannabis or cannabis products to both adult-use and medicinal cannabis customers. A retailer shall have a licensed premise which is a physical location from which commercial cannabis activities are conducted.

CUP Analysis

General Plan/Zoning Consistency: The current zoning and land use designation for the subject property is (CG) Commercial General. The retail sales of cannabis is a permitted use subject to approval of a conditional use permit (CUP) and Regulatory Permit issued by the Police Chief.

Location/Building (APN: 072-131-01): The property at 286 N. 5th Street is approximately 4,111 square feet and is currently vacant. Have a Heart intend to remodel the facility, which will not result in changes to total square footage. The remodel anticipates replacement of the existing glass windows with a solid wall that will be five feet closer to the main entrance. This wall will span from one side of the building to the other. New walls will also be installed on the second floor to create separate office spaces. The applicant will also be adding a wall in front of the large windows and adding an access panel to gain access to the window display space. Copies of the floor plans for the first and second floor have been included in the report.

Surrounding Land Use Setting: Staff has determined that there are no land use compatibility and/or transitional concerns related to the placement and approval of this use.

South	Commercial (Office/Retail)
West	Commercial/Public Facilities (Frame Park)
East	Commercial (Office/Retail)
North	Commercial (Office/Retail)

Section 9-5.129(d)(9) specifies that a retail premises/facility shall not be located within a 600-foot radius of a school providing instruction in kindergarten or any grades 1 through 12, day care center, or youth center that is in existence at the time the license is issued in addition a retail premises/facility shall not be located within one-hundred (100) feet of a residential district. Staff has verified that this requirement has been met and the retail location is outside the limited areas for sensitive receptors identified in the planning and zoning code. A map of sensitive receptors has been attached to this report.

Operations: The applicant proposes a recreational and medical commercial cannabis business, including delivery services, to the City of Coalinga and surrounding areas as prescribed by State and Local law. The delivery services will provide transportation of cannabis products from the retail location to customers using a secure ordering system that provides evidence of customer age and the products being transported and sold.

Hours: Proposed hours of operation are 8:00am to 10:00pm daily. Currently, the planning and zoning code related to retail cannabis operations restricts hours of operation from 6:00am to 9:00pm. However, the issuance of a conditional use permit will allow the commission to extend those hours to 10:00pm if it is found that the extended hours will not have an impact on the operation and surrounding properties. Staff does not feel that the additional hours will have an impact on the surrounding properties.

Employees: The Applicant's anticipate requiring a minimum of 20 retail employees to conduct daily operations upon opening, and that there will be a minimum of 5 employees on-site during operational hours. Each employee of Have a Heart Coalinga shall be at least twenty-one (21) years of age and possess a valid "Cannabis Employee Permit" issued by the Coalinga Police Department.

Security: Contracted security guards possessing a valid Department of Consumer Affairs "Security Guard Card" will be available to be on-site 24-hours per day in addition to a Have a Heart's standard suite of alarm and surveillance systems. The security plan and access control plan has been reviewed and approved by the Police Chief in accordance with State and Local law.

Traffic: The property is situated between East Durian Avenue and West Elm Avenue on 5th Street, with West

Elm being a major arterial in the City. The total Average Daily Traffic (ADT) volume on West Elm and North 5th Street is 7,952 vehicles. Traffic is expected to increase with the proposed use, however, it is not expected to exceed that expected volumes beyond that of a typical retail operation and exceed the Level of Service (LOS) identified within the General Plan. It is expected to see an increase in traffic at the initial opening of the facility then balance out during normal operating conditions. Determining traffic levels for a retail cannabis operation is very difficult to estimate as there are very few state licensed dispensaries operating within a rural environment similar to the City of Coalinga.

Parking: The parking standard for retail cannabis operations is 1 stall per 300 square foot of floor area. Therefore, this facility is required to provide 14 parking stalls for its staff and patrons. This facility is centrally located downtown in Coalinga Plaza and can take advantage of the parking available along its frontage. There are 4 parking stalls that are in the proximity of the proposed facility that can be used to offset the parking requirement. In addition, the Applicant will be entering into an agreement with the City to lease approximately 15 parking stalls which will be located at the City-owned lot on North 6th Street and West Elm Avenue, half a block Southeast from the retail location. The City executed a letter of intent with the Applicant on June 6, 2018 authorizing the City Manager the ability to negotiate a lease agreement. This will be included as a condition of approval to ensure adequate parking has been accommodated. These parking stalls will be primarily reserved for employees and delivery vehicles in order to increase availability for patrons in the plaza area. The West Elm corridor is serviced with public transportation, further abating unwanted traffic congestion.

Delivery: Upon arriving at the Have a Heart location, transportation associates will drive to the stores rear door, located on the Northeast end of the building, to securely load the vehicle with product. Transportation Associates will not utilize the North 6th Street parking stalls for delivery loading or unloading. Security personnel will be present during all delivery loading and unloading procedures. The Transportation Associate, while carrying cannabis goods for delivery, shall only travel in an enclosed motor vehicle operated by the delivery employee or another delivery employee of Have a Heart. Cannabis goods will be concealed from the public. Transportation Associates will not leave cannabis goods in an unattended motor vehicle unless the motor vehicle is equipped with an active vehicle alarm system. Transportation Associates will carry no more than the City of Coalinga's mandated maximum of \$3,000 worth of product. All deliveries of cannabis goods to customers will begin after 6:00 a.m. and will be completed by 9:00 p.m. Pacific Time.

Public Notification: Public hearing notices were sent to all property owners within 300' feet of the site as required by Local and State law.

Environmental Considerations: The proposed use is operating within an existing building and has met all of the planning and zoning criteria as it related to retail cannabis operations. Therefore, it has been determined that the proposed project will not have a significant impact on the environment, exempting this action from CEQA in accordance with Section 15301(a) for existing facilities. A notice of exemption will be filed with the Fresno County Clerk's Office once approval has been granted for this application.

IV. FISCAL IMPACT:

In November, 2017, the City of Coalinga passed a measure that imposed a 10% gross receipts sales tax on any retail cannabis facility. Therefore, the City of Coalinga will collect 10% gross receipts on all sales from this retail location. In addition to the 10% gross receipts tax, the City will collect an annual retail cannabis licensing fee in the amount of \$53,532.00. Based on a presentation by the applicant earlier this year, the City is expected to receive approximately \$700,000 in Fiscal Year 18/19 from this operation. That number is expected to significantly increase in future years based on sales projections from the applicant.

V. REASONS FOR RECOMMENDATION:

A Conditional Use Permit shall only be granted if the Planning Commission determines that the project as submitted or as modified conforms to all of the following criteria. If the Planning Commission determines that it is not possible to make all of the required findings, the application shall be denied. The specific basis for denial shall be established for the record.

General Plan consistency: Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood compatibility: The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties;

Asset for the neighborhood: The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

ATTACHMENTS:

Description

- ☐ CUP 18-02 Application
- ☐ Operations Statement
- ☐ Floor Plans
- ☐ Executed LOI for Parking at 6th and Elm
- ☐ Sensitive Uses Map
- ☐ Resolution No. 018P-004 with Conditions

CITY OF COALINGA
CONDITIONAL USE PERMIT APPLICATION

CUP 18-02
Application Number

6/11/18
Date

APPLICANT INFORMATION:

Applicant/Property Owner: RYAN S. KUNKEL DBA HAVE A HEART

Mailing Address: 3809 SHORE AVE. EVERETT, WA 98203

Telephone Number: (206) 889-0583 Assessor Parcel Number: 072-131-01

Property Location: 286 N. 5th STREET

Legal Description (lot, block, Tracts, etc.) LOT

PROPERTY USE INFORMATION:

Current Zoning: CCS-1

Existing Number of Lots: 1 Proposed Number of Lots: 1 Area of Parcel: 0.10 AC

Proposed Use: SEE ATTACHED SHEET.

(If additional space is required attach separate sheet of paper)

Describe any new structures or improvements associated with use (indicate total square footage of structures).

SEE ATTACHED SHEET.

(If additional space is required attach separate sheet of paper)

Describe operational characteristics of use (hours of operation, number of employees, vehicle traffic to and from use, parking requirements, etc.)

SEE ATTACHED SHEET

The undersigned applicant has the ability and intention to proceed with the actual construction work in accordance with these plans (as approved) within one year from the date of approval and the applicant understands the this conditional use permit, if granted, becomes null and void and of no effect if the applicant does not commence with the actual construction work in accordance with these plans with one year from the date of approval of this application and diligently proceed to completion. An extension to commence the work at a later date may be granted by the planning commission, upon the written petition of applicant for such extension before the expiration of the one-year period. The applicant understands that the Commission may also establish a deadline date for the completion of said project.

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER(S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Ryan Kunkel
Signature of APPLICANT/AGENT

RYAN KUNKEL
Name of APPLICANT/AGENT (Please Print)

3809 SHORE AVE EVERETT, WA
Mailing Address 98203

(206) 889-0583
Telephone Number

Ryan Kunkel
Signature of OWNER

RYAN KUNKEL
Name of OWNER (Please Print)

3809 SHORE AVE EVERETT, WA
Mailing Address 98203

(206) 889-0583
Telephone Number



II. INTRODUCTION

Have a Heart Compassion Care's core mission is to provide the medical, psychological, and social benefits of one of the world's oldest and safest medicines to those in need and to those looking for a safer alternative to alcohol and prescription and illicit drugs while increasing cannabis' profile as a legitimate, low-risk recreational product for adults. Our goal is to do this in a manner that is innovative, safe, and compliant and that provides a quality experience for our guests, our employees, and the community overall. We focus on improving the local community through reducing crime and providing employment to those seeking opportunities in the legitimate cannabis industry. Our operations are based in vetted policies and procedures that are designed to ensure compliance, transparency, and safety for our patients, customers, employees, and community. We believe in adding value to our local communities by supporting local non-profit organizations, providing educational opportunities to our employees and customers, providing volunteers to the community, and advocating for social change.

Since April of 2011, Have a Heart Compassion Care ("Have a Heart") has provided service of cannabis products to guests, first through Washington's initial cooperative dispensary system and now through its recreational and medical endorsement system under the regulatory supervision of the Washington State Department of Health and the Washington State Liquor and Cannabis Board (WSLCB). Have a Heart's locations have collectively consummated over 2.5 million retail transactions, currently averaging over 3,300 transactions per day. All transactions have been monitored by the Biotrack and MJ Freeway Traceability Systems, and are subject to consistent oversight by WSLCB agents.

Our California company, HAH 2 LLC, is owned by Ryan Kunkel, the Chief Executive Officer, and operated by Ryan, Chip Boyden, and Ed Mitchell. Articles of Organization and Limited Liability Company Agreement are included as Appendix A. If licensed by the city, HAH 2 LLC will open a retail cannabis dispensary operating under the Have a Heart brand at 286 N 5th St in Coalinga, joining our six operational recreational and medical retail stores in Washington and our newly-licensed facilities in Oakland, Maywood, Oregon, and Hawaii retail facilities that are currently under development.

Have a Heart is also comprised of a central leadership team, including our Operations Director, Procurement Director, Marketing Director, Training Director, Medical and Community Outreach Director, and Regulatory Compliance Director. This group collectively has over 30 years of experience in a legal, heavily regulated market for cannabis sales. Under Ryan, Chip, and Ed's direct supervision, this team provides management services to each of Have a Heart's retail dispensaries. These services include staffing, training, procurement, branding, and internal compliance controls. These long-standing Have a Heart employees provide support and materials for the on-site management staff at each of our retail locations to ensure local operations meet Have a Heart's very high standards of customer and community service. Our leadership team's extensive institutional and practical experience is responsible for Have a Heart's reputation for courteous and knowledgeable staff, unrivaled product selection, and exceptional track record of regulatory compliance. We are in the process of developing a local management team to mirror the actions of our Washington State group.

At its core, Have a Heart is a medical cannabis provider, and we take pride in providing best-in-class service and products to our medical customers. In the dual recreational/medical market of Washington, our six retail stores account for approximately 3% of the state's cannabis sales, but we



employ 19% of the certified medical cannabis consultants in the entire state. Ryan deliberately operates the medical division at a net loss, providing approximately \$100,000 per year in free or low-cost "give backs" to hospitals, doctors, and families to help alleviate the suffering of qualified patients afflicted with a range of qualifying life-threatening and debilitating diseases.

Have a Heart's mission is to expand patient-centered care through education, outreach, philanthropy, and responsible cannabis use. We provide comprehensive consultative care for medical patients and adult-use guests in the communities we serve. Our processes are designed to prioritize 100% compliance with local and state regulations while providing a safe and positive experience for our customers, employees, and the community. To ensure the highest quality guest experience, we have a rigorous selection process for identifying quality employees and invest significant resources to provide them with a robust education in all relevant areas of their positions. Our talented staff represents the diverse set of backgrounds and cultures that intersect in the cannabis industry.

Upon licensure, we will build a skilled team of individuals from the Coalinga community including a Dispensary Manager, Assistant Managers, a dedicated Lead Trainer, Patient Care and Adult-Use Product Consultants, Transportation Specialists, and Security Personnel. Our day-to-day business operations will be based on our established operational protocols and procedures in the areas of regulatory compliance, security, product procurement, training, patient and guest engagement, and sales support, laying the groundwork for sustainable and long-term success in the community. With the support, experience, and knowledge of the entire Have a Heart family, our Coalinga team will be equipped to provide neighbors with safe and convenient access to reasonably priced medical and adult-use cannabis through an engaging retail dispensary experience.



III. BUSINESS PLAN SUMMARY AND BUDGETS

A. Day-to-Day Operations

Our Coalinga retail location will require the following positions, filled by individuals directly employed by Have a Heart: Front Door Security Officers, Receptionists, Patient Care Consultants, Adult-Use Product Consultants, a Dispensary Manager, Dispensary Assistant Managers, and a Lead Trainer. We anticipate that we will need a minimum of 20 retail employees to conduct daily operations upon opening, and that there will be a minimum of 5 employees on-site during operational hours. Each employee of Have a Heart Coalinga shall be at least twenty one (21) years of age. Contracted security guards possessing a valid Department of Consumer Affairs "Security Guard Card" will also be available to be on-site 24-hours per day.

Front Door Security Officer: Security Officers are the first point of contact for customers at our retail locations. This position involves a breadth of responsibilities including answering questions for curious passerby, checking identification cards, and ensuring that there is a smooth flow of guests into and out of the sales area. This position requires a thorough understanding of California State law and the Coalinga Municipal Code to best fulfill these responsibilities. Front Door Security Officers are specifically trained in evaluating acceptable forms of identification and ensuring that only qualified customers are granted access to the retail area.

Receptionist: This position's primary responsibility is maintaining and providing a safe environment as guests move through the dispensary. A key aspect of the receptionist's role is that they must be continuously aware of what is happening in the waiting area. The receptionist is responsible for verifying credentials and signing in medical patients. All paperwork will be organized and filed, all computers will be shut off and work areas will be cleaned before leaving at the end of a shift.

Patient Care Consultant and Adult-Use Product Consultant: At Have a Heart, the employees that spend the most time interacting with guests are located behind the sales counter. Patient Care Consultants (PCCs) are specially trained to help patients with medical conditions select cannabis products to treat their symptoms. Adult-Use Product Consultants (APCs) are the PCC's counterparts on the adult-use side of the retail space. The primary responsibility of both roles is to provide consultative cannabis sales to guests. Have A Heart's mission is for customers leaving our retail space to feel empowered and confident regarding their use of cannabis. The key to achieving this is to have well-educated and personable PCCs and APCs.

To perform this task to the high standards set by Have a Heart, PCCs and APCs must be well versed in strain types, basic cannabinoid chemistry, physiological effects, safe cannabis use, and different methods for ingesting cannabis, and must be able to communicate this information effectively to our guests.

Patient Care Consultants (PCCs) have additional training in qualifying medical conditions and treatment of symptoms with medical cannabis. Their role is to facilitate purchases by providing patients and caregivers with a compassionate approach to medical dispensing. For both new and returning patients, the PCCs educate and assist the patient with the selection of medicinal products available.



Transportation Associate: Transportation Associates handle the physical delivery of cannabis and cannabis products from our retail dispensary. They are responsible for retrieving delivery packages from the delivery staging area and verifying the contents of the order and delivery address.

Dispensary Managers: Dispensary Managers are responsible for providing oversight of all day-to-day dispensary operations and compliance protocols. Our retail dispensary management teams are split into two groups: Lead Managers and Assistant Managers. Our Coalinga operation will have a minimum of one Lead Manager and two Assistant Managers, and at least one of these Managers will always be on site during operating hours.

Responsibilities of the Lead Manager include all the administrative tasks involved with running the dispensary. The Lead Manager acts as a community liaison and is responsible for interfacing with city officials, law enforcement, state regulators, and any media or community inquiries. Lead Managers are responsible for employee reviews and their dispensary's compliance with all state and local regulations.

Assistant Managers oversee inventory; employees in this role are responsible for the receipt of medicine as well as inventory audits. Inventory responsibilities include a physical count of items being received, updates to the active inventory and state traceability system, and payment for the received medical products. Assistant Managers are also an additional resource to the PCCs and RPCs and typically have an average of 5 years of experience in the medical cannabis industry. This gives them a breadth of experience on which our employees and guests can rely.

Lead Trainer: The Lead Trainer is responsible for managing the training needs of the entire team by ensuring that all staff members are progressing appropriately through their assigned training program. The Lead Trainer will receive at least two weeks of mentored training at an established Have a Heart store and will continue to work with our central training team to continually improve training methods and content. Each new employee hired at our Coalinga retail location will be assigned a training curriculum through our web-based training program, described in the "Training Program" section of this document. The lead trainer is responsible for ensuring that all employees are up-to-date with the latest information and are adhering to their training program.

Security Personnel: Have a Heart is committed to providing a secure dispensing site for the safety of our employees, guests, and the community. Uniformed security personnel that are approved by the City of Coalinga and possess a valid Department of Consumer Affairs "Security Guard Card" will be on site to ensure lawful activity on dispensary premises. They will prevent cannabis consumption on-site, monitor the premises to reduce loitering, and discourage any unlawful behavior. Security Personnel will be on site 24 hours a day.

Training Program

One of Have A Heart's missions is to be an industry leader in employee training. Have a Heart has a reputation for providing the most knowledgeable Patient Care Consultants in Washington State, and we have more employees medically endorsed by the State than any other cannabis retailer. We believe that prioritizing education will build successful employees, which in turn will help us build a successful business. Have A Heart has an established training program that has been used to train over 800 employees to-date. We also evaluate each individual's learning progress through their



training curriculum using regular testing and subject matter reviews. Our online training program is developed and managed by our Seattle management team and curriculum is assigned by the dispensary's Lead Trainer. For Have a Heart Coalinga, we have adapted our core operating manual and training materials to conform to the California Business and Professions Code ("BPC") and the Coalinga Municipal Codes.

Built on the Moodle learning platform, our training program provides individually customized coursework and quizzes based on a team member's specific role and regulatory jurisdiction. The training website can be viewed at <http://haveaheartcertification.com>. Topics include regulatory compliance, cannabis knowledge, sales, security, and medical consulting. If an employee scores less than 70% on a quiz, they are assigned additional study materials and are required to retest. Employees with learning disabilities, or who simply do not thrive with an online training methodology, may work individually with the Lead Trainer to cover the assigned curriculum. Our regimented training schedule enables our new hires to efficiently gain the basic knowledge set required to meet the high professional standards necessary to work in a Have a Heart medical cannabis dispensary.

Additionally, all PCCs are required to maintain an in-depth knowledge of qualifying medical conditions and the appropriate uses of medical cannabis to treat those conditions. In order to give our staff the required knowledge to provide the information patients need to make informed decisions about their cannabis options, employees have access to vendor educational videos, tours of producer and processor facilities, external sales training, and regular "Educator Presentations" led by the Lead Trainer and external medical consultants.

Have a Heart considers the training described above to be the minimum acceptable baseline for a retail dispensary employee. We also believe an individual's education should never stop, which is why we aim to inspire an attitude of lifetime learning by providing ongoing educational opportunities. We encourage all employees to take college-level courses for credit that add value to their job duties and, if the employee presents passing grades, Have a Heart will provide tuition reimbursement. We are also excited to be working with the United Food and Commercial Workers International Union to offer free online courses to our California employees through Eastern Gateway Community College, as is described in further detail in the Hiring and Employment Practices section.

We believe having the most knowledgeable employees in the cannabis industry increases morale and a sense of ownership by our employees in their dispensaries, reduces turnover, and makes our workplaces a positive participant in the community.

Inventory Procedures

The heart of our retail dispensary's security operating plan is a defined secure storage policy and a corresponding restricted access secure storage area. This is also addressed in our Safety and Security Plan:

- The secure storage policy is designed to provide for the safety and security of our customers and employees, prevent the diversion of cannabis and cannabis products, facilitate inventory control, ensure quality assurance, and provide process management
- The secure storage area shall be out of view from any public access area and will be used to store the bulk of our dispensary's supply of cannabis products



Because our Coalinga retail dispensary will feature both medical and adult-use products, the secure storage area will be segregated into an A section and an M section, pursuant to BCC regulations. Each section will include a designated quarantine area for storing any cannabis or cannabis products that are expired, damaged, deteriorated, mislabeled, contaminated, recalled, returned, or whose containers or packaging have been opened or breached. To ensure that defective products will never be returned to regular inventory or sold to patients, staff will mark all defective and unsellable products and place them in quarantine area and ensure the items are clearly distinguishable from the sellable products. Items in quarantine will either be disposed of properly or returned to the original manufacturer, as per State and City law.

Packaged cannabis and cannabis products will be stored in high-density polyethylene (HDPE) storage bags and placed in plastic bins, each of which will be marked on the outside to identify contents by SKU and barcode. This system will prevent product spoilage and degradation and will also assist management in conducting inventory counts.

An Assistant Manager will regularly inspect inventory records as part of Heave a Heart's quality control program. For example, this includes checking inventory accuracy and packaging and labeling compliance on:

- Active inventory – The Assistant Manager will verify a randomly selected product or batch of products that are ready for sale.
- Back stock inventory – The Assistant Manager will verify a randomly selected product or a batch of products that are in storage.
- Customer/patient receipts– The Assistant Manager will verify randomly selected patient receipts to ensure that all required information is printing/displaying correctly and inventory levels reflect transaction history.

During inventory audits, staff will check physical counts against inventory logged in software with the use of a portable barcode scanner – all within the confines of the secure storage area.

Adult-Use and Medical Products

All products will be sourced from licensed cultivators and distributors with a preference for items grown with organic methods and originating locally in the city of Coalinga. We will offer the following categories of products and services to guests at our Coalinga location:

Table 1. We provide a wide range of high quality products and services to our guests.

Product Type	Description
Dried Cannabis: Sativa, Indica, & Hybrids	Cannabis Flower will be sold in a mix of Indica and Sativa strains depending on customer demand. Finished, dried, manicured, cured medical and adult-use cannabis will be sold prepackaged. We plan to begin with 25-50 varieties of cannabis.
Edibles & Tinctures	Cannabis edibles are THC and/or CBD infused products that can be consumed by the customer. Infusing cannabis into foods is a long-practiced and very effective method to use cannabis as medicine.



	<p>Have a Heart plans to offer several different edible product lines to cater to the various needs of guests. Individual servings will be no greater than 10 mg of THC, and total quantities of THC will not exceed 100 mg per package. These items may include beverages, coffees, pastries, and chocolates. We will not carry products that require refrigeration to maintain product safety and/or prevent spoilage. We will ensure any product we carry is not packaged or labeled in a way that appeals to children.</p> <p>A cannabis tincture is a cannabis based extract in a liquid form. These products provide patients easy dosing and rapid absorption.</p>
Concentrates	Offering concentrates ensures that guests have a variety of consumption methods that suit each person's needs and lifestyle. Product lines that we carry can provide discreet ways to consume cannabis.
Topicals	Topicals are ideal for assisting guests who are arthritic or have aching injuries. Topicals have an analgesic and anti-inflammatory effect to reduce or eliminate pain. Items carried will be in the form of sprays, lotions, or gels.
Dispensing Devices	Patrons will be able to purchase a dispensing device associated with the cannabis product that is purchased. This will include water pipes, vape pens, pipes, and papers.
Immature Cannabis Plants	The State of California allows for the sale of immature plants for home cultivation. Depending on interest within the community and following City of Coalinga ordinances, we will carry small seedlings and clones prior to their development of cannabis flowers.
Ancillary Items	To further our brand image, we intend to sell apparel and other Have a Heart Compassion Care branded items.
Seminars and Education Services	We host seminars by physicians, researchers, legislators for community members interested in learning more about cannabis' place in the world. Proposition 64 also allows for expunging previous cannabis offenses, and we will provide community members with access to assistance on properly completing the necessary paperwork.

We will source all cannabis products from licensed cultivators with a preference for local and organically grown. All manufacturing and deliveries will be from licensed distributors. Some brands we may carry include: Eel River Organics, Eden Extracts, Bhang, Care By Design, and Crockett. We will emphasize medical items within our product distribution.

Waste Management Plan

Have a Heart's proposed retail dispensary will not generate any industrial waste, or waste of any kind, other than the incidental waste one would expect from a comparable size retail storefront. All returns and products in need of destruction will be kept in a quarantine area until it is manifested back to the original distributor.



Transportation and Distribution of Product

Pursuant to BCC regulations, all transportation of cannabis and cannabis products will be performed by state-licensed cannabis distributors (with the exception of retail-to-consumer deliveries). We expect to receive deliveries of cannabis products between the hours of 10 am and 2 pm Monday through Friday. At our established dispensaries, we receive 2-3 deliveries per day. We will schedule vendors to ensure that deliveries do not overlap, are inconspicuous, and are supported with extra security at these times. Upon request, we will also provide the Coalinga Police Department with advance notice of any product deliveries.

Delivery Processes

In the event of receiving a delivery order via the Have a Heart online portal, delivery orders will be forwarded to an APC or PCC for fulfillment. When the products in the order are assembled, the APC/PCC will bundle the products together into an opaque, tamper-resistant delivery package and identify it as ready for delivery. The sales associate will put delivery orders in a specific delivery staging area. There, a transportation associate may retrieve delivery packages, and verify the contents of the order and delivery address. The transportation associate will prepare an electronic shipping manifest that includes: the contents of the delivery with all required Track and Trace data and the purchaser's contact information, legal name, home address, and medical cannabis identification credentials (if applicable).

As a best practice, payments for delivery orders will be processed via the online portal and transportation associates will not carry any cash on them. Further, the value of any single delivery order will be capped at \$200 and no transportation associate will transport more than \$500 in product on any single trip.

The Transportation Associate, while carrying cannabis goods for delivery, shall only travel in an enclosed motor vehicle operated by the delivery employee or another delivery employee of Have a Heart. Cannabis goods will be concealed from the public. Transportation Associates will not leave cannabis goods in an unattended motor vehicle unless the motor vehicle is equipped with an active vehicle alarm system. All deliveries of cannabis goods to customers will begin after 6:00 a.m. and will be completed by 9:00 p.m. Pacific Time. When a transportation associate arrives at a delivery destination, the customer should provide the transportation associate with identification that matches the information on the electronic shipping manifest. The transportation associate will scan the identification card using a mobile device, then prompt the customer to sign a copy of the electronic shipping manifest. The transportation associate will give one copy of the manifest to the customer as a receipt and retain the signed copy for Have a Heart's records. The receipt will include the name and address of the permitted cannabis retail facility (Have A Heart), name of the delivery employee, name of the APC or PCC who prepared the order for delivery, the customer name, a unique identification number for the customer, date and time the delivery request was made, delivery address, a detailed description of all cannabis goods, total amount paid for the delivery, including any taxes and fees, and the date and time the delivery was made. The delivery receipt shall comply with state and federal law regarding the protection of confidential information. Electronic shipping manifests will include checkboxes for "received" and "rejected". If the customer or transportation associate discovers an inventory discrepancy while transferring custody of cannabis products, or if a



delivery is rejected by a customer for any reason, the transportation associate will indicate the rejection on the electronic shipping manifest and return the products to the dispensary. Transportation associates will reject any delivery that contains products that are improperly packaged or that do not meet California packaging and labeling standards. Transportation associates will only deliver cannabis goods to a physical address in California and shall not leave the state of California while possessing cannabis goods. In addition, transportation associates shall not deliver cannabis goods to an address located on publicly owned land or any address on land or in a building leased by a public agency.

Testing

Our cannabis and cannabis product testing policies are described in the Product Safety and Labeling Section. In sum, although state-licensed distributors are responsible for arranging for the independent testing of cannabis goods prior to providing the cannabis goods to retailers such as Have a Heart, our procurement processes will include reviewing independent testing results for every product we sell. We will also conduct independent spot checks of our distributors by sending products for independent testing by a certified and licensed third-party laboratory. We will strictly adhere to all relevant California and Coalinga rules and regulations regarding approved pesticides and cannabis; we will never purchase or resell cannabis flower, extracts, or edibles that exceed thresholds of contaminants set by the State.

Quality Control Practices and Procedures

At Have a Heart, our philosophy is to achieve customer retention through quality product procurement. We take pride in having the best selection of cannabis and cannabis products possible at our retail dispensaries and we ensure this by thoroughly vetting the distributors we work with. Our years of industry experience have also taught us that the best way to ensure our retail dispensaries receive high quality, regulatory compliant cannabis and cannabis products is to start the quality assurance process at the cultivator and/or processor facility. This has been a cornerstone in our Washington operations and will form the basis of our California procurement procedures.

All items to be sold by our Coalinga retail facility will be obtained from reputable and licensed cannabis distributors. All dispensary staff will be trained to evaluate cannabis and cannabis products for product quality, packaging, and labeling compliance to ensure every product we sell meets the high standards set by Have a Heart, the state of California, and the city of Coalinga.

Have a Heart will handle its inventory according to standardized quality control procedures, based on our extensive industry experience. Products older than one year and products that have exceeded their expiration or sell-by date will not be sold. Inventory audits will be performed weekly and products that have been in stock for more than three months will be flagged for increased sales (e.g. by promotions and/or reduced prices) or donation to medical patients in need. Patient Care Consultants will be trained to detect and report instances of non-compliant packaging and labeling before they dispense products. The purchase of all pre-packaged cannabis products will be subject to supplier agreements to supply packaging of equivalent or superior standards to those described above, and all received pre-packaged cannabis products will be subject to a pre-intake quality inspection process that includes packaging and labeling compliance checks.



Visitor and Vendor Protocols

All guests must check-in with a security staff member at the main entrance prior to entering the retail dispensary. The security staff member will check government issued identification of guests at the main entrance and confirm: (i) the appearance of the individual presenting the identification matches the appearance of the individual pictured on the identification; (ii) the presented identification indicates the holder is at least twenty-one years old; and (iii) the identification has not expired. Detailed protocols for assessing the validity of guest identification, logging incidents, and regulatory reporting are described in the *Summary of Security Plan* section that follows.

Track and Trace Procedures and Policies

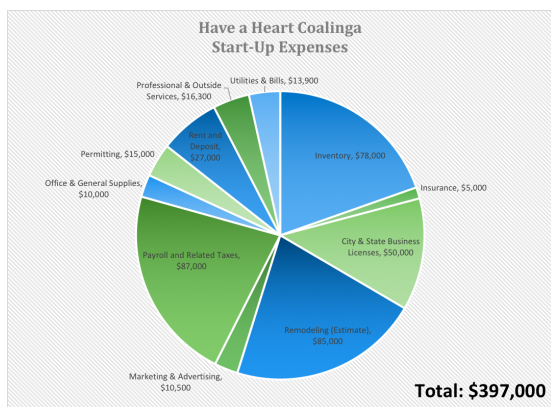
The principals of Have a Heart strongly believe that the key to promoting a legitimate cannabis industry lies in the ability of participants to hold themselves to standards that exceed regulatory requirements listed in ordinances and guidelines as well as those imposed on other industries. Have a Heart will operate our Coalinga retail facility in full compliance with Coalinga Municipal Code, the Medical and Adult-Use Cannabis Regulation and Safety Act (MAUCRSA), the Attorney General's Guidelines for the Security and Non-Diversion of Cannabis Grown for Medical Use, the California Bureau of Cannabis Control rules, and all other local and state ordinances that regulate the retail sale of adult-use and medical commercial cannabis in the city of Coalinga.

Inventory will be tracked while on dispensary premises. When items containing medical cannabis flower or extracts enter the dispensary, the quantity received will be reconciled with expected quantities provided on transport manifests and invoices. Items will be updated in Greenbits and will show up as active inventory. Additional or updated barcodes for tracking will be added as needed prior to placement on the dispensing floor. Sold items will be scanned at a register, marked as sold in Greenbits and updated on Metrc. Any abnormal variances in inventory found during regular audits will be internally investigated, reported to the City and the Board, and updated in Greenbits.

We will ensure record keeping requirements of all books and records necessary to fully account for each business transaction conducted under our license, which may be audited at any time to provide the information necessary to prevent diversion. These records include the amount of cannabis and cannabis products that are dispensed, the amount of compensation received, account balances, and any other relevant data or documents. Our security records will be kept in locking cabinets and mirrored on a digital internal database to provide secondary protection against physical theft or natural damages. Documents will be produced no later than 24 hours after law enforcement or regulatory request.

We pride ourselves on our ability to provide accurate snapshots of our business operations at all times. We dynamically maintain all books, records, and accounts, and all data and information relevant to our operations. These sources will be available to the City at any time for the purpose of conducting an audit or examination to determine our compliance with all local regulations, such as compliance with local tax obligations. We will fully cooperate with all inspections of our facility by the City and State to verify compliance with the requirements of local and state law.

B. Financial Projections



Start-Up Expenses

Start-up expenses for our Coalinga retail dispensary are shown to the left. Proof of funds to cover start-up and 6 months of operational expenses are shown in Section V: Proof of Capitalization.

One Year Pro Forma

The average mark-up for cannabis flower products in California has historically been 288%. With the introduction of an excise tax, we estimate a mark-up of 300%, similar to that in Washington State, will be

necessary to account for this additional tax. A one-year pro forma is illustrated in Figure 1 on the next page.

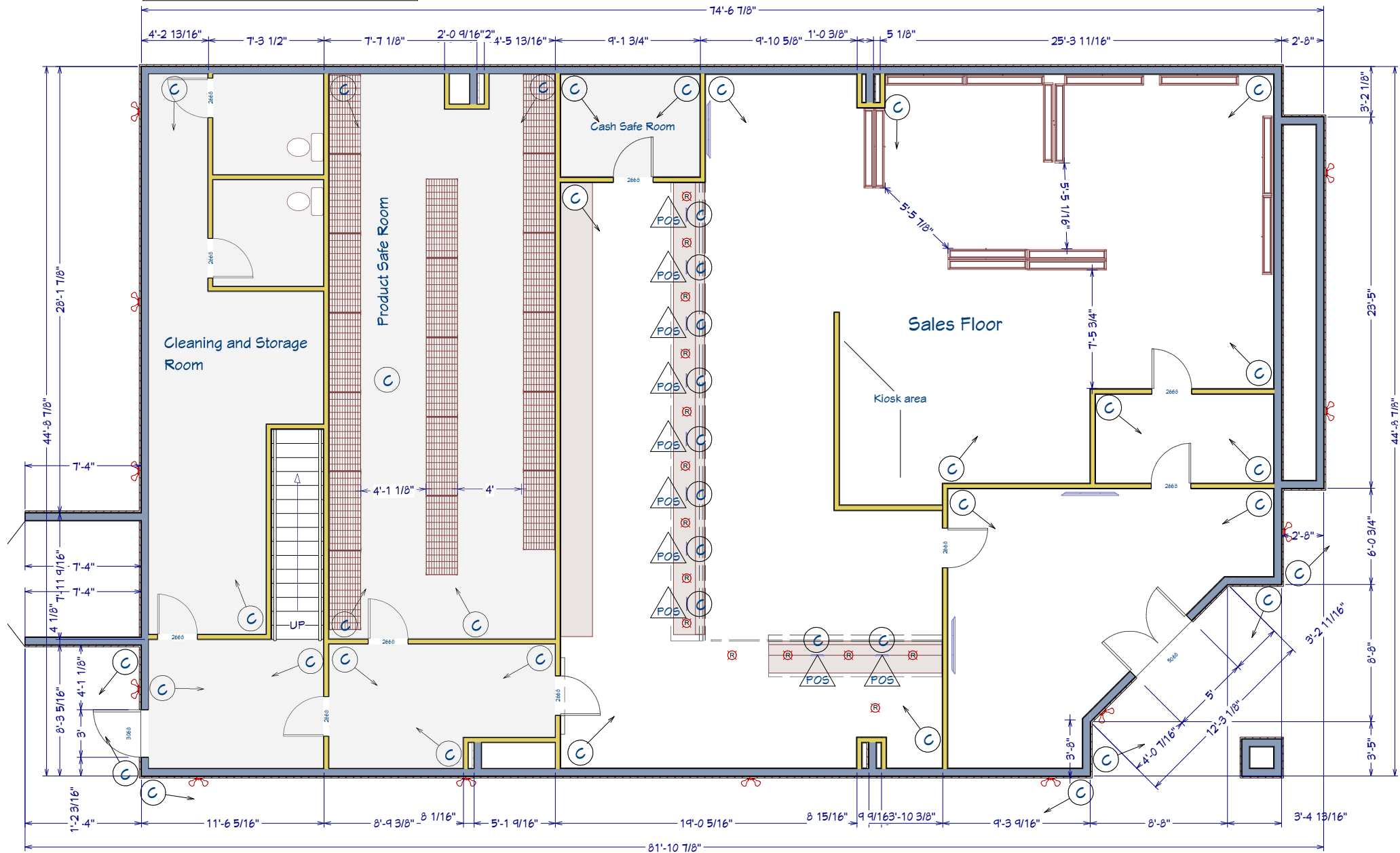
Three Year Pro Forma

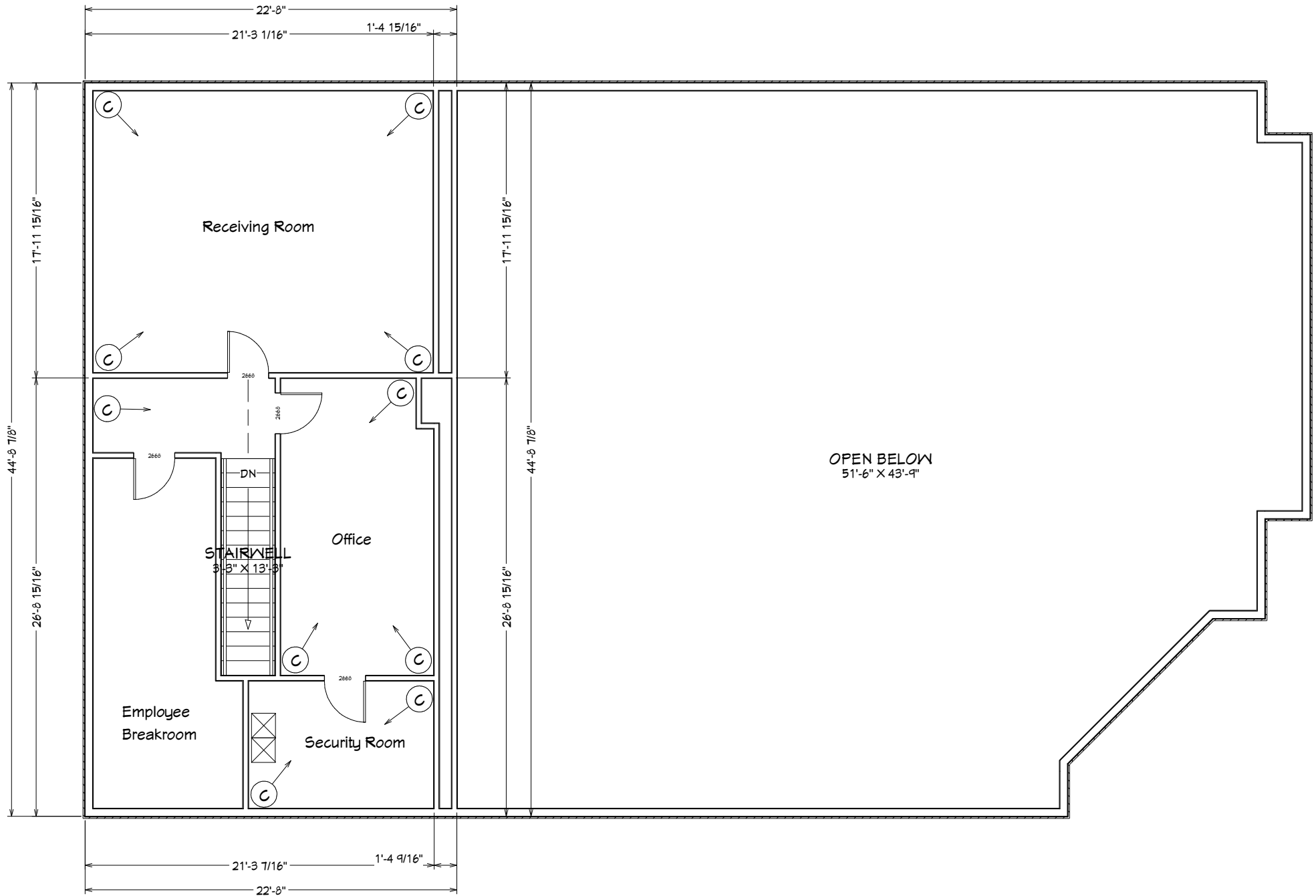
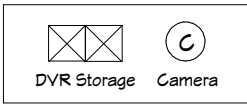
Our three-year pro forma is based on 7 years of sales data from our six recreational and medical retail stores in Washington State (see Figure 2). The two largest factors used to predict revenue are the number of stores per capita and the physical location of the store. With this dispensary being located downtown, and with over 10,000 cars per day passing on Elm Ave, we project that there will be significant traffic that comes as part of people running errands. We also estimate that there will be a significant number of deliveries to local areas.

We have also observed across our existing stores that operating expenses and cost of goods sold directly correlate to sales numbers. The percent of revenue for these numbers is similar across each of our stores, within a small margin. We estimate a growth of approximately 30% in monthly revenue for the first full year of operations, and a growth of 8% month-over-month in the second full year. Growth slows after this point, and caps at approximately 2-3% per year.

C. Conclusion

Have a Heart has a proven track record of success in the strict regulatory environment of adult-use and medical cannabis businesses. We are prepared to serve the city of Coalinga and its residents with reliable and safe access to quality cannabis.





RESOLUTION 018P-004

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING WITH CONDITIONS CONDITIONAL USE PERMIT APPLICATION NUMBER 18-02 FOR A COMMERCIAL CANNABIS RETAIL FACILITY, AS PERSCRIBED BY CALIFORNIA STATE LAW, TO BE LOCATED AT 286 N. 5th STREET

WHEREAS, the City of Coalinga Community Development Department has received an application from the applicant, Ryan Kunkel dba Have a Heart, for a Conditional Use Permit to operate a Retail Cannabis Facility to be located at 286 N 5th Street; and

WHEREAS, the Planning Commission held the scheduled and noticed public hearing on July 24, 2018 to take testimony with regard to the proposed application, and;

WHEREAS, Public Hearing Notices were sent to all property owners within 300 feet of the site as required by Local and State law, and;

WHEREAS, the City Council has determined that this project is exempt from further environmental review under CEQA Guidelines §15301 as a Class 1 exemption (existing facilities), and;

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report and has considered the testimony received during the public meeting process and comments provided via mail, and;

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

General Plan Consistency. Approval of the proposed project will advance the goals and objectives of and is consistent with the policies of the General Plan and any other applicable plan that the City has adopted;

Neighborhood Compatibility. The location, size, design, bulk, coverage, density, traffic generation and operating characteristics of the proposed project are consistent with the purposes of the district where it is located, and will not have an adverse effect on the neighborhood and surrounding properties; and

Asset for the Neighborhood. The nature, use and architectural/design features of the proposed development make it attractive, functional and convenient. The proposed development enhances the successful operation of the surrounding area in its basic community functions, or provides an essential service to the community or region.

~~~~~

**NOW THEREFORE BE IT RESOLVED**, that the Planning Commission approves Ryan Kunkel dba Have a Heart's application to operate a Commercial Retail Cannabis Facility at the above location with conditions (Exhibit A).

**PASSED AND ADOPTED**, by the City of Coalinga Planning Commission at their special meeting held on the 24<sup>th</sup> day of July 2018.

AYES:

NOES:

ABSTAIN:

ABSENT:

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Planning Commission Chairman/Vice Chairman

ATTEST:

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City Clerk/Deputy City Clerk

## Exhibit A

### General On-going Procedural and Operational Conditions of Approval – Conditional Use Permit 18-02 (286 N. 5<sup>th</sup> Street)

#### Administrative

1. This Conditional Use Permit shall only remain valid so long as the applicant maintains, in good standing, an approved regulatory permit issued by the Coalinga Police Department, and valid State of California Commercial Cannabis License as prescribed by law. Without a valid regulatory permit and State of California Issued Cannabis license, as prescribed by law, this Conditional Use Permit is null and void.
2. The applicant shall at all times comply with all applicable State, Federal and Local ordinances, statutes and regulations related to Retail Commercial Cannabis Operations.
3. *Transferability.* This conditional use permit shall not be transferable to any other entity or location and shall run with the regulatory permit (not the land) issued by the Coalinga Police Department.
4. *Revocation of approvals.* Any permit granted may be revoked or modified if any of the terms or conditions of approval are violated, or if any State law, statute and regulation, or City Ordinance is violated. The City Council and Planning Commission, by their own action, or following a recommendation from the Community Development Director, may initiate revocation or modification proceedings. A public hearing shall be held pursuant to Section 9-6.114.
5. The applicant shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable state and /or local statutes. The City shall have the option of coordinating the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
6. Within fifteen (15) days of final approval (expiration of the appeal period) by the Planning Commission, the Applicant/Developer shall submit in writing, a statement indicating that he/she has read and agrees to the conditions imposed herein. This approval shall become void, and any privilege, permit, or other authorization granted under these entitlements if compliance with this condition has not been undertaken within the specified time limits.

### **Planning Conditions**

7. Any proposed change to the approved use or activity on the site shall require submittal, review and approval of an additional land use application if determined to be substantial by the Community Development Director and in conjunction with the Police Chief.
8. This approval shall become null and void if all conditions have not been completed and the occupancy or use of 286 N. 5<sup>th</sup> Street has not taken place within one (1) year of the effective date of conditional approval.
9. Any patron lines created by increased traffic shall be organized and shall not impede on path of travel.
10. The tenant and/or property owner shall continually maintain the inside and outside of the property and its infrastructure so that it is visually attractive and not dangerous to the health, safety and general welfare of both its employees, patrons and surrounding properties.
11. All development on the Project Site shall be in compliance with all applicable provisions of the City's Municipal Code as well as all applicable provisions of the adopted Building and Fire Codes. All applicable construction shall obtain a building permit and comply with the requirements of the Planning, Building, and Fire Departments.
12. No Certificate of Occupancy (CofO) shall be granted until all Conditions of Approval have been completed and approved by the Planning, Engineering, Building, and Fire Departments unless otherwise identified herein. A Temporary Certificate of Occupancy (TCO) may be issued for a specific time period if a significant amount of issues has been resolved and there remains only minor issues that do not pose a threat to health & safety. This shall be approved by the Community Development Director, Building Official, Fire Chief and Police Chief.
13. The project site shall be in substantial compliance with the exhibits contained in the regulatory permit project file for Have a Heart, and CUP Application 18-02, as shown in all exhibits attached hereto and incorporated herein by this reference.
14. The applicant shall, prior to certificate of occupancy, secure an agreement with the City of Coalinga for no less than 12 parking stalls at the parking lot located at 6<sup>th</sup> Street and Elm Ave. These parking stall shall be dedicated to employees and delivery vehicles.
15. All signage related to the facility will require the submission and issuance of a sign permit. Applications shall be submitted to the Community Development Department.

### **Fire Department Conditions**

16. The applicant shall adhere to all the requirements of the Fire Department.
17. Prior to Occupancy the applicant shall submit a report to the Fire Development on all hazardous or toxic substances being used on site and said report shall be reviewed and

approved by the Fire Chief. No hazardous materials shall be stored and/or used within the building, which exceeds quantities listed in most current version of the California Building Code. An up to date list of all hazardous materials being stored and/or used in the facility shall be available for inspection at all times at the subject location.

18. The applicant shall file an evacuation plan in the event of an emergency with the Fire Department that would detail how the building would be secured and how first responders would gain access.
19. The Applicant/Developer shall submit one (1) set of tenant improvement construction drawings to the Coalinga Fire Department located at 300 W. Elm Ave in Coalinga for review and approval prior to issuance of any permits. Said construction drawings shall demonstrate project adherence to all provisions of the currently adopted Uniform Fire Code.

#### **Police Department Conditions**

20. The Applicant/Developer shall comply with all the requirements of the Police Department and the approved regulatory permit issued.
21. There shall be no loitering within the perimeter of the retail facility and the applicant shall be responsible to ensuring compliance with this condition.
22. The Applicant/Developer shall incorporate all aspects of Crime Prevention through Environmental Design for visual surveillance, access control and territorial reinforcement where applicable. These measures shall be approved by the Police Chief.
23. Prior to the issuance of a Certificate of Occupancy site lighting shall be inspected and approved by the Police Department and Community Development Department. The Planning and / or Police Departments may require additional lighting to prevent unintended dark spots prior to final occupancy.
24. Lighting provides adequate visibility, face & color recognition, and a sense of security for employees and visitors.
  - a. LED and / or Metal Halide lights are recommended.
  - b. Lighting shall be shielded through the use of fixture design and placement, and shrouds so that spillover at the property line is minimized.
  - c. Prior to issuance of building permits, the building plans shall indicate that motions sensors are installed on the building rooftops, subject to review and approval by the City of Coalinga Police Department. Specifications for the motions sensors shall be included in the building plan set.
25. Delivery operations shall adhere to all the regulations identified in Section 9-5.129(l) of the Coalinga Municipal Code or as amended.
26. All employees, regardless of status, shall be subject to Live Scan and issued an employee permit through the City of Coalinga Police Department. All employees shall be issued photo ID cards and shall keep the card on her / his person at all times.



27. Private security service that uses security guards with uniforms shall assure to the satisfaction of the City of Coalinga Police Department that the uniforms are sufficiently different in appearance from any uniform of the Police Department.
28. Security cameras shall be utilized to capture video of the perimeter of the building as well as interior areas as determined in the regulatory permit.
29. The camera system shall have recording and back up capabilities for 60 days and will be made accessible to the Police Department on demand. Should this requirement change within State law, the most restrictive shall be followed.
30. Prior to issuance of occupancy permits, the applicant shall provide in the security plan that at all times at least one staff member has knowledge of the operation of all video surveillance equipment and is capable of assisting the Police Department at any time the Police have need of such assistance. Any security plan changes shall be provided to the police department for review and approval to ensure compliance with all State and Local regulations.



## **Staff Report- Chairman and Planning Commission**

**Subject:** Consideration of Site Plan Review Application 18-01 for the Construction of Phase (1) of Coalinga Youth Sports Complex at Cambridge Ave and Sunset Street Submitted by the Coalinga-Huron Recreation and Parks District

**Meeting Date** July 24, 2018

**Project Location:** Cambridge Ave and Sunset Street

**Applicant:** Coalinga-Huron Recreation and Parks District, 555 Monroe Street, Coalinga, CA 93210

**Owner:** Coalinga-Huron Recreation and Parks District, 555 Monroe Street, Coalinga, CA 93210

**Prepared By:** Sean Brewer, Community Development Director

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### **I. RECOMMENDATION:**

Staff recommends that the Planning Commission adopt Resolution No. 018P-005 with conditions for the construction of Phase (1) of the Coalinga-Huron Recreation and Parks District's (hereinafter referred to as "CHRPD") Sports Complex.

### **II. BACKGROUND:**

On March 26, 2002, the Coalinga Planning Commission reviewed and adopted Resolution 02P-007 approving the CHRPD' application for Site Plan Review, General Plan Amendment, Rezone and Environmental Review for the development of an 87-acre youth sports complex. Subsequently, the City Council approved the project including annexation of the subject property in July of 2002. In 2002 the proposed project consisted of six soccer fields, four softball fields, four hardball fields, concession/restroom buildings, batting cages, tot-lot, parking facilities with additional open space areas such as an amphitheater, skateboard park, multi-purpose courts, BMX track and links to City's bike and pedestrian trail.

Since the plan at the time was submitted as a "conceptual" plan, at each phase of development, per the conditions of approval, the applicant is required to submit a site plan that will more precisely layout each phase of construction providing specific detail relating to parking, access, buildings and sports field locations, security lighting, fence locations, ect. Each plan requires Planning Commission review and approval.

On June 11, 2018 the City of Coalinga received an application for Site Plan Review for the construction of Phase (1) of a sports complex which proposes to construct one (1) new softball field, a little league baseball field, a restroom/concession building, additional parking facilities, picnic area (pad only), batting cages (pad only) and playground (pad only) to be located north of Cambridge Ave and Sunset.

In accordance with the Coalinga Planning and Zoning Code, the development of new recreational facilities requires the issuance of a site plan review approved by the Planning Commission.

Once the application was deemed complete staff requested comments from the necessary City Departments. This proposal incorporates feedback from all City Departments. The Coalinga Municipal Code requires that all applicable new structures permanent or temporary erected in the City require a site plan review and approval by the Planning Commission for consistency with all applicable zoning regulations.

### **III. PROPOSAL AND ANALYSIS:**

The proposed phased project is comprised of a multi-phased development of the CHRPD sports complex. Phase 1 proposes to install one (1) new little league baseball field, one (1) new softball field, a 785-square foot modular restroom and concession building, parking facilities, and a picnic area. Phase 2 is expected to include one (1) additional little league baseball field, two (2) softball fields, batting cages, a playground and two (2) soccer fields. Phase 2 of this development will require subsequent site plan approval by the City of Coalinga before construction begins.

#### **Land Use Compliance**

The General Plan designation for the parcel is (REC) Recreation with a zoning designation of (REC) Recreation. The project proposal is consistent with all the development regulations for Public Park and Recreation Facilities.

#### **Surrounding Land Use Setting:**

|       |                                       |
|-------|---------------------------------------|
| South | <b>Residential</b>                    |
| West  | <b>City Limits (Oil Fields)</b>       |
| East  | <b>Commercial</b>                     |
| North | <b>Resource Extraction/Open Space</b> |

#### **Site Plan Review**

According to Section 9-6.402 of the City of Coalinga Municipal Code, a site plan review is required for all development projects within the City. The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

#### Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

- 1 ) The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
- 2) The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.

- 3 ) The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- 4 ) The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

### **Staff Analysis**

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, Zoning Ordinance, and any applicable plans adopted by the City.

**Public Facilities Development Regulations:** The specific purpose of the "Public Facilities" and "Recreation" Districts is to ensure the provision of services and facilities needed to accommodate planned population densities, employment intensities, and traffic regulation. Recreation (REC). To provide areas for public and private recreational facilities including but not limited to public parks, golf course and equestrian centers.

**Access:** Access for Phase (1) of the development will be accommodated by means of the driveway at Sunset Street with subsequent driveways at Coalinga Street and California Street in future phases as deemed necessary by the City Engineer through an applicant provided traffic analysis. In addition to vehicular traffic, pedestrian access must be provided from Cambridge to the facilities. The existing facility includes an improved decomposed granite sidewalk from Cambridge Ave to the parking facility. The applicant will need to ensure that the existing improvements met current ADA standards for path of travel. This sidewalk will be inspected by the City Engineer to ensure compliance prior to project sign off.

**Utilities:** All utilities are readily available for connection on Cambridge Ave near Sunset. All utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. Improvement plans, including grading and drainage plans, will be reviewed and approved by the City Engineer.

**Storm water:** Current storm water is to be directed south to the drain inlets that drain to Coal Mine Creek south of the facility adjacent to Cambridge Ave. All proposed improvements shall be designed to ensure watershed south to this location.

**Gas:** Public Natural Gas Facilities exist in Cambridge Ave and are available to serve this development. There is no intention by the applicant to request gas service at this time.

**Water:** Public Water Facilities exist in Cambridge Avenue and are available to serve this development. The Applicant has proposed a 3-inch potable water service and a 6-inch water service with booster pump for irrigation purposes. The Fire Department did comment related to fire hydrant locations and requested that a fire hydrant be installed in the center of the parking area between the existing parking facility and proposed parking facility. This will be added as a condition of approval.

**Sewer:** Public Sewer Facilities exist in Cambridge Ave and are available to serve this development. The applicant will be tying into an existing 4-inch sewer line to accommodate the development.

**Meters:** Meters for water, and gas service shall be requested by the public works department and shall be designed and installed to City Standards.

**Parking:** In accordance with section 9-4.302 Table 4.4 of the zoning code, the parking requirement for public parks and recreation facilities are to be determined by the Community Development Director.

The proposed site plan includes 140 total spaces with 8 accessible spaces. With Phase (1) including one (1)

softball field and one (1) little league baseball field, 140 parking stalls will be sufficient to accommodate the demand. This takes into consideration ongoing game attendance, teams arriving for future games and spectators. The Initial Study/Mitigated Negative Declaration identified a total of 250 parking spaces needs for the full buildout which included several more ball fields and soccer fields. Staff will continue to monitor space availability as future phases are submitted to the City of Coalinga for review and consideration. Prior approvals included the requirement for a parking management plan to be prepared to analyze the potential use of adjacent parking facilities at the Coalinga-Huron Unified School District and West Hills College locations. As the demand for parking increases beyond what is provided onsite, the City will require the applicant to work with the College and School District to arrange for the utilization of adjacent parking facilities.

- Refuse Containers: The site plan provides for two trash enclosures west of the parking lot adjacent to the proposed restroom/concession building.

- Landscaping: The project proposes to landscape a total of 176,600 s/f of area within Phase (1). This includes both turf and mix plantings (shrubs, trees, ect.) within the phased area including the parking areas. The applicant is proposing to connect to the existing City of Coalinga 12-inch water main on Cambridge Ave at the entrance to the facility at Sunset Street. A proposed booster pump will provide additional pressure for the irrigation system to meet the water flow demand.

The estimated water use for Phase 1 is expected to be 12.6-acre feet per year which includes irrigation demand for both turf areas and mixed planting areas. The original project approvals assumed irrigation water was going to come from the existing well located at Cambridge and California. This approach has been abandoned due to water quality issues. It has been communicated to the City that the applicant will be considering the installation of irrigation well to support future water demands to reduce the impact on the City's water system. However, at this time the Public Works and Utilities Director has confirmed that there is sufficient capacity to deliver the required water demand to this project.

- Fencing: The project provides adequate fencing for the ballfields in order to secure the playing area from the spectators. There is no requirement for the entire facility to be fenced. Therefore, the proposed fencing plan is sufficient for this phase of development.

- Lighting: The Site Plan does not provide for the lighting of the ballfields nor the parking area. However, as stipulated in the mitigation measures related to public services the site shall be equipped with on-site security lighting. At minimum, the parking lot shall be equipped with on-site lighting and reviewed and approved by the Police Department.

- Signage: No signage has been provided as part of this application. A signage plan application shall be submitted to the Community Development Department prior to installation.

- Environmental Considerations: The proposed project has been reviewed for its conformance with the California Environmental Quality Act (CEQA). An Initial Study/Mitigated Negative Declaration was certified by the City Council on July 2, 2002 for the proposed 87-aces youth sports complex master plan, which includes components of this project application.

The Initial Study/Mitigated Negative Declaration indicates that the entire 87-acre project including the components of this proposed will not have a significant impact on the environment. No further environmental review is required as part of this project approval. All mitigation measures applicable to this development application will be incorporated within the project conditions to ensure compliance with the IS/MND approvals.

#### **IV. FISCAL IMPACT:**

None at this time.

## **V. REASONS FOR RECOMMENDATION:**

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the Coalinga zoning code in the following respects:

- That all applicable provisions of the Code are complied with;
- That the project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding properties: Facilities and improvements; Vehicular ingress, egress, internal circulation, off-street parking and loading; Setbacks; Height of buildings; Locations of services; Walls and fences; Landscaping; Site drainage; Refuse enclosures; and
- All signs related to this development shall be reviewed and approved at a later date.

## **ATTACHMENTS:**

|   | Description                                                         |
|---|---------------------------------------------------------------------|
| ☐ | SPR 18-01 Application                                               |
| ☐ | Sports Complex Plan Set                                             |
| ☐ | Supplemental Information (Concession and Water Calculations)        |
| ☐ | Resolution No. 018P-005 with Conditions                             |
| ☐ | EXHIBIT B - Notice of Determination (2002) with Mitigation Measures |

CITY OF COALINGA  
SITE PLAN REVIEW APPLICATION

SPR 18-01

Application Number

6/11/18

Date

APPLICANT INFORMATION:

Applicant/Property Owner Name: Coalinga-Huron Recreation and Park District  
Mailing Address: P.O. Box 386, Coalinga, CA 93210  
Telephone Number: 559-935-0727 Assessors Parcel Number: 070-060-884  
Property Location (Street Address): 650 Cambridge Avenue  
Property is located: north side of Cambridge Ave Street, between Sunset Street and  
N. Coalinga Street

PROJECT INFORMATION:

Current Zoning: Recreation Proposed Zoning: Recreation  
Existing Floor Plan: n/a Proposed Floor Area: n/a  
Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) project includes a softball field, Little League baseball field, additional parking, planting and irrigation.

Is project: ☒ new construction or ☐ remodeled.

Residential

Number of dwelling units \_\_\_\_\_ Total of area (in square feet) \_\_\_\_\_  
Total lot coverage of buildings or structures (in square feet) \_\_\_\_\_ Percentage of lot coverage \_\_\_\_\_ %  
Number of off street parking spaces provided. Covered \_\_\_\_\_ Open \_\_\_\_\_  
Total square feet of sign area \_\_\_\_\_ Total square feet devoted to recreation and open space \_\_\_\_\_ sq ft.  
Give total percentage of lot devoted to recreation and open space \_\_\_\_\_ sq ft.  
(See instructions or Zoning Ordinance for definitions and requirements).  
Total square feet of common recreation and open space area \_\_\_\_\_  
Describe type and material to be used on exterior walls and doors \_\_\_\_\_

Commercial

Gross floor area or building when complete \_\_\_\_\_ sq ft.  
Describe sign (free standing, affixed to wall etc.) \_\_\_\_\_  
Number of parking spaces provided \_\_\_\_\_ Number of customers expected per day \_\_\_\_\_  
Hours and days of operation \_\_\_\_\_  
Describe any outside storage of equipment or supplies: \_\_\_\_\_



### Industrial

Describe any outside storage of equipment or supplies: \_\_\_\_\_

Maximum number of employees in any daily shift: \_\_\_\_\_

Number of delivery or shipping trucks per day: \_\_\_\_\_

Number of delivery or shipping trucks per day when construction is complete: \_\_\_\_\_

### Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

### Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.

David W. Bailey  
Signature of Applicant

2/9/18  
Date

Alisa Gonzalez  
Signature of Record Property Owner

2-14-18  
Date



# PLANS FOR THE CONSTRUCTION OF SPORTS COMPLEX



NOT TO SCALE

UTILITY INFORMATION SHOWN HEREON IS BASED ON RECORD INFORMATION  
SUBMITTED TO THE RIGHT OF WAY DIVISION, PUBLIC AGENTS, AND  
THE PROPERTY OWNER, TOGETHER WITH OBSERVATION OF VISIBLE EVIDENCE BY  
A FIELD SURVEY. THE ENGINEER CAN MAKE NO GUARANTEE AS TO THE  
ACCURACY OR COMPLETENESS OF THE UNDERGROUND UTILITY FACILITIES  
SHOWN. PRIOR TO ANY SITE EXCAVATIONS, THE CONTRACTOR SHALL CONTACT  
THE OWNER AND UNDERGROUND SERVICE ALERT (USA) AND REQUEST THAT  
THEY IDENTIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AT THE SITE.

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE CONSTRUCTION DRAWINGS, THE CONTRACT SPECIFICATIONS AND THE CITY OF COALBIA STANDARD SPECIFICATIONS AND DETAILS AS APPROPRIATE.
2. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE PARK DISTRICT OFFICIALS OF THE FACILITIES AND OTHER CONTRACTORS WHO MAY BE DOING CONSTRUCTION WITHIN THE PROJECT SITE.
3. THE CONTRACTOR SHALL CONTACT DISTRICT OFFICIALS FOR DETERMINATION OF DEPTH AND LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN THE PROJECT SITE.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS, UTILITIES AND LANDSCAPING NOT IDENTIFIED FOR REMOVAL.
5. NO CONSTRUCTION STAKING WILL BE PROVIDED TO THE CONTRACTOR BY THE DISTRICT. THE CONTRACTOR SHALL RETAIN A SURVEYOR OR CIVIL ENGINEER TO PROVIDE STAKING.

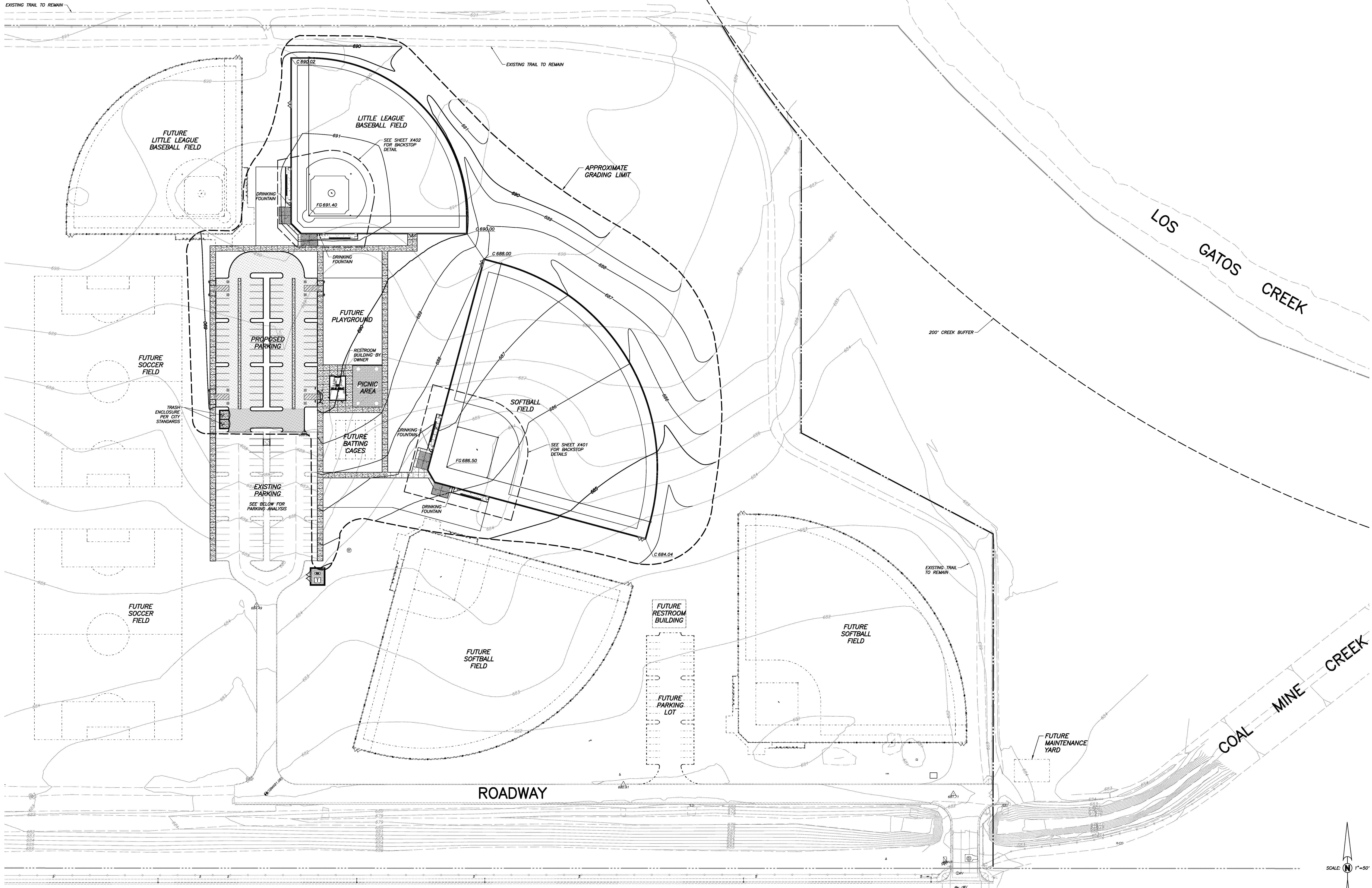
CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERFORMANCE OF WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, ON A CONTINUOUS BASIS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS.



|            |             |                                                                                                                                                        |  |                                                                                              |
|------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------|
| CONSULTANT | REF. & REV. | <b>COALINGA-HURON RECREATION AND PARK DISTRICT</b><br><br><b>SPORTS COMPLEX</b><br><b>PARKING LOT AND BALL FIELDS</b><br><b>TITLE AND LOCATION MAP</b> |  | <b>PLANNING SUBMITTAL</b><br><br>DR. BY: TJ<br>CH. BY: SF<br>DATE: 02/23/2018<br><b>C001</b> |
|------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|--|----------------------------------------------------------------------------------------------|

Drawing: P:\216-0580\Site\production\drawings\216580\_COP\_CV.dwg: Layout1 - BCF.CTB



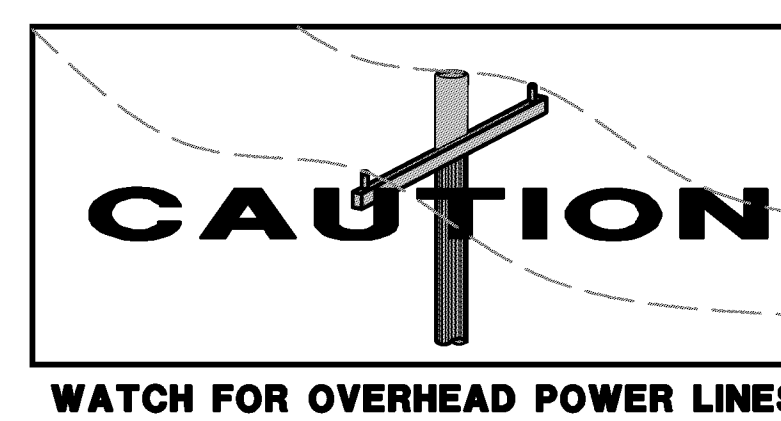


| PARKING ANALYSIS:                                     |            |
|-------------------------------------------------------|------------|
| • NO. OF EXISTING PARKING STALLS:                     | 72 STALLS  |
| • NO. OF NON-ACCESSIBLE PROPOSED PARKING STALLS:      | 60 STALLS  |
| • NO. OF ACCESSIBLE STALLS REQUIRED:                  | 5 STALLS   |
| • NO. OF ACCESSIBLE STALLS PROPOSED:                  | 8 STALLS   |
| • TOTAL PARKING STALLS (INCLUDING ACCESSIBLE STALLS): | 140 STALLS |

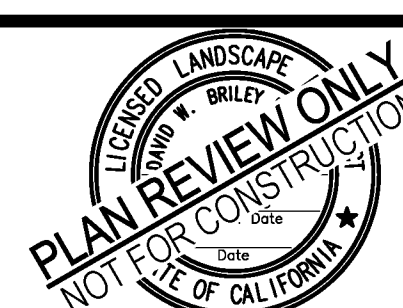
CAMBRIDGE

AVENUE

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERFORMANCE OF WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, ON A CONTINUOUS BASIS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS.



Blair,  
Church  
& Flynn  
CONSULTING ENGINEERS



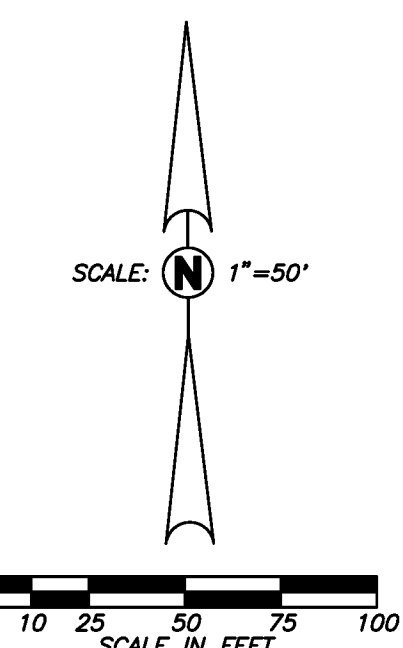
CONSULTANT  
Blair, Church & Flynn  
Consulting Engineers  
455 Clovis Avenue,  
Suite 200  
Clovis, California 93612  
Tel (559) 520-5400  
Fax (559) 520-5400

REF. & REV.

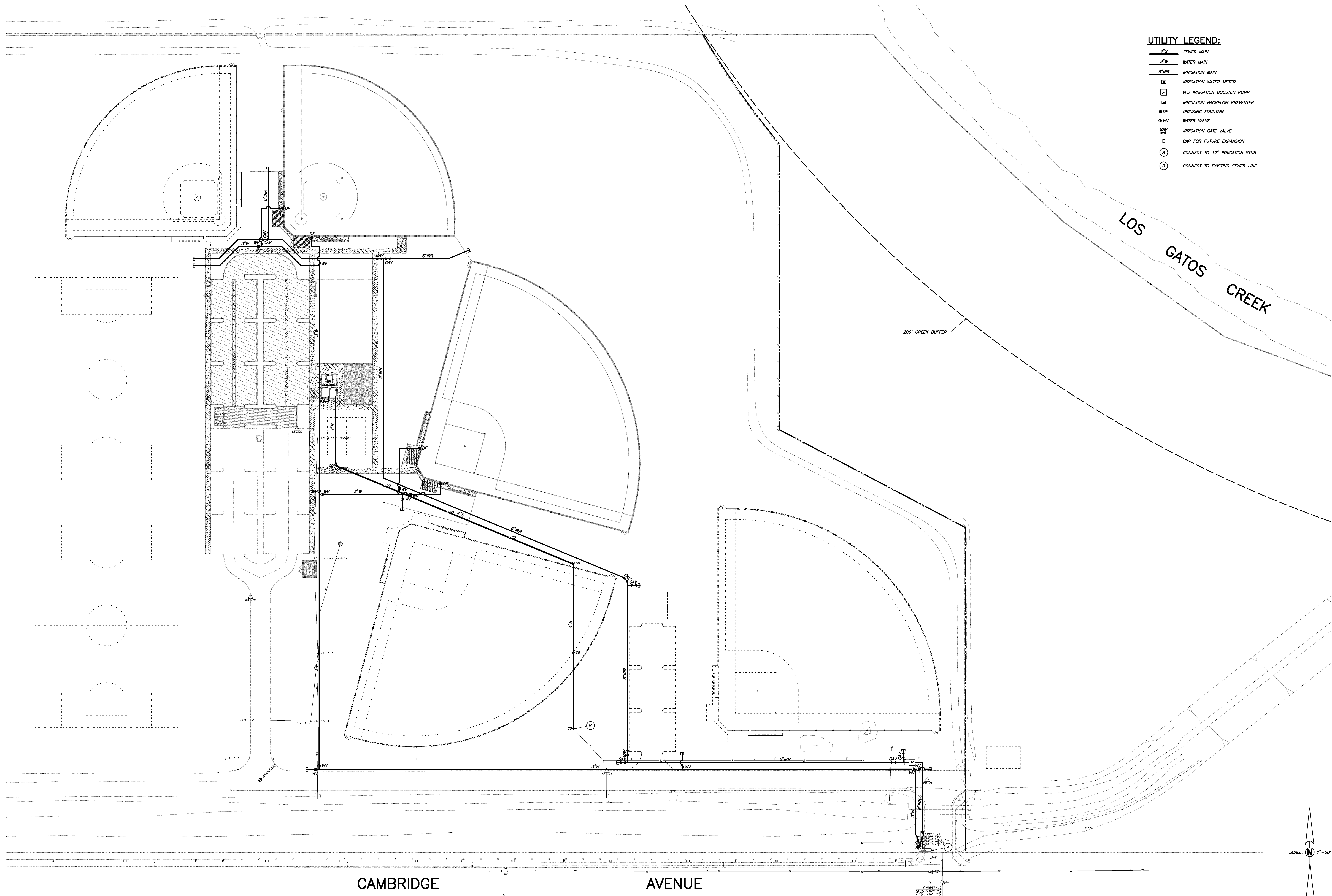
COALINGA-HURON RECREATION AND PARK DISTRICT

SPORTS COMPLEX  
PARKING LOT AND BALL FIELDS  
SITE & GRADING PLAN

PLANNING SUBMITTAL  
DR. BY: JF  
CH. BY: JF  
DATE: 06/25/2018  
SCALE: 1" = 50'  
C101







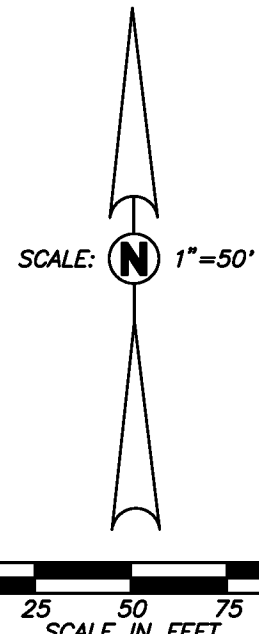
- UTILITY LEGEND:**
- 4" S SEWER MAIN
  - 3" W WATER MAIN
  - 6" IRR IRRIGATION MAIN
  - WM IRRIGATION WATER METER
  - P VTD IRRIGATION BOOSTER PUMP
  - IBF IRRIGATION BACKFLOW PREVENTER
  - DF DRINKING FOUNTAIN
  - WV WATER VALVE
  - GV IRRIGATION GATE VALVE
  - E CAP FOR FUTURE EXPANSION
  - A CONNECT TO 12" IRRIGATION STUB
  - B CONNECT TO EXISTING SEWER LINE

LOS GATOS CREEK

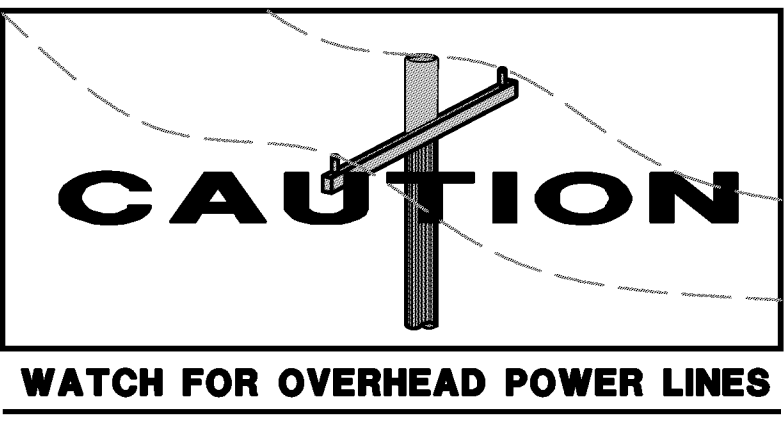
200' CREEK BUFFER

CAMBRIDGE

AVENUE



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Blair, Church & Flynn  
CONSULTING ENGINEERS



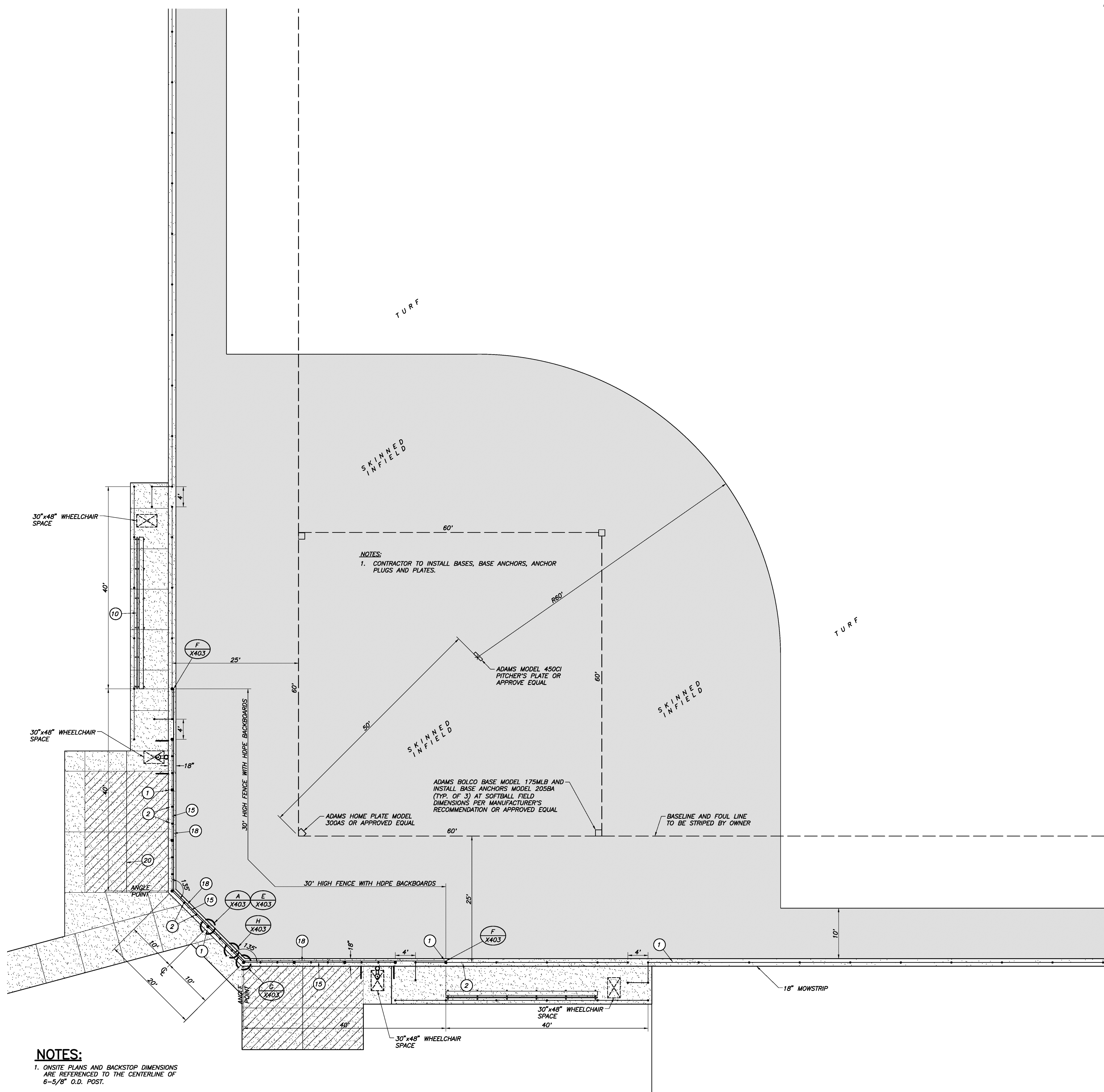
CONSULTANT  
Blair, Church & Flynn  
Consulting Engineers  
45514  
Clovis, California 93612  
Tel (559) 520-5400  
Fax (559) 520-5400

REF. & REV.

COALINGA-HURON RECREATION AND PARK DISTRICT

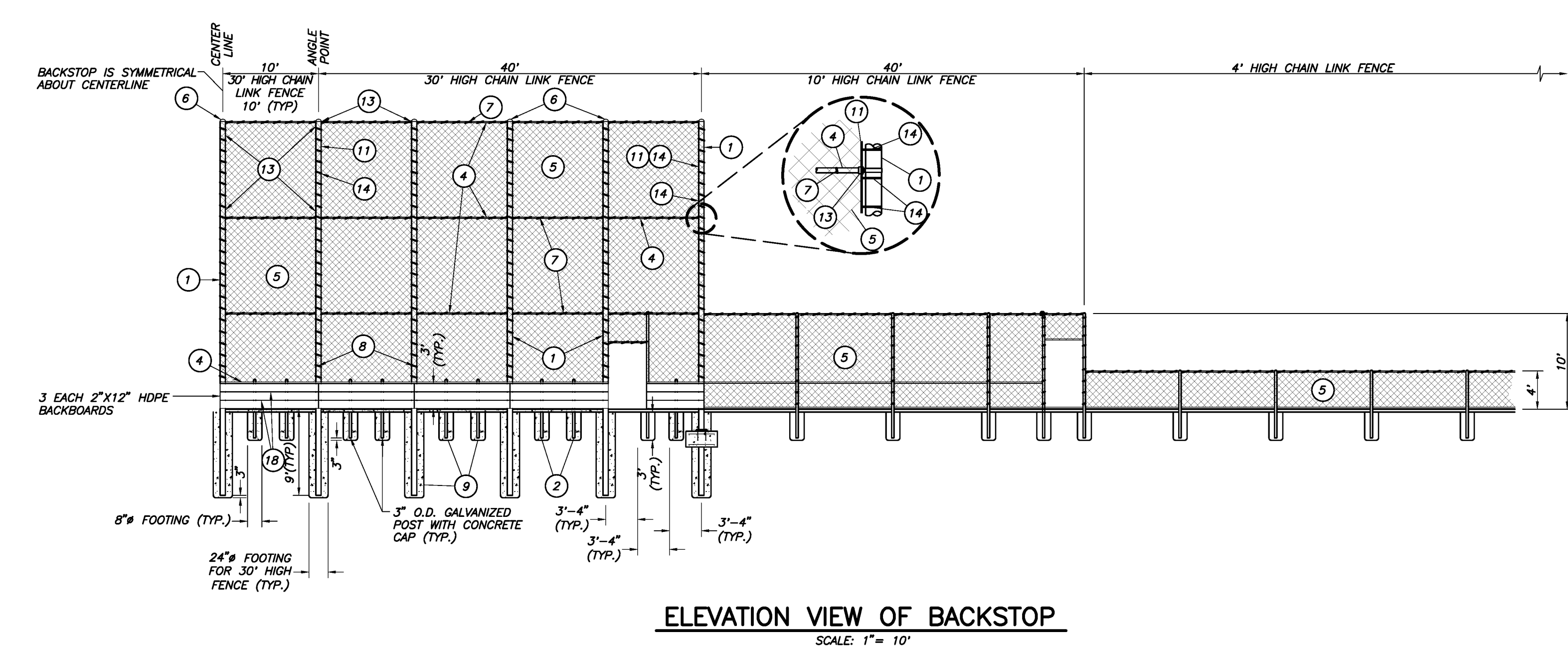
SPORTS COMPLEX  
PARKING LOT AND BALL FIELDS  
UTILITY & IRRIGATION PLAN

PLANNING SUBMITTAL  
DR. BY: JF  
CH. BY: JF  
DATE: 06/25/2018  
SCALE: 1" = 50'  
C201

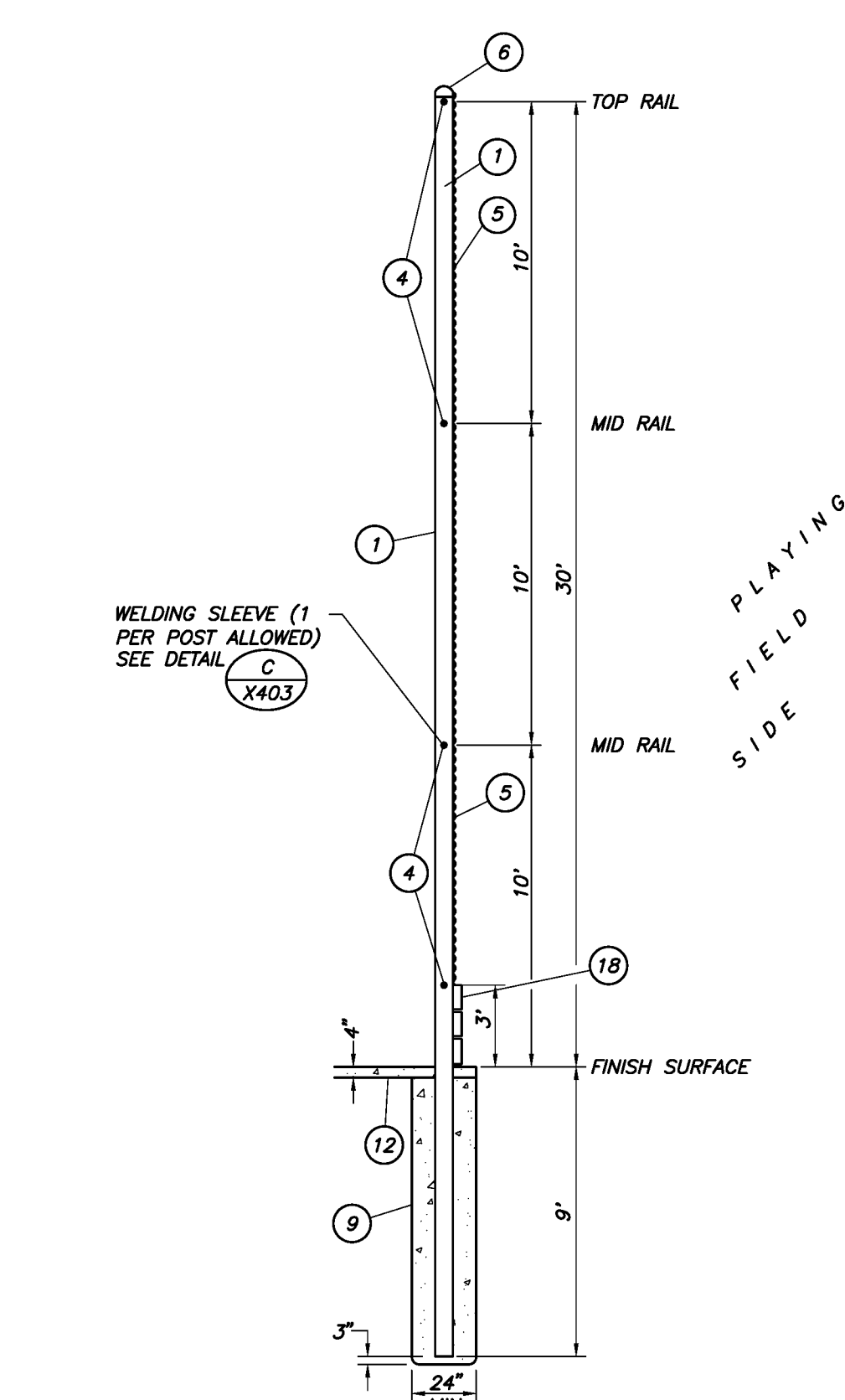


**NOTES:**  
1. ONSITE PLANS AND BACKSTOP DIMENSIONS ARE REFERENCED TO THE CENTERLINE OF 6-5/8" O.D. POST.  
2. SEE SITE PLAN FOR BLEACHER PAD/SITE CONCRETE.

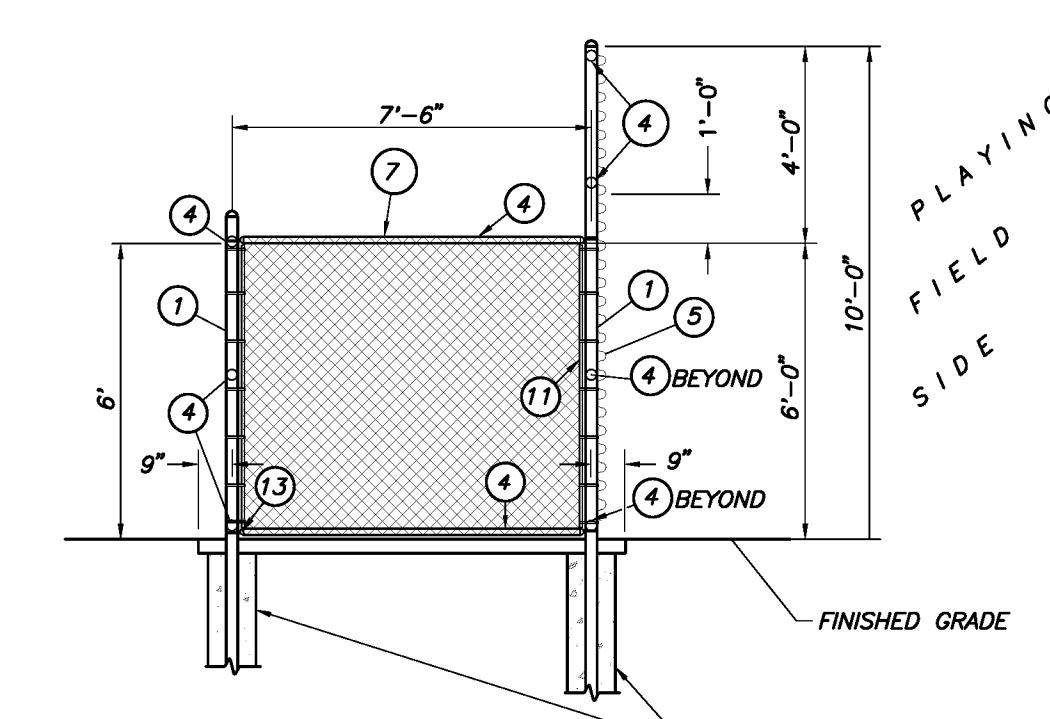
**SOFTBALL FIELD LAYOUT (SLOW PITCH)**  
SCALE: 1"= 10'



**ELEVATION VIEW OF BACKSTOP**  
SCALE: 1"= 10'



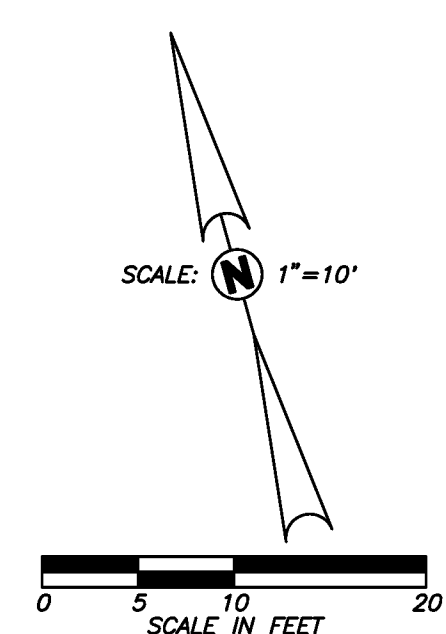
**SECTION A-A (TYPICAL)**  
NOT TO SCALE



**SECTION C-C**  
NOT TO SCALE

- BACKSTOP LEGEND:**
- 1 6-5/8" O.D. GALVANIZED STEEL POST (18.97 LB/FT)
  - 2 2-3/8" O.D. GALVANIZED STEEL MID-BRACE POST (3.65 LB/FT)
  - 3 2-3/8" O.D. GALVANIZED STEEL POST (3.65 LB/FT)
  - 4 1-5/8" O.D. GALVANIZED HORIZONTAL/VERTICAL RAIL (2.27 LB/FT)
  - 5 2" MESH X 9 GAUGE GALVANIZED FABRIC WITH KNUCKLED TOP AND BOTTOM SELVAGE. FABRIC TO BE GALVANIZED BEFORE WEAVING (GBW)
  - 6 RAIN-PROOF POST CAP
  - 7 9 GAUGE (0.148" DIAMETER) GALVANIZED STEEL TIE WIRES AT 14" MAXIMUM SPACING (MINIMUM OF 8 TIES BETWEEN 10' SPACED POST)
  - 8 9 GAUGE (0.148" DIAMETER) GALVANIZED STEEL POST CLIPS AT 14" MAXIMUM SPACING (MINIMUM OF 9 CLIPS PER EACH 10' POST SECTION)
  - 9 CONCRETE POST FOOTING. POUR AGAINST UNDISTURBED SOIL
  - 10 30' LONG TEAM BENCH PER (X403)
  - 11 1/4" X 3/4" GALVANIZED STEEL STRETCHER BAR
  - 12 6" THICK CONCRETE SLAB, SEE STRUCTURAL SHEET S100 FOR ADDITIONAL INFORMATION
  - 13 GALVANIZED RAIL END
  - 14 GALVANIZED STRETCHER BAR BANDS AT 12" MAXIMUM SPACING (MINIMUM OF 11 BANDS PER EACH 10' POST SECTION)
  - 15 30' HIGH CHAIN LINK FENCE (3-10' HIGH PANELS)
  - 16 6' HIGH CHAIN LINK FENCE PER (X201)
  - 17 8' HIGH CHAIN LINK FENCE PER (X201)
  - 18 2" X 12" DURAWOOD HOPE BOARD, SEE NOTE 2 THIS SHEET AND (X403)
  - 19 24" WIDE X 4" THICK CONCRETE MOWSTRIP
  - 20 EXPANSION JOINT

- NOTES:**
- 30 FT. HIGH FENCE SHALL BE CONSTRUCTED WITH MINIMUM 39 FT. LONG GALVANIZED STEEL POST WITH WELDING SLEEVE INSERT. ONE SLEEVE PER POST ALLOWED. SEE DETAIL "C" ON SHEET X501 FOR WELD SLEEVE DETAIL. (POST MAY BE IN ONE PIECE.)
  - BACKBOARDS SHALL BE TANGENT WOOD HIGH DENSITY POLYETHYLENE (HOPE) RECYCLED GREEN DURAWOOD PLASTIC BOARD REPRESENTED. CONTACT STEVE ANDERSON AT TANGENT TECHNOLOGIES FOR LOCAL DISTRIBUTOR, 1001 SULLIVAN ROAD, AURORA, ILLINOIS, 60006, PHONE (630)264-1110, FAX (630)264-6881.
  - ALL SCREWS, NUTS, AND WASHERS SHALL BE GALVANIZED STEEL.
  - ALL DAMAGED GALVANIZED SURFACES AND WELDED AREAS SHALL BE CLEANED AND PAINTED WITH A MINIMUM OF TWO (2) COATS OF ZINC OXIDE PER THE REQUIREMENTS OF FEDERAL SPECIFICATION MIL-P-15145 AND TWO ALUMINUM COLOR COATS.
  - ALL STEEL ANGLES FOR BACKBOARDS TO BE GALVANIZED STEEL.
  - SEE DETAIL "C" FOR POST WELDING DETAILS.
  - FACE OF ALL BACKSTOPS POSTS ARE TO ALIGN WITH THE FACE OF 6-5/8" O.D. POSTS. THE CENTER OF 6-5/8" O.D. POST TO BE 9" FROM EDGE OF CONCRETE.
  - ALL EXPOSED EDGES OF GALVANIZED ANGLE IRON SHALL BE ROUNDED SMOOTH OR GROUND SMOOTH.
  - MINIMUM LENGTH OF BACKSTOP BACKBOARDS TO BE 7 1/2' OR 10 1/2' (POST TO POST). MAXIMUM LENGTH TO BE 10 1/2'.
  - PROVIDE 3/8" GAP BETWEEN HOPE BOARDS. BOARDS NOT TO BE BUTTED TOGETHER.
  - ALL CONCRETE TO BE IN CONFORMANCE WITH SPECIFICATIONS
  - AFTER INSTALLATION, CUT END OF SCREWS SO THAT MAXIMUM EXTRUSION BEYOND NUT IS NO MORE THAN 1/4".
  - DRILL 3/4" MINIMUM HOLES THROUGH PLASTIC BOARDS AND ANGLES FOR 1/2" GALVANIZED STEEL SCREWS. CONTINUOUS ANGLES SHALL HAVE ELONGATED HOLES, SEE DETAIL DRAWINGS.
  - ALL EXPOSED ENDS OF THE BACKSTOP BACKBOARDS TO BE ROUNDED SMOOTH WITH 3/16" QUARTER ROUND ROUTER BIT.
  - TACK WELD ALL NUTS ONTO BOLTS BELOW 8" IN HEIGHT.



**Blair, Church & Flynn**  
CONSULTING ENGINEERS

LANDSCAPE ARCHITECT  
PLAY REVIEW ONLY  
NOT FOR CONSTRUCTION

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Consulting Engineers  
455 Davis Avenue,  
Suite 200  
Clovis, California 93612  
Tel (559) 520-5400  
Fax (559) 520-5400

REF. & REV.

**COALINGA-HURON RECREATION AND PARK DISTRICT**

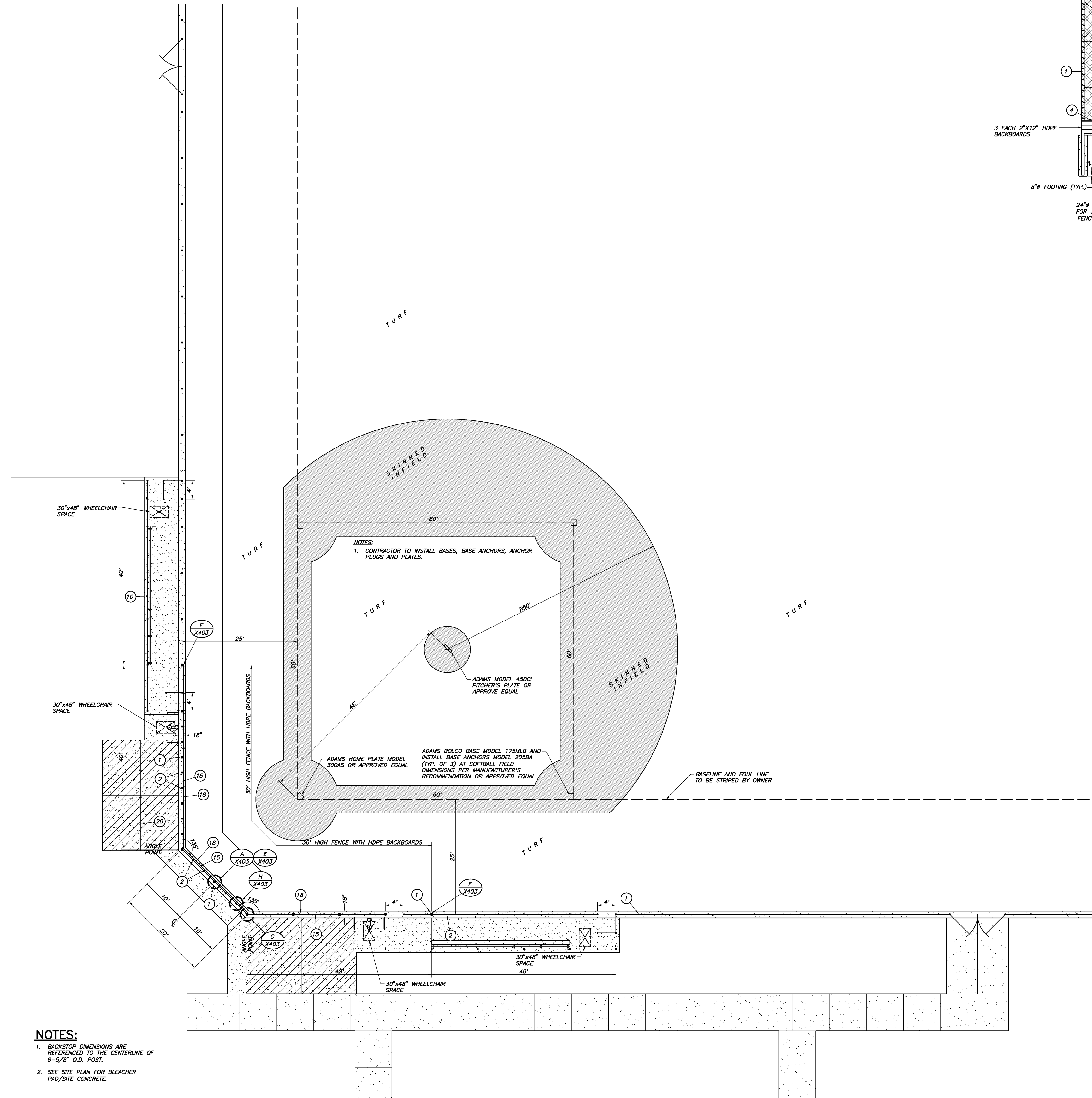
SPORTS COMPLEX  
PARKING LOT AND BALL FIELDS  
SOFTBALL BACKSTOP

PLANNING SUBMITTAL

DR. BY: TJ  
CH. BY: TJ  
DATE: 02/25/2018  
SCALE: AS NOTED

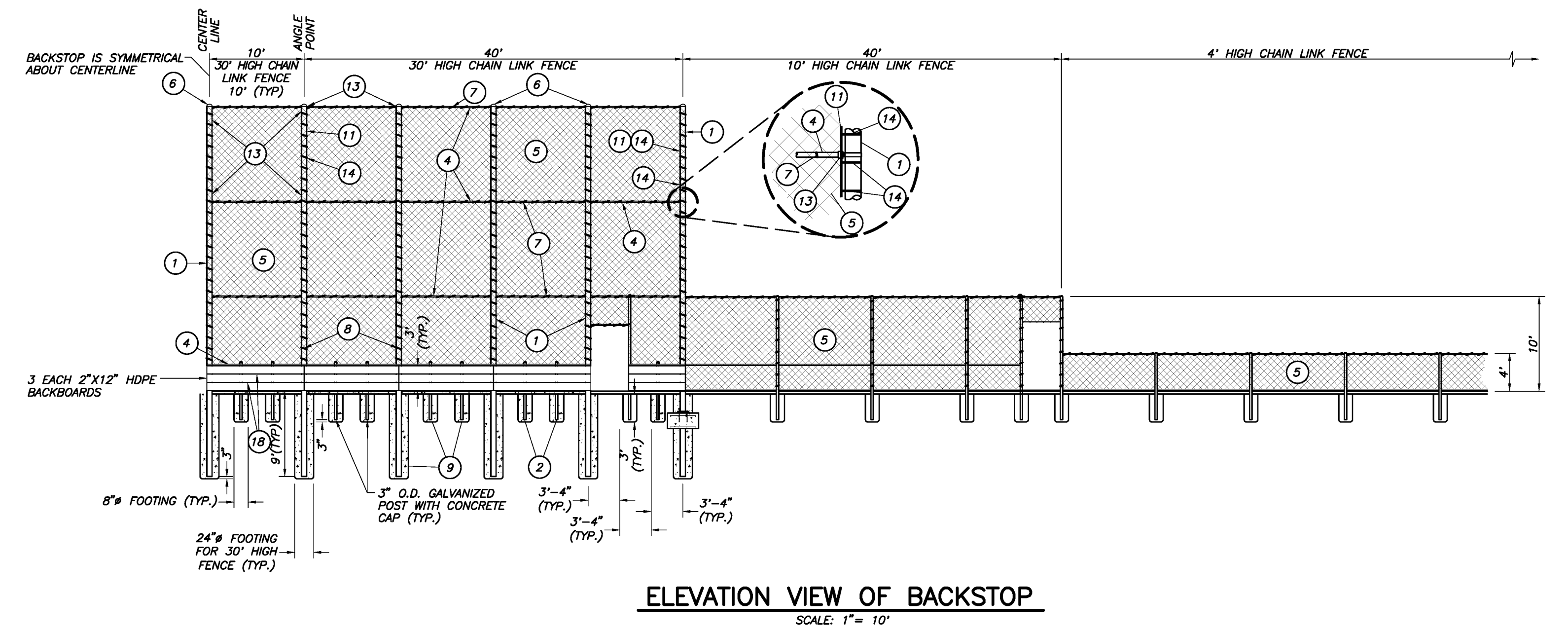
**X401**



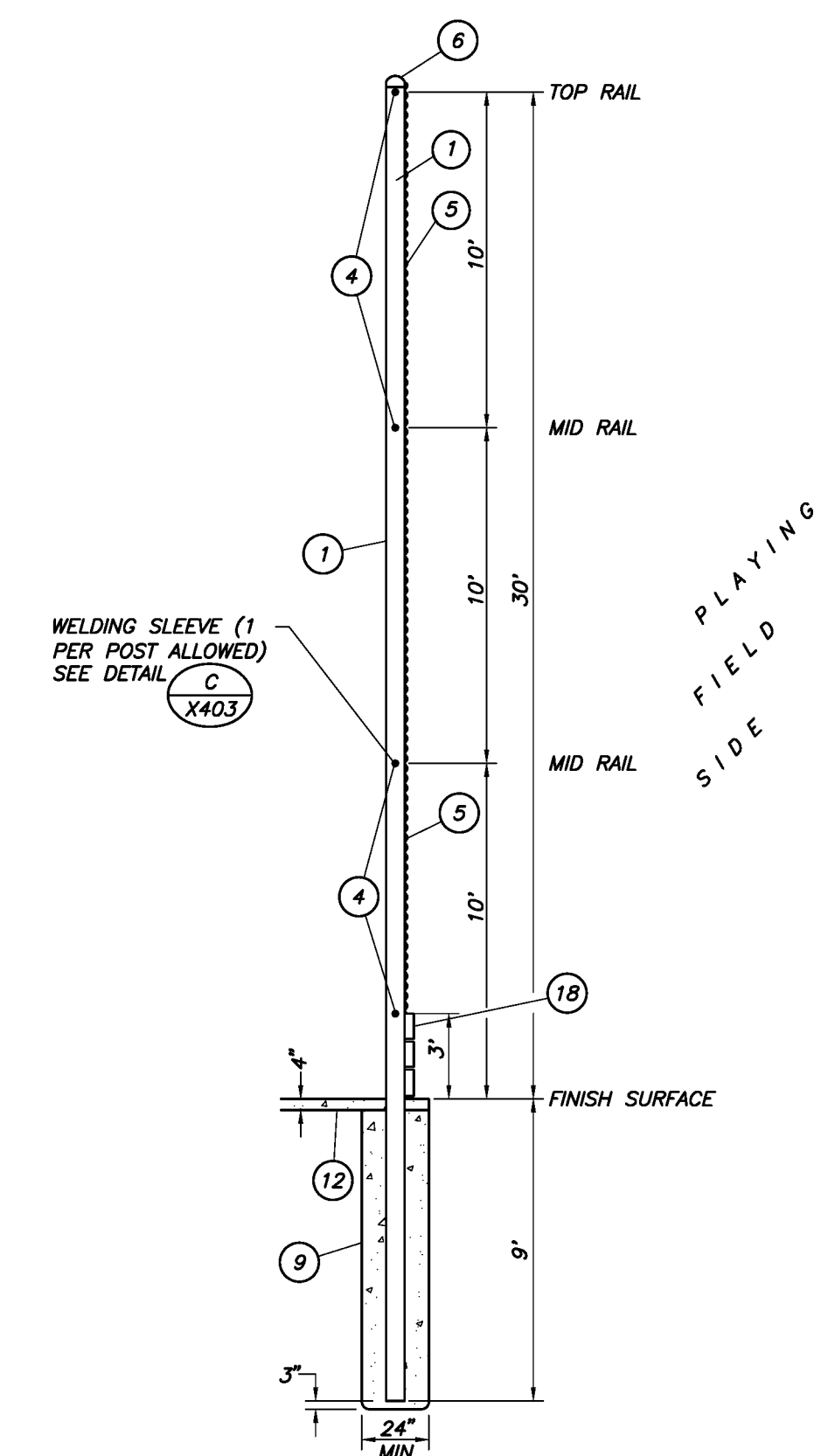


- NOTES:**
- BACKSTOP DIMENSIONS ARE REFERENCED TO THE CENTERLINE OF 6-5/8" O.D. POST.
  - SEE SITE PLAN FOR BLEACHER PAD/SITE CONCRETE.

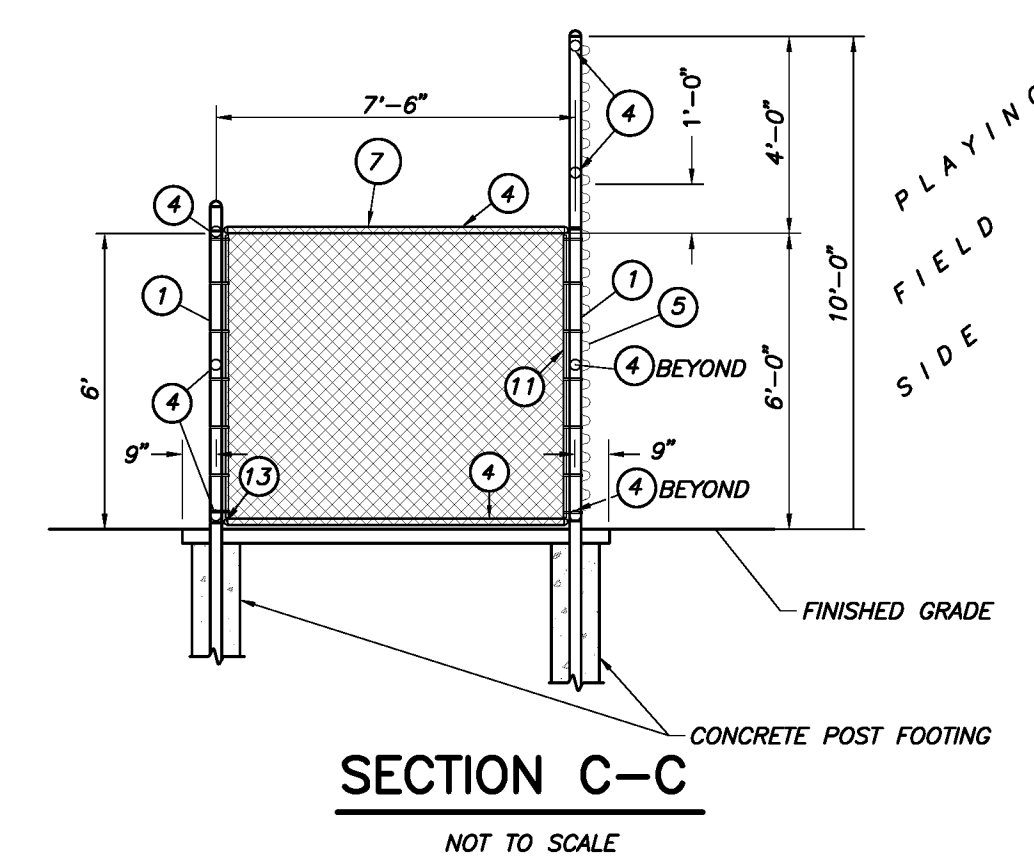
**BASEBALL FIELD LAYOUT (LITTLE LEAGUE)**  
SCALE: 1"=10'



**ELEVATION VIEW OF BACKSTOP**  
SCALE: 1"=10'



**SECTION A-A (TYPICAL)**  
NOT TO SCALE



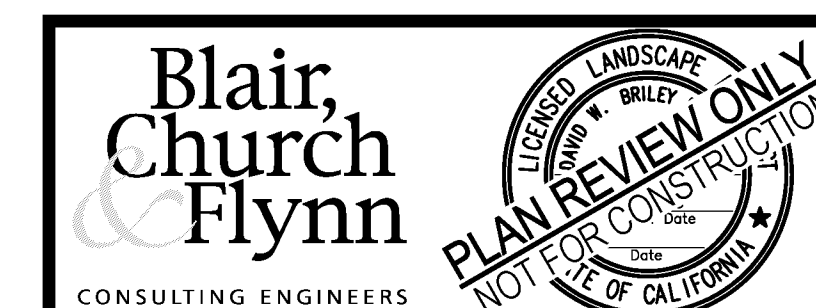
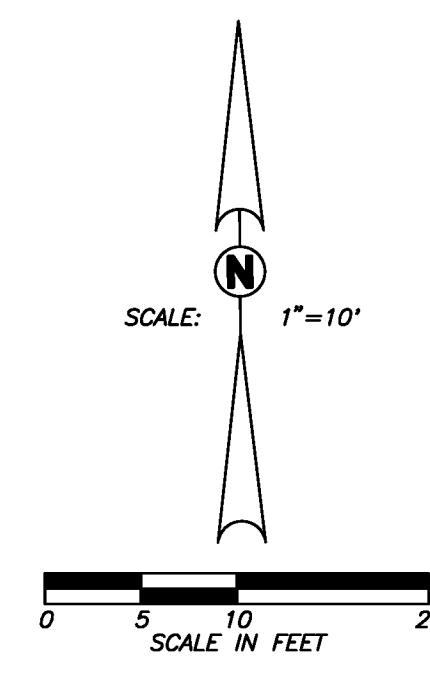
**SECTION C-C**  
NOT TO SCALE

**BACKSTOP LEGEND:**

- 6-5/8" O.D. GALVANIZED STEEL POST (18.97 LB/FT)
- 2-3/8" O.D. GALVANIZED STEEL MID-BRACE POST (3.65 LB/FT)
- 2-3/8" O.D. GALVANIZED STEEL POST (3.65 LB/FT)
- 1-5/8" O.D. GALVANIZED HORIZONTAL/VERTICAL RAIL (2.27 LB/FT)
- 2" MESH X 9 GAUGE GALVANIZED FABRIC WITH KNUCKLED TOP AND BOTTOM SELVAGE. FABRIC TO BE GALVANIZED BEFORE WEAVING (GBW)
- RAIN-PROOF POST CAP
- 9 GAUGE (0.148" DIAMETER) GALVANIZED STEEL TIE WIRES AT 14" MAXIMUM SPACING (MINIMUM OF 8 TIES BETWEEN 10' SPACED POST)
- 9 GAUGE (0.148" DIAMETER) GALVANIZED STEEL POST CLIPS AT 14" MAXIMUM SPACING (MINIMUM OF 9 CLIPS PER EACH 10' POST SECTION)
- CONCRETE POST FOOTING. POUR AGAINST UNDISTURBED SOIL
- 30' LONG TEAM BENCH PER (X403)
- 1/4" X 3/4" GALVANIZED STEEL STRETCHER BAR
- 6" THICK CONCRETE SLAB, SEE STRUCTURAL SHEET S100 FOR ADDITIONAL INFORMATION
- GALVANIZED RAIL END
- GALVANIZED STRETCHER BAR BANDS AT 12" MAXIMUM SPACING (MINIMUM OF 11 BANDS PER EACH 10' POST SECTION)
- 30' HIGH CHAIN LINK FENCE (3-10' HIGH PANELS)
- 6' HIGH CHAIN LINK FENCE PER (X403)
- 8' HIGH CHAIN LINK FENCE PER (X403)
- 2" X 12" DURAWOOD HOPE BOARD, SEE NOTE 2 THIS SHEET AND (X403)
- 24" WIDE X 4" THICK CONCRETE MOWSTRIP
- EXPANSION JOINT

**NOTES:**

- 30 FT. HIGH FENCE SHALL BE CONSTRUCTED WITH MINIMUM 39 FT. LONG GALVANIZED STEEL POST WITH WELDING SLEEVE INSERT. ONE SLEEVE PER POST ALLOWED. SEE DETAIL "C" ON SHEET X501 FOR WELD SLEEVE DETAIL. (POST MAY BE IN ONE PIECE)
- BACKBOARDS SHALL BE TANGENT WOOD HIGH DENSITY POLYETHYLENE (HDPE) RECYCLED GREEN DURAWOOD PLASTIC BOARD REPRESENTED. CONTACT STEVE ANDERSON AT TANGENT TECHNOLOGIES FOR LOCAL DISTRIBUTOR, 1001 SULLIVAN ROAD, AURORA, ILLINOIS, 60506, PHONE (630)264-1110, FAX (630)264-6881.
- ALL SCREWS, NUTS, AND WASHERS SHALL BE GALVANIZED STEEL.
- ALL DAMAGED GALVANIZED SURFACES AND WELDED AREAS SHALL BE CLEANED AND PAINTED WITH A MINIMUM OF TWO (2) COATS OF ZINC OXIDE PER THE REQUIREMENTS OF FEDERAL SPECIFICATION MIL-P-15145 AND TWO ALUMINUM COLOR COATS.
- ALL STEEL ANGLES FOR BACKBOARDS TO BE GALVANIZED STEEL. SEE DETAIL "C" FOR POST WELDING DETAILS.
- FACE OF ALL BACKSTOP POSTS ARE TO ALIGN WITH THE FACE OF 6-5/8" O.D. POSTS. THE CENTER OF 6-5/8" O.D. POST TO BE 9" FROM EDGE OF CONCRETE.
- ALL EXPOSED EDGES OF GALVANIZED ANGLE IRON SHALL BE ROUNDED SMOOTH OR GROUND SMOOTH.
- MINIMUM LENGTH OF BACKSTOP BACKBOARDS TO BE 7'± OR 10'± (POST TO POST). MAXIMUM LENGTH TO BE 10±.
- PROVIDE 3/8" GAP BETWEEN HOPE BOARDS. BOARDS NOT TO BE BUTTED TOGETHER.
- ALL CONCRETE TO BE IN CONFORMANCE WITH SPECIFICATIONS
- AFTER INSTALLATION, CUT END OF SCREWS SO THAT MAXIMUM EXTRUSION BEYOND NUT IS NO MORE THAN 1/4"
- DRILL 3/4" MINIMUM HOLES THROUGH PLASTIC HOLES AND ANGLES FOR 1/2" GALVANIZED STEEL SCREWS. CONTINUOUS ANGLES SHALL HAVE ELONGATED HOLES, SEE DETAIL DRAWINGS.
- ALL EXPOSED ENDS OF THE BACKSTOP BACKBOARDS TO BE ROUNDED SMOOTH WITH 3/16" QUARTER ROUND ROUTER BIT.
- TACK WELD ALL NUTS ONTO BOLTS BELOW 8" IN HEIGHT.



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REF. & REV.

**COALINGA-HURON RECREATION AND PARK DISTRICT**

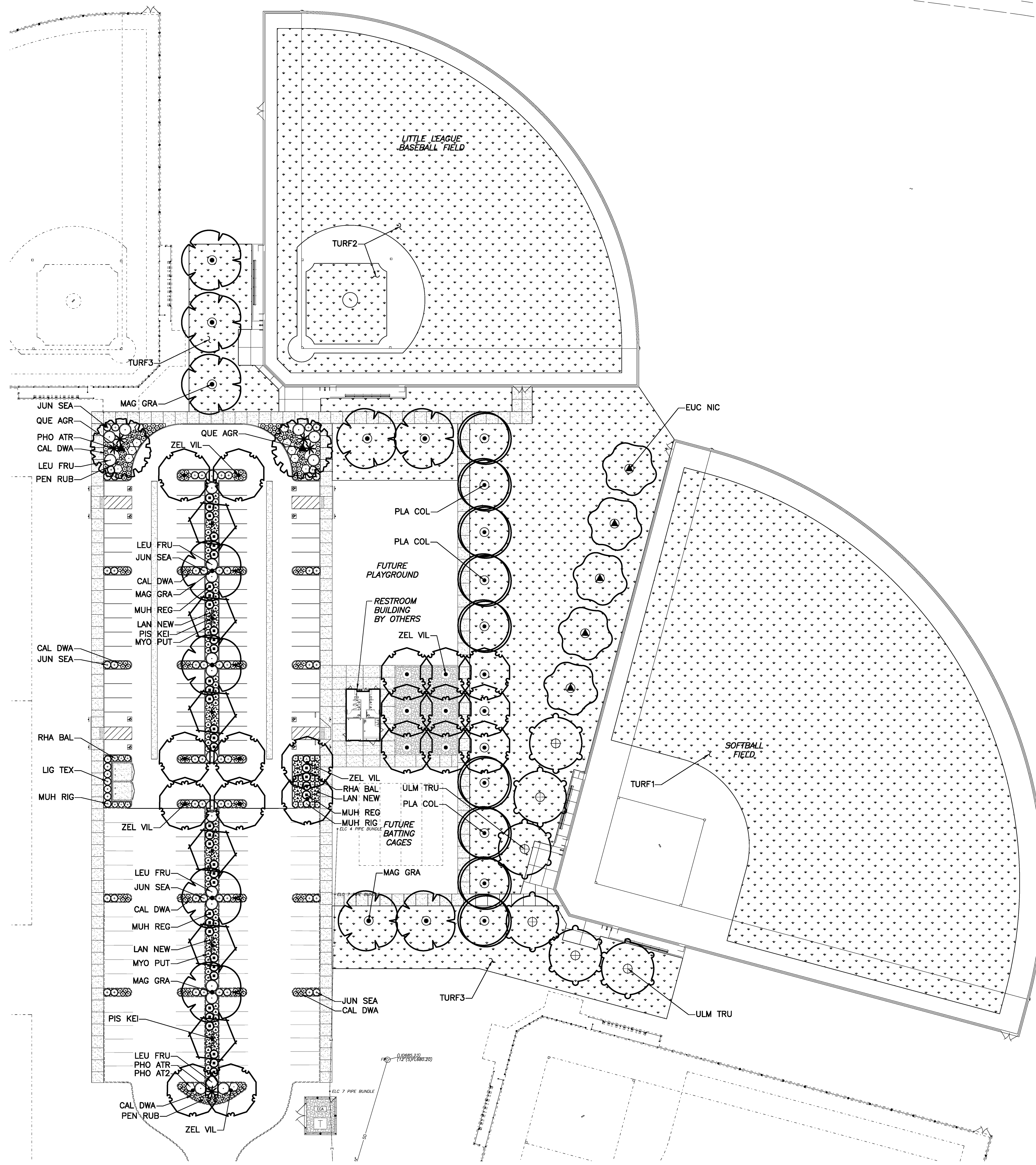
SPORTS COMPLEX  
PARKING LOT AND BALL FIELDS  
BASEBALL BACKSTOP

PLANNING SUBMITTAL

DR. BY: JF  
CH. BY: JF  
DATE: 05/25/2018  
SCALE: AS NOTED

**X402**



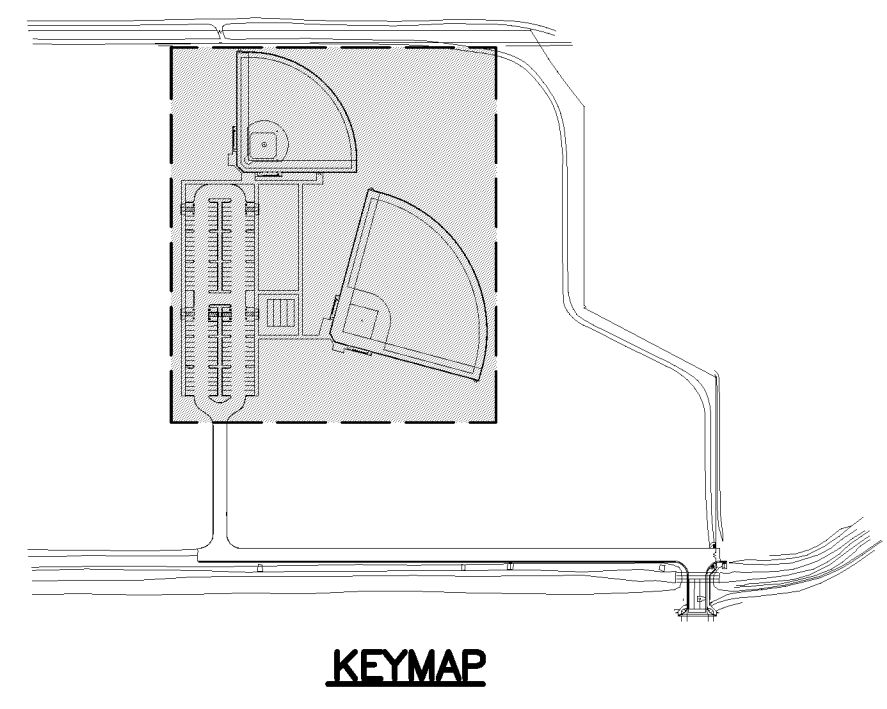
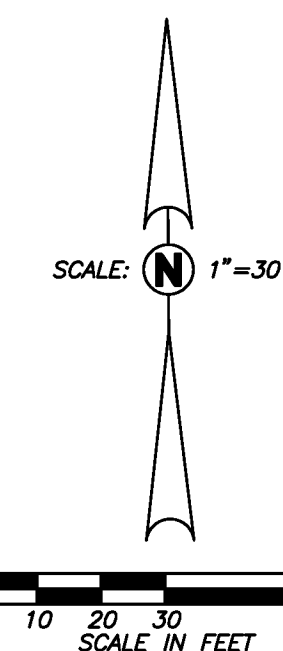


PLANTING LEGEND: TOTAL MIXED PLANTING AREA: 8,793 SF

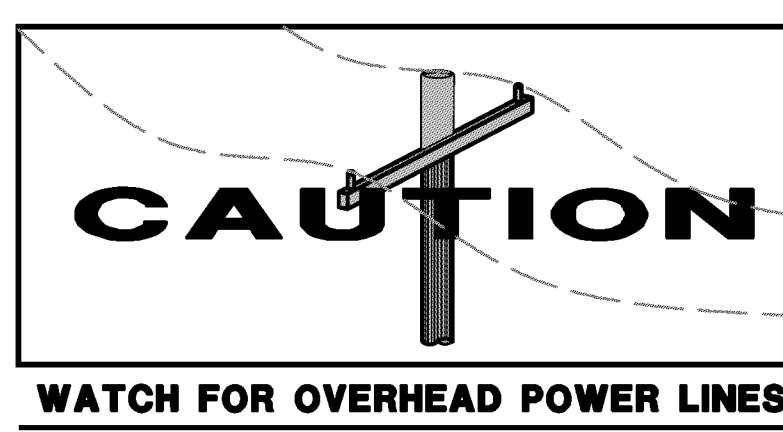
| DECIDUOUS TREES | CODE    | BOTANICAL NAME                                                   | CONT.   | WATER USE | QTY. | REMARKS |
|-----------------|---------|------------------------------------------------------------------|---------|-----------|------|---------|
|                 | PIS KEI | PISTACIA CHINENSIS 'KEITH DAVEY'<br>KEITH DAVEY CHINESE PISTACHE | 24" BOX | L         | 6    |         |
|                 | PLA COL | PLATANUS X ACERIFOLIA 'COLUMBIA'<br>LONDON PLANE TREE            | 24" BOX | M         | 9    |         |
|                 | ULM TRU | ULMUS PARVIFOLIA 'TRUE GREEN'<br>TRUE GREEN ELM                  | 24" BOX | M         | 6    |         |
|                 | ZEL VIL | ZELKOVA SERRATA 'VILLAGE GREEN'<br>VILLAGE GREEN SAWLEAF ZELKOVA | 24" BOX | M         | 19   |         |
| EVERGREEN TREES | CODE    | BOTANICAL NAME                                                   | CONT.   | WATER USE | QTY. | REMARKS |
|                 | EUC NIC | EUCALYPTUS NICHOLII<br>NICHOL'S WILLOW-LEAFED PEPPERMINT         | 24" BOX | L         | 5    |         |
|                 | MAG GRA | MAGNOLIA GRANDIFLORA<br>SOUTHERN MAGNOLIA                        | 24" BOX | M         | 11   |         |
|                 | QUE AGR | QUERCUS AGRIFFOLIA<br>COAST LIVE OAK                             | 24" BOX | VL        | 2    |         |

| SHRUBS | CODE    | BOTANICAL NAME                                                      | SIZE  | WATER USE | QTY. | REMARKS |
|--------|---------|---------------------------------------------------------------------|-------|-----------|------|---------|
|        | CAL DWA | CALLISTEMON VIMINALIS 'LITTLE JOHN'<br>DWARF WEEPING BOTTLEBRUSH    | 1 GAL | L         | 168  |         |
|        | JUN SEA | JUNIPERUS CHINENSIS 'SEA GREEN'<br>SEA GREEN JUNIPER                | 5 GAL | L         | 54   |         |
|        | LAN NEW | LANTANA X 'NEW GOLD'<br>NEW GOLD YELLOW LANTANA                     | 1 GAL | L         | 28   |         |
|        | LEU FRU | LEUCOPHYLLUM FRUTESCENS<br>TEXAS SAGE                               | 5 GAL | L         | 22   |         |
|        | LIG TEX | LIGUSTRUM JAPONICUM 'TEXANUM'<br>TEXAS PRIVET                       | 5 GAL | L         | 5    |         |
|        | MUH REG | MUHLENBERGIA CAPILLARIS 'REGAL MIST'<br>PINK MUHLY                  | 5 GAL | L         | 40   |         |
|        | MUH RIG | MUHLENBERGIA RIGENS<br>DEER GRASS                                   | 5 GAL | L         | 4    |         |
|        | MYO PUT | MYOPORUM PARVIFOLIUM 'PUTAH CREEK'<br>PUTAH CREEK MYOPORUM          | 1 GAL | L         | 60   |         |
|        | PEN RUB | PENNISETUM SETACEUM 'RUBRUM'<br>PURPLE MOUNTAIN GRASS               | 5 GAL | L         | 15   |         |
|        | PHO AT2 | PHORMIUM TENAX 'ATROPURPUREUM COMPACTUM'<br>BRONZE NEW ZEALAND FLAX | 5 GAL | L         | 12   |         |
|        | PHO ATR | PHORMIUM TENAX 'ATROPURPUREUM'<br>BRONZE NEW ZEALAND FLAX           | 5 GAL | L         | 5    |         |
|        | RHA BAL | RHAPHOLEPIS UMBELLATA 'MINOR'<br>MINOR YEDDO HAWTHORN               | 5 GAL | L         | 22   |         |

| TURFGRASS | CODE  | BOTANICAL NAME                                                        | CONT.                   | WATER USE | QTY.      | REMARKS                |
|-----------|-------|-----------------------------------------------------------------------|-------------------------|-----------|-----------|------------------------|
|           | TURF1 | IMPROVED COMMON BERMUDAGRASS BLEND<br>CERTIFIED WARM-SEASON TURFGRASS | HYDROSEED<br>4#/1,000SF | M         | 60,522 SF | SOFTBALL               |
|           | TURF2 | IMPROVED COMMON BERMUDAGRASS BLEND<br>CERTIFIED WARM-SEASON TURFGRASS | HYDROSEED<br>4#/1,000SF | M         | 39,418 SF | LITTLE LEAGUE BASEBALL |
|           | TURF3 | IMPROVED COMMON BERMUDAGRASS BLEND<br>CERTIFIED WARM-SEASON TURFGRASS | HYDROSEED<br>4#/1,000SF | M         | 50,359 SF | GENERAL SITE           |



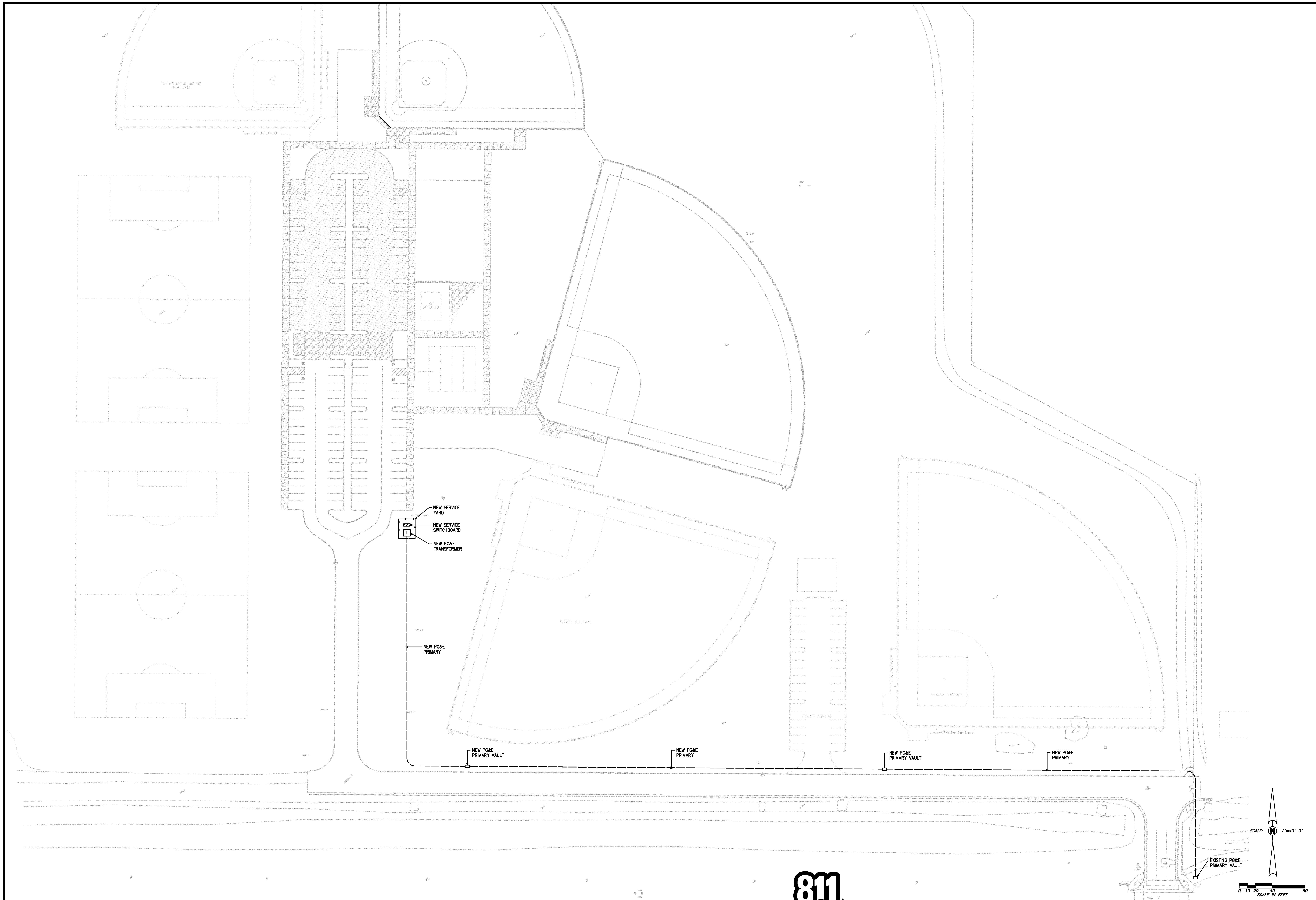
CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERFORMANCE OF WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, ON A CONTINUOUS BASIS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS.



Blair, Church & Flynn  
CONSULTING ENGINEERS

LANDSCAPE ARCHITECT  
PLANNING  
NOT FOR CONSTRUCTION  
NOT FOR SALE OF CALIFORNIA

|                                                                                                                                                                       |             |                                                                                                               |                                                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|---------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| CONSULTANT<br>Blair, Church & Flynn<br>Consulting Engineers<br>455 Davis Avenue,<br>Suite 200<br>Clovis, California 93612<br>Tel (559) 520-5400<br>Fax (559) 520-5400 | REF. & REV. | COALINGA-HURON RECREATION AND PARK DISTRICT<br>SPORTS COMPLEX<br>PARKING LOT AND BALL FIELDS<br>PLANTING PLAN | PLANNING SUBMITTAL<br>DR. BY: JF<br>CH. BY: JF<br>DATE: 04/25/2018<br>SCALE: AS NOTED |
|                                                                                                                                                                       |             |                                                                                                               | L101                                                                                  |



**HD**  
Hardin-Davidson Engineering  
356 Pollack Ave., Suite 200  
Clovis, CA 93612  
559.323.4995 tel • 559.323.4928 fax



**Blair, Church & Flynn**  
CONSULTING ENGINEERS



CONSULTANT  
Blair, Church & Flynn  
Consulting Engineers  
455 Clovis Avenue,  
Suite 200  
Clovis, California 93612  
Tel (559) 326-5400  
Fax (559) 326-1500

REF. & REV.

**COALINGA-HURON RECREATION AND PARK DISTRICT**  
SPORTS COMPLEX  
PARKING LOT AND BALL FIELDS  
**ELECTRICAL UTILITY PLAN**

PLANNING SUBMITTAL  
DR. BY: HDE  
CH. BY: HDE  
DATE: 05/15/2018  
SCALE: 1"=20'  
**E101**



Sean Brewer, Director  
City of Coalinga  
Community Development Department  
155 West Durian  
Coalinga, CA 93210

June 1, 2018  
File No. 216-0580

**Subject: Site Plan Review - Supplemental Submittal for CHRPD Sports Complex**

Dear Mr. Brewer:

As subsequent submittal to our earlier submittal for the Coalinga-Huron Recreation and Park District's Sports Complex project, I am submitting two sets of the overall site, grading, utility and landscape plans so that you can get a better idea of the design intent. Also enclosed in the plan set are detailed drawings of the proposed adult softball and Little League baseball field backstop and infield areas.

In addition to the ballfields, the project includes expansion of the existing parking area, a 785 sf modular restroom and concession building, areas set aside for future playground and batting cages, and an initial landscape and irrigation system. Future project elements may include one additional Little League field, one additional adult softball field, and two soccer fields.

Further information per your prior comments/requests are provided below.

Restroom and Concession Building

The restroom and concession building shall be a modular construction. A rendering, floor plan and elevations are included in the Appendix.

Landscape Design

The overall planting design is shown on Sheet L101. The proposed turfgrass species is an improved Common Bermudagrass blend. Trees are located to provide shade at picnic and ballfield spectator areas.

Domestic Water and Irrigation Sources

The proposed irrigation source is the existing 12 inch stub at the entrance to the facility at Cambridge Avenue. A proposed booster pump will provide additional pressure for the irrigation system. Calculations for Irrigation capacity for the proposed 6 inch main line, and expected Monthly Demand Calculations for both the Phase 1, and Phase 1 and 2 are provided in the Appendix.

Signage

Monument signage is not included in the current project and is a future element.



### Security and Field Lighting

No lighting is provided in the current project. Electrical infrastructure for future phased site and sports lighting will be included in the current project.

### Bleachers

No bleachers will be installed by the Contractor. Bleachers will be provided by the Owner.

### Fire Hydrants

No additional fire hydrants are proposed for the current project.

### Drinking Fountains

Accessible high/low drinking fountains are proposed at the Restroom/Concession building, and by each dugout/bleacher pad at the ballfields (two per field).

### Power Service Connections

A PG&E power service is proposed for the site from the existing PG&E vault east of the site entrance roadway. See sheet E101.

### Setback from Los Gatos Creek

The 200 foot buffer from Los Gatos Creek is shown on sheet C101. All proposed improvements are well away from the buffer line.

Please contact me if you need any additional information or materials for your review.

BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS

David Briley, MLA  
Landscape Architect

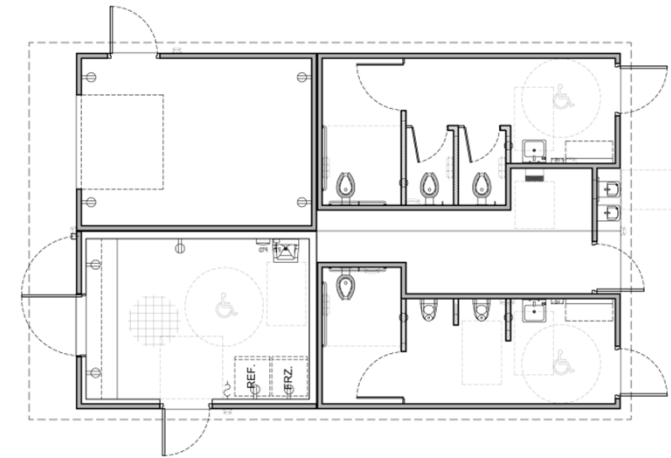
### APPENDIX

Building Plans by the Public Restroom Company – 4 pages

Irrigation Capacity – Irrigated Area per Available Flow – 1 page

Monthly Irrigation Demand for Phase 1 - 1 page

Monthly Irrigation Demand for Phase 1 + 2 Overall – 1 page



## FLOOR PLAN

SCALE: NOT TO SCALE



## COALINGA-HURON SPORTS COMPLEX

COALINGA-HURON, CALIFORNIA

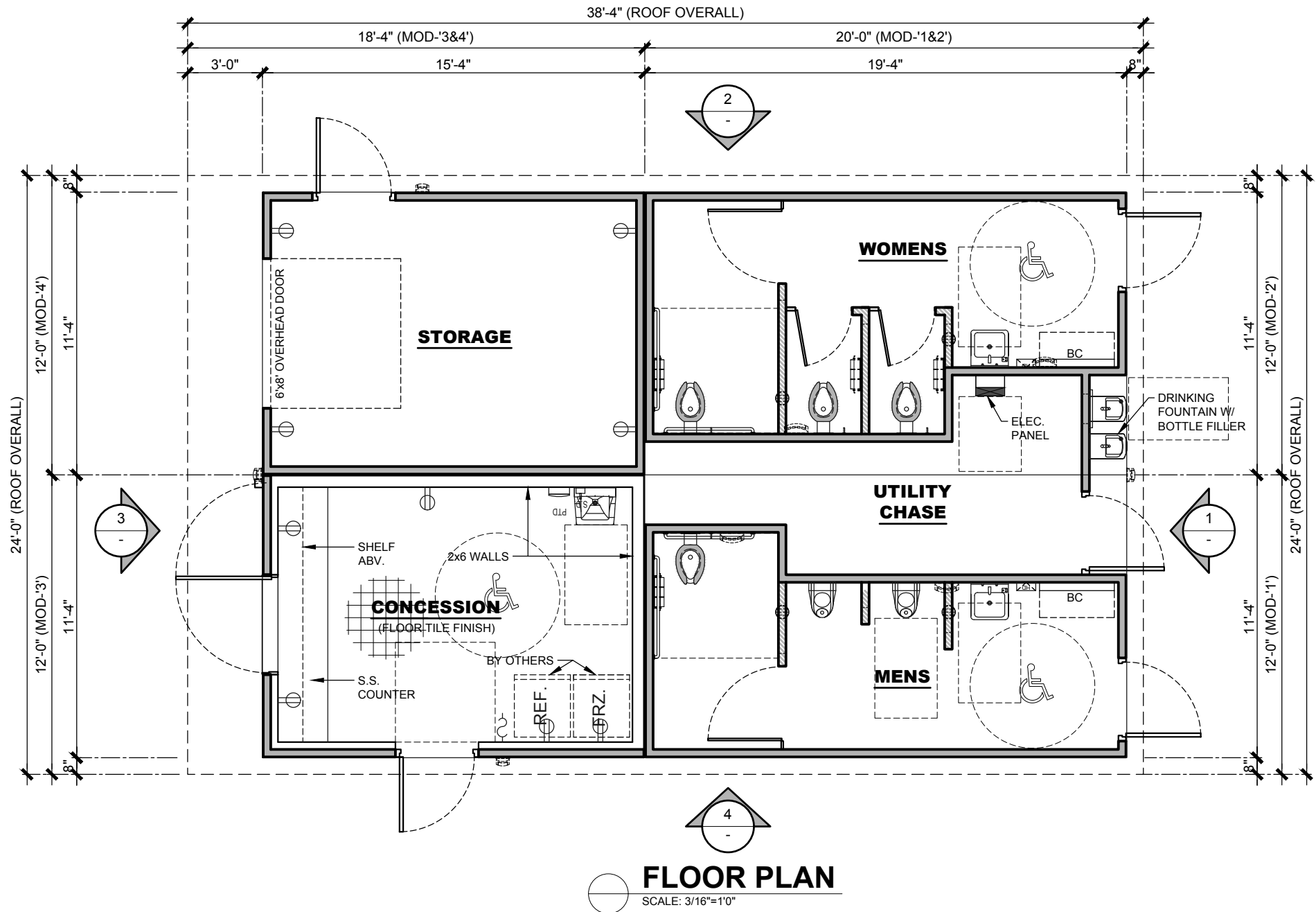
## RESTROOM/CONCESSION/ STORAGE BUILDING

ARTIST IMPRESSION: 3D RENDERING ONLY FOR REPRESENTATION. COLORS AND MATERIALS ARE SUBJECT TO CHANGE

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[www.PublicRestroomCompany.com](http://www.PublicRestroomCompany.com)  
2587 BUSINESS PARKWAY  
MINDEN NEVADA 89423  
P: 888-888-2060 F: 888-888-1448



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BUILDING TYPE: **RESTROOM/ CONCESSION/ STORAGE BUILDING**

PROJECT: **COAINGA-HURON SPORTS COMPLEX  
COALINGA HURON, CA**

REVISION #

-

PROJECT #:

**10236**

REVISION DATE:

DRAWN BY:

START DATE: **5/14/2018**

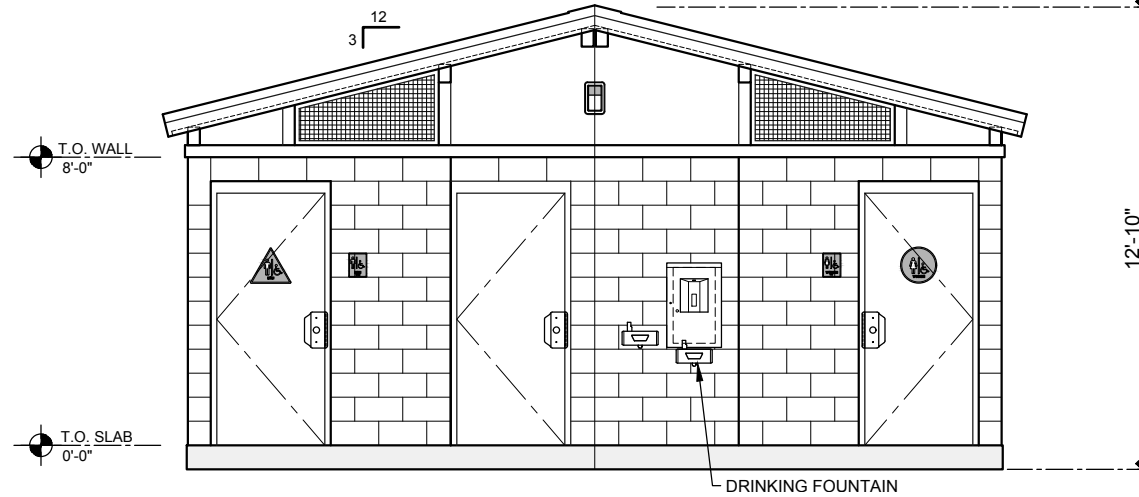
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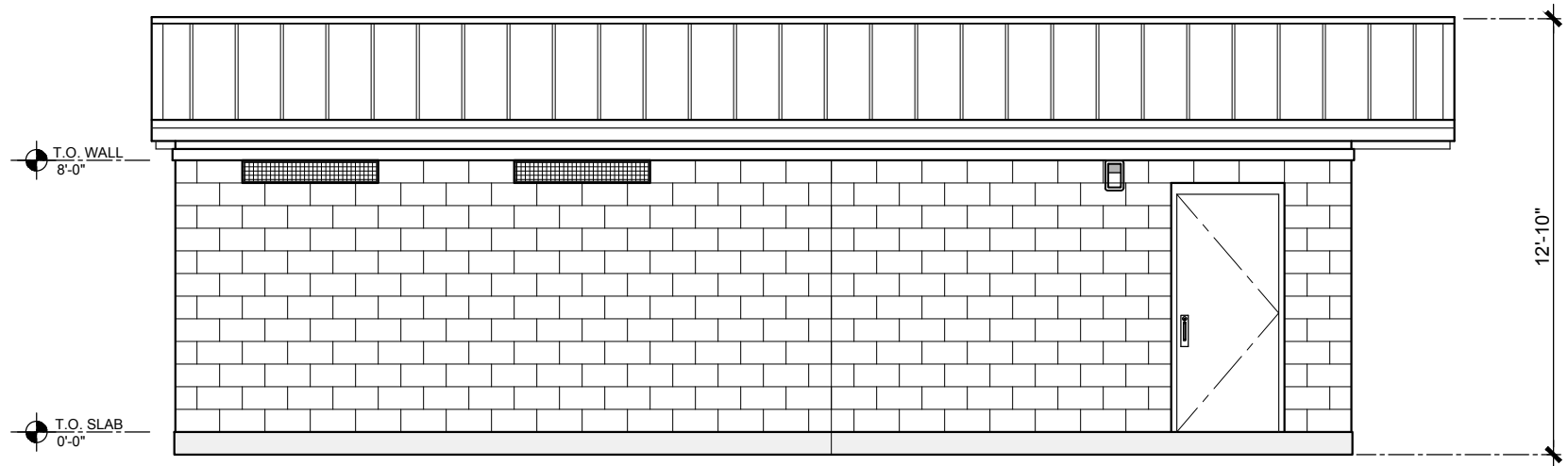
**A-1**

MAX. PERSON / HOUR:

**270 M**

**ELEVATION 1**

SCALE: 3/16"=1'-0"

**ELEVATION 2**

SCALE: 3/16"=1'-0"



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BUILDING TYPE: **RESTROOM/ CONCESSION/ STORAGE BUILDING**

PROJECT: **COAINGA-HURON SPORTS COMPLEX  
COALINGA HURON, CA**

REVISION #

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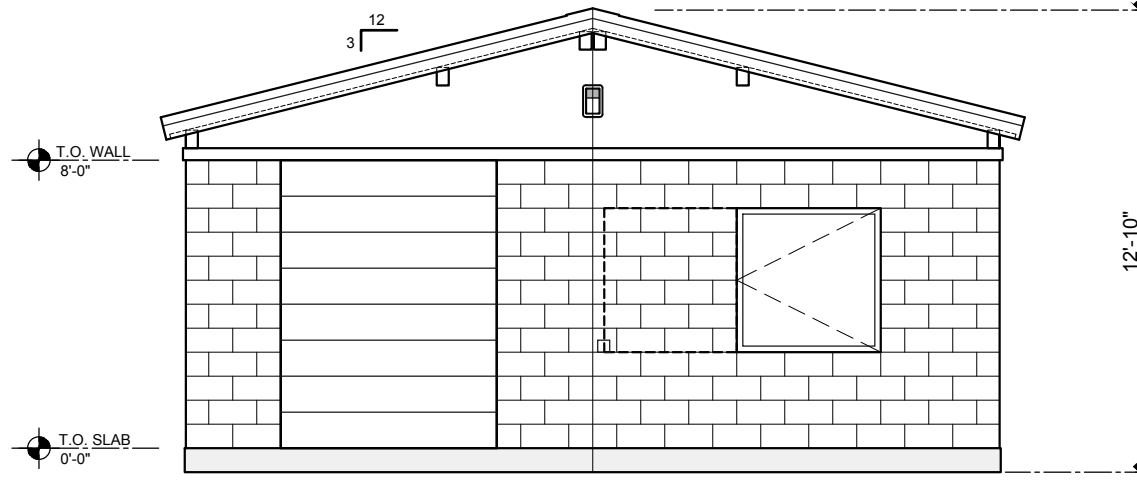
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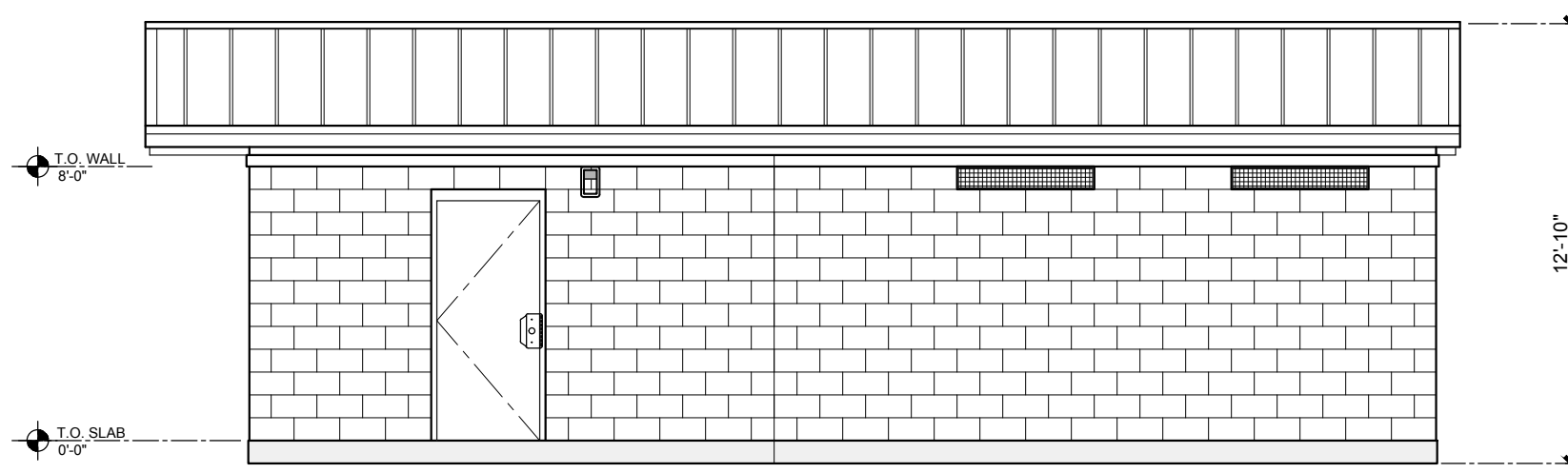
**A-2**

MAX. PERSON / HOUR:

**270 M**

**ELEVATION 3**

SCALE: 3/16"=1'-0"

**ELEVATION 4**

SCALE: 3/16"=1'-0"



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BUILDING TYPE: **RESTROOM/ CONCESSION/ STORAGE BUILDING**

PROJECT: **COAINGA-HURON SPORTS COMPLEX  
COALINGA HURON, CA**

REVISION #

-

PROJECT #:

**10236**

REVISION DATE:

DRAWN BY:

START DATE: **5/14/2018**

DRAWN BY: EOR

SHEET#

**A-3**

MAX. PERSON / HOUR:

**270 M**

## IRRIGATION CAPACITY - IRRIGATED AREA PER AVAILABLE FLOW

5/30/2018

**PROJECT:** COALINGA-HURON SPORTS COMPLEX

**LOCATION:** COALINGA, Fresno County

|                                  | DATA              | COMMENTS                         |
|----------------------------------|-------------------|----------------------------------|
| July ETo:                        | 8.50              | Coalinga                         |
| Daily ETo:                       | 0.27              |                                  |
| Available Daily GPM:             | 400               | 90% of available flow - 6" CL200 |
| Plant Factor:                    | 0.60              | Bermudagrass                     |
| Irrigation Efficiency:           | 0.71              |                                  |
| Irrigation Hours:                | 8.0               | 10pm - 6am                       |
| <hr/>                            |                   |                                  |
| MAXIMUM IRRIGATED AREA:          | 1,327,903<br>30.5 | square feet - turfgrass<br>acres |
| PLANNED IRRIGATION AREA-Phase 1: | 159,000<br>3.7    | square feet - turfgrass<br>acres |
| PLANNED IRRIGATION AREA-Phase 2: | 530,000<br>12.2   | square feet - turfgrass<br>acres |
| <hr/>                            |                   |                                  |
| PLANNED IRRIGATION AREA-TOTAL:   | 689,000<br>15.8   | square feet - turfgrass<br>acres |

### ASSUMPTIONS & NOTES:

AREA is calculated by the following:  $GPM \times Hrs \times IE / 0.0104 \times ETo \times K$  where:

GPM is gallons per minute of available flow

ETo is reference evapo-transpiration (inches/day)

Area is irrigated square footage of turfgrass.

K is the plant adjustment factor (percent of ETo)

Hrs is the available daily time in hours for irrigation

IE is irrigation system efficiency

## WATER MANAGEMENT CALCULATIONS - MONTHLY DEMAND (WITH PRECIPITATION)

**Project:** COALINGA-HURON SPORTS COMPLEX - PHASE 1

**Location:** Coalinga, Fresno County

**ETo Reference:** Coalinga, Fresno County

**Precipitation Reference (WRCC):** Fresno, Fresno County

| LANDSCAPE TYPES (PA)         | 176,600 SF | LANDSCAPE FACTOR (K) |  | IRRIGATION EFFICIENCY (IE) |  | typical IE (DU <sub>LH</sub> ) coefficients |  |  |  |  |  |  |  |
|------------------------------|------------|----------------------|--|----------------------------|--|---------------------------------------------|--|--|--|--|--|--|--|
| MIXED PLANTING HYDROZONE (L) | 8,800 SF   | 0.3                  |  | 0.81                       |  | 0.75 overhead spray/rotor                   |  |  |  |  |  |  |  |
| MIXED PLANTING HYDROZONE (M) | 0 SF       | 0.5                  |  | 0.81                       |  | 0.81 bubblers/low flow/drip                 |  |  |  |  |  |  |  |
| WARM-SEASON TURF             | 167,800 SF | 0.6                  |  | 0.75                       |  |                                             |  |  |  |  |  |  |  |
| COOL-SEASON TURF             | 0 SF       | 0.8                  |  | 0.75                       |  |                                             |  |  |  |  |  |  |  |

| NORMAL YEAR REFERENCE                 | JAN  | FEB  | MAR  | APR  | MAY  | JUN  | JUL  | AUG  | SEP  | OCT  | NOV  | DEC  | ANNUAL |
|---------------------------------------|------|------|------|------|------|------|------|------|------|------|------|------|--------|
| EVAPOTRANSPIRATION (ET <sub>o</sub> ) | 1.2  | 1.7  | 3.1  | 4.6  | 6.2  | 7.2  | 8.5  | 7.3  | 5.3  | 3.4  | 1.6  | 0.7  | 50.8   |
| NORMAL RAINFALL (WRCC dataset)        | 1.96 | 1.80 | 1.89 | 0.97 | 0.30 | 0.08 | 0.01 | 0.03 | 0.24 | 0.53 | 1.37 | 1.42 | 10.6   |
| EFFECTIVE RAINFALL (25% per AB1881)   | 0.49 | 0.45 | 0.47 | 0.24 | 0.08 | 0.02 | 0.00 | 0.01 | 0.06 | 0.13 | 0.34 | 0.36 | 2.65   |
| ADJUSTED EVAPOTRANSPIRATION           | 0.7  | 1.3  | 2.6  | 4.4  | 6.1  | 7.2  | 8.5  | 7.3  | 5.2  | 3.3  | 1.3  | 0.3  | 48.2   |

| ETWU=(ET <sub>o</sub> ) x (0.62) x (K) x (PA) / (IE) | JAN    | FEB     | MAR     | APR     | MAY     | JUN     | JUL     | AUG     | SEP     | OCT     | NOV     | DEC     | ANNUAL    |
|------------------------------------------------------|--------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|---------|-----------|
| MIXED PLANTING HYDROZONE (L)                         | 1,435  | 2,526   | 5,309   | 8,805   | 12,377  | 14,509  | 17,171  | 14,736  | 10,589  | 6,603   | 2,541   | 697     | 97,299    |
| MIXED PLANTING HYDROZONE (M)                         | 0      | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0         |
| WARM-SEASON TURF                                     | 59,092 | 104,036 | 218,684 | 362,669 | 509,776 | 597,583 | 707,237 | 606,946 | 436,119 | 271,950 | 104,660 | 28,714  | 4,007,467 |
| COOL-SEASON TURF                                     | 0      | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0       | 0         |
| <b>ESTIMATED TOTAL USE (K GALLONS)</b>               | 60.5   | 106.6   | 224.0   | 371.5   | 522.2   | 612.1   | 724.4   | 621.7   | 446.7   | 278.6   | 107.2   | 29.4    | 4,104.8   |
| EST. CUMULATIVE USE (K GALLONS)                      | 60.5   | 167.1   | 391.1   | 762.6   | 1,284.7 | 1,896.8 | 2,621.2 | 3,242.9 | 3,689.6 | 3,968.2 | 4,075.4 | 4,104.8 |           |
| <b>ESTIMATED TOTAL USE (ACRE-FEET)</b>               | 0.2    | 0.3     | 0.7     | 1.1     | 1.6     | 1.9     | 2.2     | 1.9     | 1.4     | 0.9     | 0.3     | 0.1     | 12.6      |
| EST. CUMULATIVE USE (ACRE-FEET)                      | 0.2    | 0.5     | 1.2     | 2.3     | 3.9     | 5.8     | 8.0     | 10.0    | 11.3    | 12.2    | 12.5    | 12.6    |           |

## WATER MANAGEMENT CALCULATIONS - MONTHLY DEMAND (WITH PRECIPITATION)

**Project:** COALINGA-HURON SPORTS COMPLEX - PHASE 1 & 2

**Location:** Coalinga, Fresno County

**ETo Reference:** Coalinga, Fresno County

**Precipitation Reference (WRCC):** Fresno, Fresno County

| LANDSCAPE TYPES (PA)         | 712,800 SF | LANDSCAPE FACTOR (K) |  | IRRIGATION EFFICIENCY (IE) |  | typical IE (DU <sub>LH</sub> ) coefficients |  |  |  |  |  |  |  |
|------------------------------|------------|----------------------|--|----------------------------|--|---------------------------------------------|--|--|--|--|--|--|--|
| MIXED PLANTING HYDROZONE (L) | 15,000 SF  | 0.3                  |  | 0.81                       |  | 0.75 overhead spray/rotor                   |  |  |  |  |  |  |  |
| MIXED PLANTING HYDROZONE (M) | 0 SF       | 0.5                  |  | 0.81                       |  | 0.81 bubblers/low flow/drip                 |  |  |  |  |  |  |  |
| WARM-SEASON TURF             | 697,800 SF | 0.6                  |  | 0.75                       |  |                                             |  |  |  |  |  |  |  |
| COOL-SEASON TURF             | 0 SF       | 0.8                  |  | 0.75                       |  |                                             |  |  |  |  |  |  |  |

| NORMAL YEAR REFERENCE                 | JAN  | FEB  | MAR  | APR  | MAY  | JUN  | JUL  | AUG  | SEP  | OCT  | NOV  | DEC  | ANNUAL |
|---------------------------------------|------|------|------|------|------|------|------|------|------|------|------|------|--------|
| EVAPOTRANSPIRATION (ET <sub>o</sub> ) | 1.2  | 1.7  | 3.1  | 4.6  | 6.2  | 7.2  | 8.5  | 7.3  | 5.3  | 3.4  | 1.6  | 0.7  | 50.8   |
| NORMAL RAINFALL (WRCC dataset)        | 1.96 | 1.80 | 1.89 | 0.97 | 0.30 | 0.08 | 0.01 | 0.03 | 0.24 | 0.53 | 1.37 | 1.42 | 10.6   |
| EFFECTIVE RAINFALL (25% per AB1881)   | 0.49 | 0.45 | 0.47 | 0.24 | 0.08 | 0.02 | 0.00 | 0.01 | 0.06 | 0.13 | 0.34 | 0.36 | 2.65   |
| ADJUSTED EVAPOTRANSPIRATION           | 0.7  | 1.3  | 2.6  | 4.4  | 6.1  | 7.2  | 8.5  | 7.3  | 5.2  | 3.3  | 1.3  | 0.3  | 48.2   |

| ETWU=(ET <sub>o</sub> ) x (0.62) x (K) x (PA) / (IE) | JAN     | FEB     | MAR     | APR       | MAY       | JUN       | JUL       | AUG       | SEP       | OCT       | NOV      | DEC      | ANNUAL     |
|------------------------------------------------------|---------|---------|---------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|----------|----------|------------|
| MIXED PLANTING HYDROZONE (L)                         | 2,446   | 4,306   | 9,050   | 15,009    | 21,097    | 24,731    | 29,269    | 25,119    | 18,049    | 11,255    | 4,331    | 1,188    | 165,850    |
| MIXED PLANTING HYDROZONE (M)                         | 0       | 0       | 0       | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0        | 0          |
| WARM-SEASON TURF                                     | 245,737 | 432,636 | 909,401 | 1,508,169 | 2,119,916 | 2,485,061 | 2,941,060 | 2,523,998 | 1,813,610 | 1,130,911 | 435,232  | 119,408  | 16,665,139 |
| COOL-SEASON TURF                                     | 0       | 0       | 0       | 0         | 0         | 0         | 0         | 0         | 0         | 0         | 0        | 0        | 0          |
| <b>ESTIMATED TOTAL USE (K GALLONS)</b>               | 248.2   | 436.9   | 918.5   | 1,523.2   | 2,141.0   | 2,509.8   | 2,970.3   | 2,549.1   | 1,831.7   | 1,142.2   | 439.6    | 120.6    | 16,831.0   |
| EST. CUMULATIVE USE (K GALLONS)                      | 248.2   | 685.1   | 1,603.6 | 3,126.8   | 5,267.8   | 7,777.6   | 10,747.9  | 13,297.0  | 15,128.7  | 16,270.8  | 16,710.4 | 16,831.0 |            |
| <b>ESTIMATED TOTAL USE (ACRE-FEET)</b>               | 0.8     | 1.3     | 2.8     | 4.7       | 6.6       | 7.7       | 9.1       | 7.8       | 5.6       | 3.5       | 1.3      | 0.4      | 51.7       |
| EST. CUMULATIVE USE (ACRE-FEET)                      | 0.8     | 2.1     | 4.9     | 9.6       | 16.2      | 23.9      | 33.0      | 40.8      | 46.4      | 49.9      | 51.3     | 51.7     |            |



# RESOLUTION 018P-005

## **A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING SITE PLAN REVIEW APPLICATION NO. 18-01 FOR THE DEVELOPMENT OF PHASE (1) OF THE COALINGA-HURON RECREATION AND PARKS DISTRICT 87-ACRE COALINGA YOUTH SPORTS COMPLEX AT CAMBRIDGE AVENUE AND SUNSET STREET**

**WHEREAS**, the City of Coalinga Community Development Department received an application for a Site Plan Review for the development of one softball field, one little league baseball field, a restroom and concession building, landscaping and parking facilities approximately 600 feet from Elm Ave (SR 33/198) and Cambridge Ave near Sunset Street; and,

**WHEREAS**, the subject project requires approval of a site plan review, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

**WHEREAS**, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on June 11, 2018; and

**WHEREAS**, an Initial Study and Mitigated Negative Declaration was certified by the City Council on July 2, 2002 where the certified IS/MND addressed the proposed recreation facilities within this site plan application, therefore, no additional environmental review shall be necessary and CEQA has been satisfied. All applicable mitigation measures and past project conditions have been incorporated as conditions of approval, and;

**WHEREAS**, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code including subsequent approvals; and

**WHEREAS**, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on July 24, 2018; and

**WHEREAS**, the Planning Commission has made the following findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
  - Facilities and improvements;
  - Vehicular ingress, egress and internal circulation;
  - Setbacks;
  - Height of buildings;
  - Location of services;
  - Fences and/or walls;
  - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;

- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;
- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

**NOW THEREFORE BE IT RESOLVED**, that the Planning Commission does approve the Site Plan Review Application No. 18-02 subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their special meeting held on the 24<sup>th</sup> Day of July 2018.

AYES:

NOES:

ABSTAIN:

ABSENT:

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Planning Commission Chairman/Vice Chairman

ATTEST:

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City Clerk/Deputy City Clerk

**Exhibit “A”**  
**CONDITIONS OF APPROVAL**  
**SITE PLAN REVIEW, APPLICATION NO. 18-01**

**Administrative**

- COA-1. The approved site plan shall become void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan.
- COA-2. Approval of the site plan may be extended for an additional period or periods of one (1) year upon a written application to the Commission before the expiration of the first approval.
- COA-3. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-4. Any minor alternations to the site plan shall be reviewed and approved by the Community Development Director, unless under his/her discretion warrants review and approval by the Commission.
- COA-5. The Developer is responsible for paying all applicable development impact fees as well all regional fees related to the project.
- COA-6. A final site plan shall be submitted to the Community Development Department to ensure that all conditions of approval have been incorporated.
- COA-7. *Actions voiding approval.* If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA-8. *Periodic review or monitoring of conditions.* All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA-9. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition

shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

### **Public Works/Engineering**

- COA-10. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer and further inspected by Public Works.
- COA-11. The applicant shall comply with all 2016 California Building Code (CBC) Chapter 11B ADA accessibility guidelines.
- COA-12. The applicant shall furnish and install new water service and backflow prevention device for all irrigated landscape areas of the project.
- COA-13. The applicant shall certify to the Public Works Department the proper operation of the existing backflow prevention device for compliance with Coalinga Cross Connection Control Program.
- COA-14. The applicant shall certify or comply with California Building Code (CBC) Chapter 11B ADA accessibility compliance of the existing curb ramps at the Cambridge Avenue entrance to the sports complex. Any curb ramp upgrades to meet current ADA compliance shall be approved by the City Engineer.
- COA-15. The applicant shall obtain approval from the City Solid Waste Carrier for the on-site location of the trash enclosure for solid waste disposal and pick up. The trash enclosure shall be designed and installed in conformance with City of Coalinga Standards A-4 and A-4A and shall be approved by the City Engineer.
- COA-16. The applicant shall comply with 42-foot minimum turning radius requirements for the Fire Department trucks for the on-site turnaround at the north end of the proposed parking lot.
- COA-17. The applicant shall provide method of reducing potential blowing dust from future playground and future batting cages areas.
- COA-18. The applicant shall provide method of preventing stagnant water at dead end water lines from potentially back flowing and contaminating drinking water.
- COA-19. All on-site parking lot surfaces shall be ac pavement surfacing sufficient to handle loading from solid waste carriers and fire trucks.
- COA-20. All on-site parking stalls shall conform to City Standard P-16 and shall be AC Pavement.
- COA-21. The applicant shall show an ADA path of travel from the public sidewalk at Cambridge. This path of travel is existing but may need to be rehabilitated to conform to ADA guidelines.

- COA-22. The project is required to conform with the National Pollutant Discharge Elimination System (NPDES) procedures.

## Planning

- COA-23. The applicant shall comply with all the requirements of the Building Official and Community Development Director. All improvements shall be inspected by the Building Official to ensure compliance with approved plans.
- COA-24. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- Weekdays from 7:00 a.m. to 6:00 p.m.;
  - Saturday from 8:00 a.m. to 5:00 p.m.;
  - Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager
- COA-25. A landscaping plan shall be submitted to the Community Development Department for review and approval. *Water efficient landscaping.* The model Water Efficient Landscaping Ordinance, as published by the California Department of Water Resources, pursuant to California Water Conservation in Landscaping Act (Government Code § 65591, et seq.), was adopted in full, by reference, and effective in the City of Coalinga commencing on January 1, 2010. A copy of the Water Efficient Landscaping Ordinance is retained on file in the Office of the City Manager, the Community Development Department, and the Office of the Coalinga City Clerk at all times. Landscaping plans must be consistent with the adopted Water Efficient Landscaping Ordinance where applicable.
- COA-26. All landscaping shall be inspected by the City's Landscape Architect to ensure compliance with the approved plans.
- COA-27. *Shade trees.* A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City. **NOTE:** The applicant shall provide additional trees at the parking lot islands and bulb-outs for tree shade spacing compliance between parking stalls.
- COA-28. The Concession/Restroom Building shall be equipped with adequate pack lighting.

**Environmental**

- COA-29. The applicant shall adhere to all applicable mitigation measures as identified in the Notice of Determination attached as Exhibit "B".

**Public Safety**

- COA-30. The applicant shall comply with all the requirements of the Police Department and Fire Department and obtain all required local (Police, Fire, Finance), County, State, or Federal permits prior to the start of operations.
- COA-31. The applicant shall provide security lighting within the parking lot. The lighting plan shall be reviewed and approved by the Police Department to ensure adequate coverage and confirm the absence of light pollution and glare on adjacent properties.
- COA-32. A fire hydrant shall be located at the northern middle location of the existing parking facility. All fire hydrant locations shall be reviewed and approved by the Fire Chief.

**Exhibit “B”**

**NOTICE OF DETERMINATION / MITIGATION MEASURES**

## NEGATIVE DECLARATION

FILED

JUL 10 2002

FRESNO COUNTY CLERK

By Nancy Rocha

E20021000209 DEPUTY

### Project Title:

Construction of the Coalinga Youth Sports Complex  
General Plan Amendment Application No. GPA 01-01  
Rezoning Application No. ZOA 01-09  
Site Plan Review Application No. SPR 0-05  
Annexation Application No. ANA 01-01

### Lead Agency Name and Address:

City of Coalinga, Community Development Department  
155 W. Durian Avenue, Coalinga, CA 93210

### Contact Person and Phone Number:

Mary Ann Ulik, Community Development Director, (559) 935-1533

### Project Owner and Applicant Name and Address:

Owner/Applicant: City of Coalinga  
155 W. Durian  
Coalinga, CA 93210

### Description of Project:

The City of Coalinga is requesting a General Plan Amendment, Rezoning, and Site Plan application approval to enable the construction of an 87-acre youth sports complex. The proposal also includes the annexation of the proposed sports complex together with an additional 16.13-acre area situated between the sports complex and Monterey Street.


### ETERMINATION:

1 the basis of the Initial Study evaluation and comments received:

I find that the proposed project COULD NOT have significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

I find that although the project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A NEGATIVE DECLARATION HAS BEEN PREPARED.

I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

  
Mary Ann Ulik, Community Development Director  
May 3, 2002

City of Coalinga  
Coalinga Youth Sports Complex  
Negative Declaration and Mitigation Measures



### *Applicable Mitigation Measures*

1. The project will be required to submit a grading and development plan, which identifies the nature and extent of the work proposed, project phasing, and soil compaction levels, in compliance with City standards.
2. The project will be required to comply with the City's dust standards during construction, including regular watering to control dust.
3. The project shall be designed and constructed in conformance with the Uniform Building Code seismic zone requirements to ensure seismic stability of structures, to the satisfaction of the Building Official.
4. The project shall comply the San Joaquin Valley Unified Air Pollution Control District's regulations in order to reduce the amount of PM<sub>10</sub> injected into the ambient air from man-made sources.
5. The project should provide onsite bus stops and implement bikeway improvements adjacent to the project site to reduce reliance on automobiles.
6. Site construction located in a special flood hazard area shall conform with the City's Floodplain Management Code
7. To minimize potential flooding hazards, the project shall include a 200-foot buffer from the Los Gatos Creek.
8. The project shall be designed to conform with the City's Water Efficient Conservation Ordinance.
9. The project shall comply with the requirements of Section 8-1.B.05 of the Coalinga Municipal Code for endangered species mitigation.
10. Pre-construction surveys shall be conducted 45 days prior to initiating soil disturbing activities. A qualified biologist shall conduct a pre-activity survey to inventory the activity zone and a 500-foot zone surrounding the zone for the occurrence of San Joaquin kit fox dens and other sensitive species. Should a den be discovered, the following protection measures to avoid and reduce take shall be followed:
  - a. Natal dens shall be avoided if possible and a 500-foot radius buffer zone established. If an occupied natal den cannot be avoided then the Project Sponsor shall contact the CA Department of Fish and Game and US Department of Fish and Wildlife before proceeding.
  - b. Known and potential dens (excluding natal dens) may be hand excavated (under the supervision of a qualified biologist) at any time following protocols established by the CA Department of Fish and Game and US Department of Fish and Wildlife. Unoccupied dens may be collapsed and backfilled by mechanical means. A qualified biologist shall monitor the process.
11. All construction vehicles shall install muffler devices to reduce the temporary noise levels on nearby schools and residences.
12. All exterior light fixtures shall be directed down or shielded so as to prevent glare or spray of light directly onto adjacent property in accordance with City standards and to the satisfaction of the Community Development Director.

13. Pursuant to the Coalinga Zoning Ordinance, the project shall install a three-foot screening wall, vegetative screen or mound for parking areas having street frontage.
14. If evidence of oil release, due to former oil operations is observed, procedures for containment outlined by the CA Division of Oil and Gas shall be followed.
15. Prior to preparation of a final plan, a Parking Management Plan shall be prepared that identifies reasonable "worst case" demands and documents the combination of on-site and off-site parking spaces that will be made available to service regular and "worst case" demands. The Parking Management Plan shall also identify any necessary limits on the operation of the facility that could be needed based on the number of spaces ultimately provided.
16. Appropriate pedestrian and bicycle facilities shall be developed along the site frontage and pedestrian path connections shall be constructed linking the street and the major activity centers in the complex.
17. Cambridge Avenue access to the Sports Complex's parking areas shall be aligned with existing local street intersections. The access to Cambridge Avenue should be configured with throat depths that will avoid congestion in the area immediately adjacent to Cambridge Avenue.
18. Prior to issuance of a building permit, the Police Department shall review the adequacy and location of the on-site security lighting.
19. If evidence of archaeological artifacts is discovered during construction, all operations within an area at and adjacent to the discovered site shall halt until a qualified archaeologist determines the extent of significance at the site.