



AGENDA

PLANNING COMMISSION

155 W. DURIAN AVE., COALINGA CA 93210

TUESDAY MARCH 14, 2017

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

<i>Chairman Stoppenbrink</i>
<i>Vice Chairman Sailer</i>
<i>Commissioner Jacobs</i>
<i>Commissioner Gonzales</i>
<i>Commissioner Helmar</i>

Staff:

<i>Sean Brewer, Community Development Director</i>
<i>Marissa Trejo, City Manager</i>

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

PUBLIC HEARINGS

1. Planning Commission approval of Site Plan Review and a Tentative Subdivision Map (TSM 16-01) (14-Unit Lux Estates Single-Family Residential Development)

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Planning Commission approval of Site Plan Review and a Tentative Subdivision Map (TSM 16-01) (14-Unit Lux Estates Single-Family Residential Development)

Meeting Date March 14, 2017

Project Location: Northeast side of Phelps Avenue and La Cuesta Avenue and east of Janay Court (APN: 070-091-08S)

Applicant: Lux Estates, LLC, 3754 West Holland Avenue, Fresno, CA 93722

Owner: CHASE INC., 2563 W. LAKE VAN NESS, FRESNO, CA 93711

Prepared By: Sean Brewer, Community Development Director

I. RECOMMENDATION:

Staff recommends that the Planning Commission approve Resolution No. 017P-009 with conditions approving a Site Plan and Tentative Subdivision Map for the Lux Estates, a Single-Family Residential Development Project (proposed project), which consists of 14 single-family detached residential units.

II. BACKGROUND:

On December 8, 2016, the City of Coalinga received an application from Lux Estates, LLC for Site Plan Review and Tentative Subdivision Map approval of a proposed 14-unit detached single-family residential development located on the northeast side of Phelps Avenue and La Cuesta Avenue and east of Janay Court. The proposed project site is a 3.09-acre vacant lot is currently zoned and designated Residential Single Family (RSF). This staff report incorporates feedback from all City Departments.

III. PROPOSAL AND ANALYSIS:

The proposed project includes the subdivision and development of 14 detached single-family residential homes, with two different single-story floorplans (1528 and 1713) ranging from 2,091 square feet (sq. ft.) to 2,238 sq. ft. The proposed single-family subdivision's average lot size would be 7,993 sq. ft. Access to the proposed project would be provided from La Cuesta Avenue. The project includes the extension of Janay Court to serve the 14 new residential lots. The proposed project includes curb, gutter, and sidewalk improvements that would connect the project site with the existing residential neighborhood to the west. The General Plan designation for the subject parcel is RSF with a zoning designation of RSF. The project is consistent with all development regulations for single-family housing as discussed below.

Surrounding Land Use Setting

North	Existing Single-Family Development
West	Existing Single-Family Development
East	Future Hospital Expansion Land (Public Facilities)
South	Open Space/Conservation Land

The proposed project site is surrounded by existing single-family residential development to the north and west. The land to the east is part of the future hospital expansion of the adjacent Coalinga Regional Medical Center, and the land located to the northeast of the project site is not within the Coalinga city limits and is under the jurisdiction of Fresno County. Lands to the south are designated as open space and conservation land, and therefore, will not be developed in the future. Therefore, the proposed project has been determined to be in-fill development.

Development Density

The proposed project includes the development of 14 single-family residential homes on 3.09 acres, resulting in a proposed development density of 4.5 dwelling units per acre (du/ac), which is consistent with RSF designation of two to five du/ac.

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code, a Site Plan Review is required for all residential development projects within the City. The purpose of the Site Plan Review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects to qualify for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Tentative Subdivision Map

According to Section 9-7.201 of the City of Coalinga Municipal Code, a tentative map shall be required for all divisions of land where the land would be divided into five (5) or more parcels. The tentative map review procedure is designed to ensure that such improvements as drainage, street alignment, grade and width, and sanitary facilities conform to City regulations and policies and are arranged in the best possible manner to serve the public.

Tentative Map Requirements

The City Engineer has reviewed the proposed Tentative Subdivision Map for compliance with Section 9-7.301 of the City of Coalinga Municipal Code and has included conditions of approval (attached) for the proposed project.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, City of Coalinga Municipal Code, and any applicable plans adopted by the City.

Residential Single Family Development Regulations

The following discussion describes the proposed project's conformance with the applicable development

standards included the in the City of Coalinga Municipal Code.

Zoning Standards Conformance Table

<u>Major Standards</u>	<u>Required</u>	<u>Proposed</u>
Lot Size	6,000 sq. ft. min	7,026 sq. ft.
Lot Coverage	45% max	24%
Maximum Density	5.0 du/ac	4.5 du/ac
Building Height	Two Stories/25' max	One Story/19'-6" max
Yards		
<i>Front</i>	20' min	20' min
<i>Side</i>	5' min	5' min
<i>Rear</i>	15' min	25' min
Parking	Two covered vehicle spaces per unit	Two covered vehicle spaces per unit

As seen in the above Zoning Standards Conformance Table, the proposed single-family development meets or exceeds all the zoning standards applicable to single-family development included in the City of Coalinga Municipal Code.

Coalinga City-Wide Design Guidelines

The guidelines are discretionary tools to be used with the development standards in the City's Zoning Ordinance to guide a range of development types. The discretionary review under the design guidelines is conducted by members of City staff and, at times, the Planning Commission. The objective of the City-Wide Design Guidelines is to preserve the small-town character of Coalinga in future single-family residential, multi-family residential, commercial, and mixed-use development.

The Single-Family Residential Design Guidelines aim to assist homeowners, designers, and builders achieve better design in the development of single-family homes. The Design Guidelines include best practices that have worked successfully in other communities to maintain strong property values, increase neighborhood desirability and character, improve privacy and aesthetics, and promote sustainable design and development.

The Single-Family Residential Design Guidelines encompass concepts ranging from overall context to specific building details. The guidelines are organized by "Neighborhood Context/Fit," "Building Design," and "Landscaping and Fencing," which work to address the desired quality of design expected throughout the City.

Neighborhood Context/Fit

As described in the City of Coalinga Design Guidelines, the proposed project is consistent with the existing neighborhood patterns of the adjacent single-family development; such as setbacks, front yard area, and garage location and type. In addition, building placement is in conformity with the predominant pattern of building orientation found in the existing neighborhood, and the primary façades and building entrances are facing towards the street to create a strong street presence.

Building Design

The proposed project includes the development of 14 single-story detached single-family homes in an area consisting of existing single-family development. The proposed project provides articulation (varying wall planes) along the home's primary frontage in order to generate visual interest, enhance the home's identity, and create opportunities for incorporating unique architectural spaces and features. In addition, the project

includes multiple floor plans with varying elevations, porches, and varied front yard setbacks. Furthermore, consistent with the City of Coalinga Design Guidelines, the project minimizes excessive ridgelines, gables, hips, and differing roof heights, and matches roof styles and pitches found in the immediate neighborhood context. The proposed roofing forms would allow solar access to adjacent properties that may utilize solar panels, as described in the City of Coalinga Design Guidelines.

Consistent with the City of Coalinga Design Guidelines, the proposed project includes prominent entries and doorways to establish a clear point of entry for the residences. In addition, each floor plan includes two different elevation designs to add variation among compatible styles within the neighborhood, including varied window shutters and trim. In addition, staff has included a condition of approval, which requires the installation of EPA “Energy Star” labeled windows with low-e coatings, and window types that can be fully opened and sealed to allow for cross breezes to facilitate passive cooling of the home.

Landscaping and Fencing

The site plan includes 106,313 sq. ft. of landscaping that makes up approximately 70 percent of the site. The project site does not include existing trees; however, the proposed project includes one new tree planting per residential lot and three new plantings for corner lots. Staff has included a condition of approval, which requires the submittal of a separate landscape plan to the Community Development Department for review and approval prior to building permit issuance.

In addition, the proposed project includes six foot high wood fencing for each residential lot. The overall design of the fences would be compatible with the existing adjacent neighborhood and would not include front-yard fences that could create a walled-off appearance. Furthermore, the proposed project would maintain the minimum two-foot, landscaped buffer between the sidewalk or public right-of-way and the fence in order to soften the transition between the sidewalk and the fence and to create visual interest as described in the City of Coalinga Residential Design Guidelines. Staff has included a condition of approval requiring the developer to construct a six (6) foot solid masonry block wall along the rear lots facing Phelps Boulevard, which shall be extended along the interior rear yard of lot 14 including enclosing the existing sewage lift station along La Cuesta Avenue and then continuing along La Cuesta right-of-way to the front yard setback line of lot 14. The solid masonry wall shall be in like kind as the wall constructed along Phelps Boulevard.

The applicant will be required to landscape the area between the block wall facing Phelps Ave to the back of curb. Landscaping shall be of drought resistant plant material with combination of trees and shrubs. There shall be no turf installed on the Phelps Ave frontage but an approved ground cover shall be utilized in areas of bare dirt. Landscaping along La Cuesta shall be a combination of turf and trees as currently existent on the west side of the street.

Lighting

Lighting will be reviewed and approved by the Coalinga Police Department to ensure that there will be adequate lighting for public safety while also ensuring no spill over lighting. Off-site lighting shall be installed per City standards as part of the off-site improvements along the development frontage (curb, gutter, sidewalk and lighting). In addition, according to Section 9-2.203(c)(4)(d)(6) of the Coalinga Municipal Code, all outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination.

Signage

All signs related to this development shall be submitted in a separate application and reviewed and approved by the Community Development Department in accordance with the applicable signage regulations.

Access

Access to the proposed project would be provided from La Cuesta Avenue. The project includes the extension of Janay Court to serve the 14 new residential lots.

Utilities

All utilities are readily available for connection within the adjacent right-of-way. All utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. On-site storage of storm runoff is not required, therefore the development will discharge storm water runoff into the exiting surface system.

Environmental Clearance

The Community Development Director has determined that the proposed project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). The project qualifies as a Class 32 exemption under CEQA Guidelines Section 15332, as described below:

15332. In-Fill Development Projects

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

In this case, the project involves a 14-unit residential infill development on a 3.09-acre vacant lot and meets all the criteria (a through e) outlined above. Therefore, the project is exempt from further analysis under CEQA.

Additionally, none of the exceptions to application of a categorical exemption in Section 15300.2 of the CEQA Guidelines apply, as described below.

- Sec. 15300.2(a): There is no evidence in the record that the project will impact an environmental resource of hazardous or critical concern in an area designated, precisely mapped, and officially adopted pursuant to law by federal, State, or local agencies. The project site is located within a substantially developed neighborhood and is not located in a sensitive environmental area. Therefore, it will not have a significant impact on the environment.
- Sec. 15300.2(b): There is no evidence in the record that successive projects of the same type in the area will have a significant environmental impact. The project is a small in-fill project within a substantially developed neighborhood and will not have a significant impact on the environment either alone or cumulatively with other projects in the vicinity.
- Sec. 15300.2(c): There is no evidence in the record of any possibility that the project will have a significant effect on the environment due to unusual circumstances. The project site is a vacant lot with very flat topography and no habitat value. It is zoned for single-family residential development and the project will involve in-fill residential development consistent with the residential zoning. Therefore, there

are no unusual circumstances applicable to the project.

- Sec. 15300.2(d) through (f): The project is not proposed near a scenic highway, does not involve a current or former hazardous waste site, and, does not affect any historical resources. Therefore, the provisions of subsections (d) through (f) are not applicable to this project.

Because the project is consistent with the requirements for a Class 32 exemption and none of the exceptions to applying an exemption in Section 15300.2 apply; therefore, there is substantial evidence in the record to support a finding that the project is categorically exempt from CEQA.

IV. FISCAL IMPACT:

None Determined at this time.

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the City of Coalinga Municipal Code in the following respects.

Site Plan Findings

According to Section 9-6.404 of the City of Coalinga Municipal Code, the Planning Commission, as part of the approval of a Site Plan shall consider the following findings to approve a Site Plan. Staff feels that with the proposed conditions included, the following findings have been met.

- 1) The proposed construction are in substantial conformance with the General Plan, Municipal Code, and any applicable plans adopted by the City.
- 2) The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- 3) The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- 4) The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Tentative Subdivision Map Findings

According to Section 9-7.204 of the City of Coalinga Municipal Code, the Planning Commission shall consider the following conditions for a tentative map. Staff feels that with the proposed conditions included, the following findings have been met.

- (a) The Planning Commission shall not approve an application for a subdivision, unless it finds that the proposed subdivision, together with the provisions for its design and improvement, is consistent with the Coalinga General Plan and any other applicable plans. A proposed subdivision shall be consistent with the General Plan or applicable plans only if the proposed subdivision or land use is compatible with the objectives, policies, general land uses, and programs specified in such plans.
- (b) The Planning Commission shall deny an application for a subdivision if it makes any of the following findings:
 - (1) That the proposed map is not consistent with the Coalinga General Plan, or with other applicable plans;
 - (2) That the design or improvement of the proposed subdivision is not consistent with the Coalinga General Plan or with other applicable plans;
 - (3) That the site is not physically suitable for the proposed type of development;
 - (4) That the site is not physically suitable for the proposed density of development;

- (5) That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
- (6) That the design of the subdivision or type of improvements is likely to cause serious public health problems;
- (7) That the design of the subdivision or the type of improvements will conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. The Planning Commission may approve a tentative map if it finds that alternative easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This provision shall apply only to easements of record or to easements established by a court of competent jurisdiction;
- (8) That the map fails to meet or perform one or more requirements or conditions imposed by the “Subdivision Map Act” or by this title. Any such requirement or condition shall be specified.
- (c) Notwithstanding the provisions of Section 9-7.204(b)(5) of this article, a tentative map may be approved if an environmental impact report was prepared with respect to the project and a finding was made pursuant to Section 21081(c) of the Public Resources Code that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

ATTACHMENTS:

Description	
<input type="checkbox"/>	Resolution 017P-009
<input type="checkbox"/>	Conditions of Approval TSM 16-01
<input type="checkbox"/>	Fire Department Hydrant Locations
<input type="checkbox"/>	Land Use Exhibits
<input type="checkbox"/>	Tentative Subdivision Map
<input type="checkbox"/>	Floor Plans and Elevations
<input type="checkbox"/>	Application Package

RESOLUTION 017P-009

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING A SITE PLAN REVIEW AND TENTATIVE SUBDIVISION MAP APPLICATION NO. TSM 16-01 (LUX ESTATES) TO BE LOCATED AT THE NORTHEAST SIDE OF PHELPS AVENUE AND LA CUESTA AVENUE AND EAST OF JANAY COURT

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review and Tentative Subdivision Map for the construction of 14 detached single-family residential homes located on the northeast side of Phelps Avenue and La Cuesta Avenue and east of Janay Court; and

WHEREAS, the subject project requires approval of a Site Plan Review, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, the subject project requires approval of a Tentative Subdivision Map, in accordance with Title 9, Chapter 7 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on January 3, 2017; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15332 (Infill Development), and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on March 14, 2017; and

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

Site Plan Review

- (1) The proposed construction are in substantial conformance with the General Plan, Municipal Code, and any applicable plans adopted by the City.
- (2) The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
- (3) The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
- (4) The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Tentative Subdivision Map

- (a) The proposed subdivision, together with the provisions for its design and improvement, is consistent with the Coalinga General Plan's objectives, policies, and general land uses.
- (b) That site is physically suitable for the proposed type of development and density, the design of the subdivision is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The design of the subdivision is not likely to

cause serious public health problems, or conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. In addition, the map does not fail to meet or perform one or more requirements or conditions imposed by the "Subdivision Map Act".

- (c) The project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15332 (Infill Development) and an environmental impact report was not prepared for the proposed subdivision.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission hereby recommends the approval of the Site Plan Review and the Tentative Subdivision Map Application No. TSM 16-01 subject to the conditions attached hereto which are also incorporated by this reference.

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 14th of March 2017.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman

ATTEST:

City Clerk/Deputy City Clerk

**CONDITIONS OF APPROVAL
SITE PLAN REVIEW AND TENTATIVE SUBDIVISION MAP,
APPLICATION NO. 16-01**

The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

- COA 1. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
- COA 2. An approved site plan becomes void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan. If over fifty (50) percent of one or more increments of a phased development has been developed after twelve (12) months, the expiration date of the site plan shall be extended for the remaining phases, except that the final phase shall be fully developed within five (5) years
- COA 3. Approval of the site plan may be extended for an additional period or periods of twelve (12) months upon a written application to the Commission before the expiration of the first approval.
- COA 4. Minor revisions to the site plan after Commission approval may be reviewed and approved by the Community Development Director. Those revisions determined to be major shall be referred to the Commission for review and approval.
- COA 5. All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA 6. All improvements within City right-of-way, including but not limited to, new sidewalk, curb and gutter and approaches shall conform to current City of Coalinga Standards and be approved by the City Engineer.
- COA 7. The provisions of the San Joaquin Valley Air Pollution Control District Rule 8021 shall be complied with during construction. All permits shall be provided to the City Building Department at the time of Building Permit Issuance.
- COA 8. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.

- a. Weekdays from 7:00 a.m. to 6:00 p.m.;
- b. Saturday from 8:00 a.m. to 5:00 p.m.;
- c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.

- COA 9. In the event that archaeological remains are encountered during grading, work shall be halted temporarily and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.
- COA 10. Construction activities shall comply with applicable Municipal Code and Zoning Ordinance sections, including Chapter 4, Article 4, Performance Standards.
- COA 11. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Local, Federal and State regulations.
- COA 12. Applicants shall obtain all necessary stormwater permits from the California Regional Water Quality Control Board, Central Valley Region.
- COA 13. All required local, County, State, or Federal permits shall be obtained prior to the start of operations.
- COA 14. Upon issuance of a building permit by the City, all existing uses at the subject location are terminated.
- COA 15. If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA 16. All sidewalks shall conform to the requirements of Title 7, Chapter 2, Sidewalks, Crosswalks, Curbs, Gutters and Driveways, of the Municipal Code. Street trees shall be provided per the requirements of Title 7, Chapter 3, Trees and Shrubs, of the Coalinga Municipal Code.
- COA 17. On-site Construction Site, Grading, Utility, and Landscape & Irrigation plans shall be submitted to the Community Development Department for review and approval by City Engineer prior to building permit issuance.
- COA 18. The applicant shall submit a revised/corrected final construction site plan including all conditions of approval for review and approval by the City Engineer and Community Development Director prior to the issuance of a building permit.
- COA 19. All windows shall be of EPA “Energy Star” labeled windows with low-e coatings that can be fully opened and sealed to allow for cross breezes to facilitate passive cooling of the home.
- COA 20. Project lighting shall be reviewed and approved by the Coalinga Police Department prior to the issuance of a building permit. All security and site lighting shall be shielded to avoid “spill over” nuisance lighting to the existing adjacent uses.

- COA 21. All outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination, of the Coalinga Municipal Code.
- COA 22. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA 23. All signs related to this development shall be submitted in a separate application and reviewed and approved by the Community Development Department in accordance with the applicable signage regulations. A permit must be issued by the Community Development Department prior to installation.
- COA 24. Plans submitted for Building Permit shall be in substantial conformance with plans approved by the Community Development Department.
- COA 25. All turning radiuses shall be able to accommodate an aerial ladder apparatus seventy-five (75) feet long.
- COA 26. Permanent storm water drainage service is available to serve this development. The developer shall direct storm water runoff to La Cuesta Avenue. Drainage calculations to be submitted for review and approval by City Engineer.
- COA 27. Sewer System Facilities exist to serve this development. The developer shall connect to the existing 10-inch sewer main in La Cuesta Avenue in accordance with City Public Works Standards and as required by the City Engineer.
- COA 28. Water System Facilities exist to serve this development. The developer shall connect to the existing 12-inch water main in La Cuesta Avenue in accordance with City Public Works Standards and as required by the City Engineer.
- COA 29. Provide a looped water main system for the cul-de-sac street, dead-end water mains are not permitted. An 8-inch ductile iron water main shall be extended between lots 9 and 10 and connected to the existing 12-inch water main in Phelps Avenue, subject to review and approval by the City Engineer.
- COA 30. Natural Gas System Facilities exist to serve this development. The developer shall connect to the existing 4-inch natural gas main in La Cuesta Avenue in accordance with City Public Works Standards and as required by the City Engineer.
- COA 31. Provide 10-foot public utility easements along all lots fronting on a public street subject to review and approval by the City Engineer.
- COA 32. The developer shall provide engineered improvement plans to the City Engineer for review and approval of water, natural gas, wastewater, storm drainage, on and off-site landscaping and irrigation facilities and public street improvements.
- COA 33. All local interior streets shall have a right-of-way width of not less than 54 feet and shall be constructed to City Public Works Standards as directed by the City Engineer.

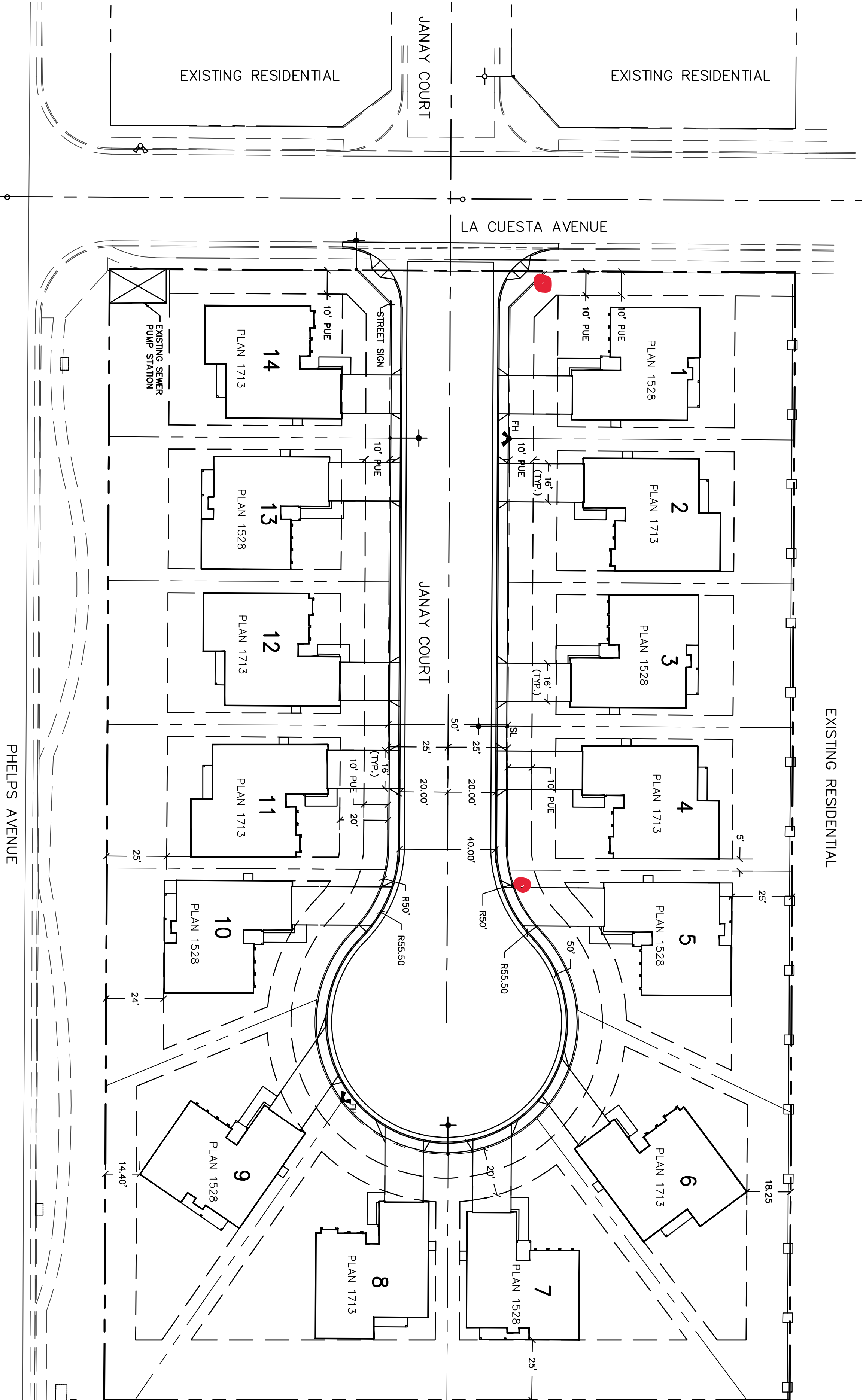
- COA 34. The developer shall construct a six (6) foot solid masonry block wall along the rear lots facing Phelps Boulevard. The six (6) foot solid masonry block wall shall be extended to enclose the existing sewage lift station along La Cuesta Avenue (replacing the chain-link fence along with 2 access gates as currently located) and then continuing along La Cuesta right-of-way to the front yard setback line of lot 14. Developer shall dedicate existing lift station parcel as outlot to the City. The solid masonry wall shall be in like kind as the wall constructed along Phelps Boulevard. The developer shall provide landscaping between the area of the block wall and face of curb on Phelps Ave which shall be of drought resistant plant material with a combination of trees and shrubs. No turf shall be installed and use of approved ground cover shall be utilized such as decomposed granite, rock or other material approved by the Community Development Department. On the La Cuesta public right-of-way landscaping shall match that of the properties adjacent (turf, shrubs and trees).
- COA 35. LED Street lights shall be required for all interior public streets. Street lights along interior streets shall be spaced at 300-foot maximum spacing between street intersections. The standard LED luminaries shall be comparable to 70 watts except 200 watts at intersections.
- COA 36. Fire hydrants shall be required, as identified on the corrected map attached as reference to the staff report, for this development. City of Coalinga Fire Chief shall verify and approve all fire hydrant locations and spacing.
- COA 37. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.
- COA 38. All residential units shall provide a non-pervious pad behind the side yard fence to accommodate city issued green waste, trash and recycling containers with a path of travel from the driveway. The pad shall be 8-feet by 3-feet and shall be shown on the plat plans submitted with the building drawings.
- COA 39. The Curb ramp located on the northeast corner of La Cuesta and Phelps shall be brought up to current ADA standards.
- COA 40. All existing broken, cracked or missing sections of Curb & Gutter, Sidewalk, and Driveway Approach on 4th Street frontage shall be replaced with new curb, gutter and sidewalk. Non-ADA compliant sidewalk shall be replaced.
- COA 41. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.

Applicant Acknowledgement

I _____, (Applicant) have read and will fully comply with all of the conditions stated above, and understand if they are not followed, my permit may be revoked in accordance with Section 13 of the above conditions.

Applicant: _____ Date: _____

Signature



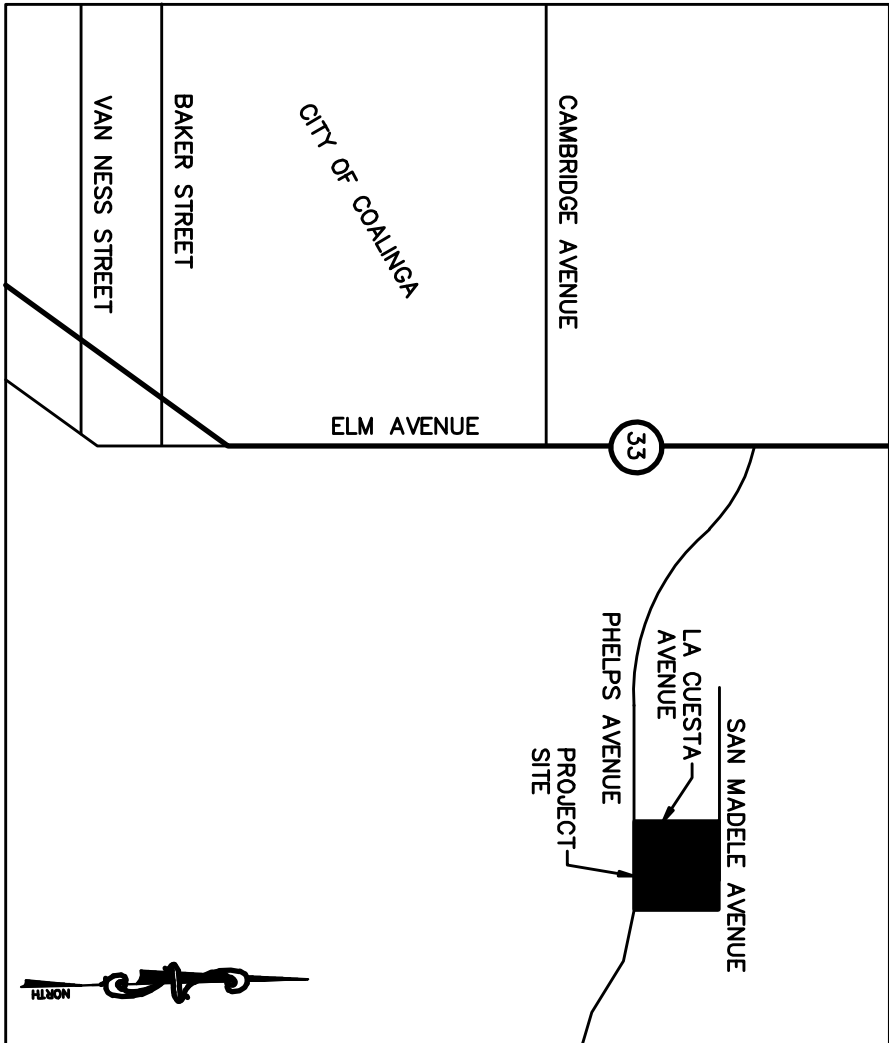
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EXISTING VACANT LAND
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LEGEND

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VICINITY MAP



VICINITY MAP

NTS

48 HOURS BEFORE EXCAVATING
CALL "U.S.A." TOLL FREE
1-800-227-2600
UNDERGROUND SERVICE ALERT

PREPARED FOR/ OWNER /
DEVELOPER

PRISCA SHIRALAN THOMAS
LUX ESTATES, LLC.
3754 W. HOLLAND AVENUE
FRESNO, CA 93722
559-435-3783

Parcel Table	
Parcel #	Area
1	8204SF
2	7131SF
3	7131SF
4	7128SF
5	7864SF
6	9600SF
7	9144SF
8	10185SF
9	9177SF
10	7143SF
11	7026SF
12	7029SF
13	7029SF
14	8101SF

LEGAL DESCRIPTION

LOT 47 OF TRACT NO. 4244, POSA CHANET ESTATES,
AS PER MAP RECORDED IN BOOK 52 PAGES 74
THROUGH 77, INCLUSIVE OF PLATS, FRESNO COUNTY
RECORDS.

SHEET INDEX

SHEET No.	DESCRIPTION
1	COVER / SITE PLAN LAYOUT
2	1528 FLOOR PLAN
3	1713 FLOOR PLAN
4	1528 ELEVATIONS
5	1713 ELEVATIONS
6	TENTATIVE SUBDIVISION MAP

SCALE 1' = 30'



TYPICAL LOT DETAIL

SCALE: 1" = 30'

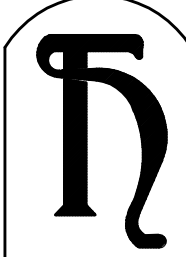
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Project documents describe design intent of work and are not a representation of the as-built or existing conditions. HI and HI's consultants make no representations concerning the accuracy of documents and are not responsible for any discrepancies between project documents and the existing conditions.



HARBISON INTERNATIONAL INC.,
ENGINEERS – SURVEYORS – PLANNERS
2755 E. SHAW AVE., SUITE 101, FRESNO, CA 93710
PHONE: (559) 294-7485 FAX: (559) 294-7481



**LUX ESTATES
TENTATIVE SUBDIVISION MAP 6175
COALINGA, CALIFORNIA
FRESNO COUNTY**

[illegible]

Drawn: JMM
Approved: MAH
Project No. 16-156
Date: 12-1-16

little
COVER / SITE

Sheet No.

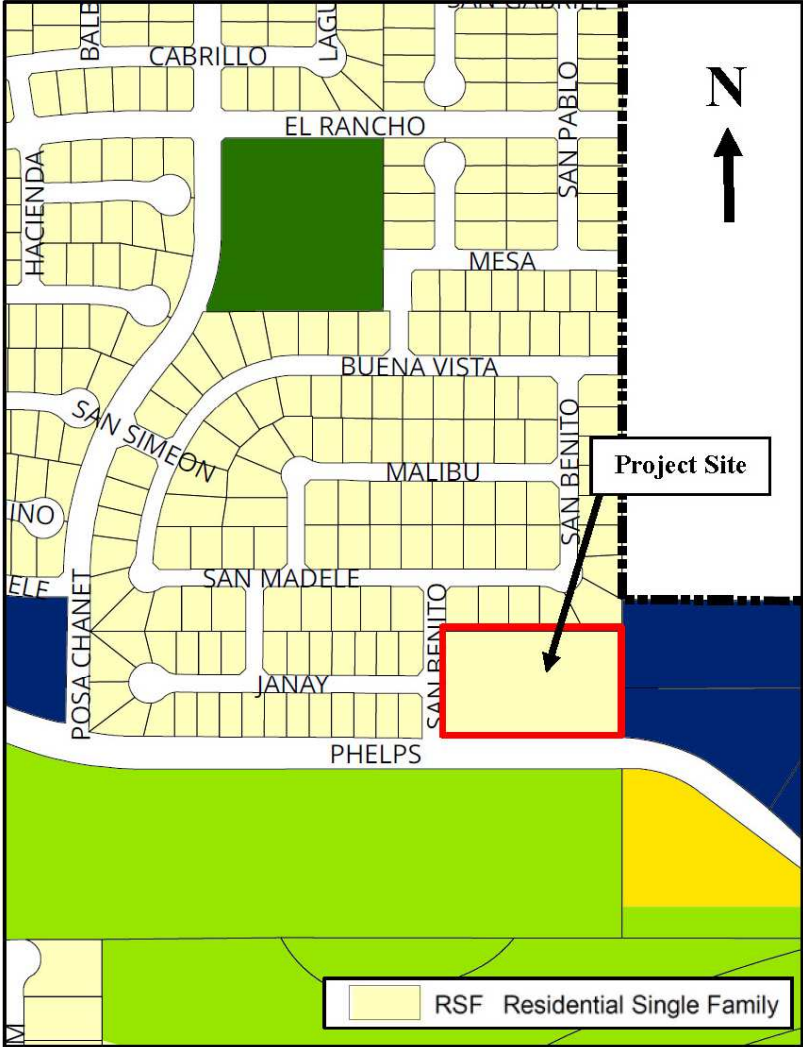
OF 6 SHEETS

PROJECT LOCATION MAP

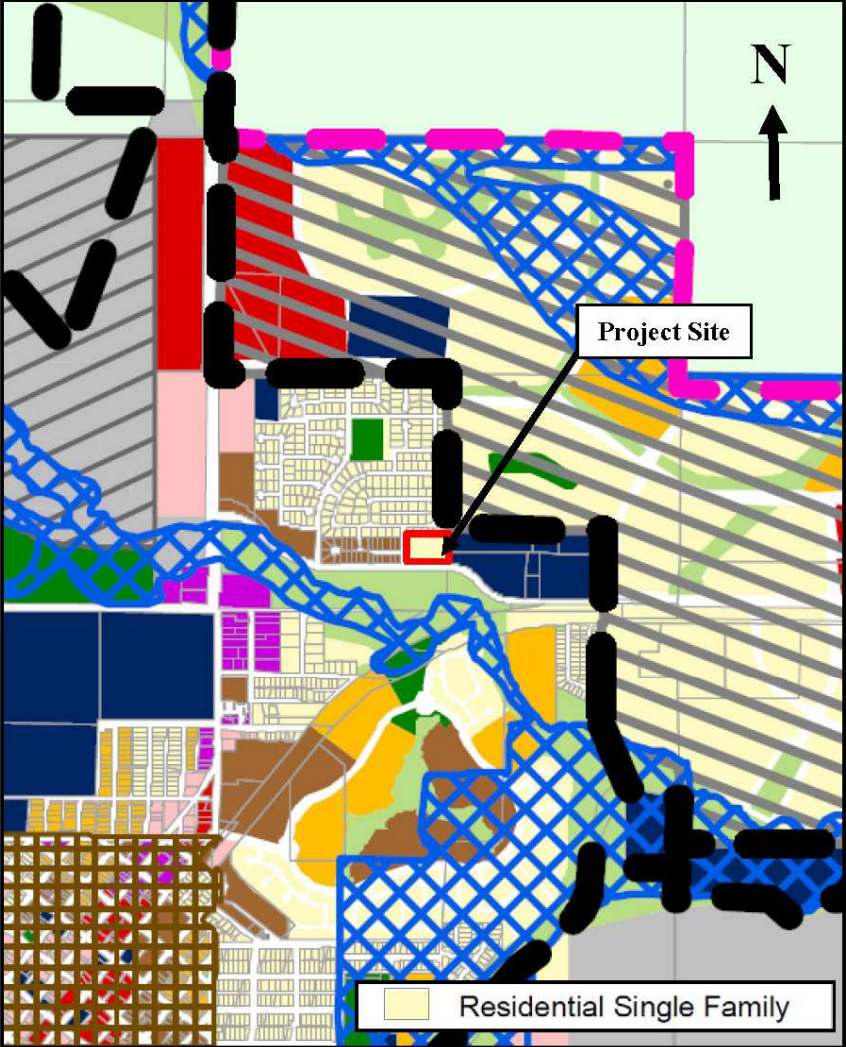


CITY OF COALINGA ZONING AND GENERAL PLAN DESIGNATION EXHIBIT

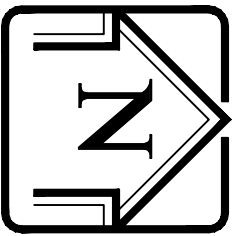
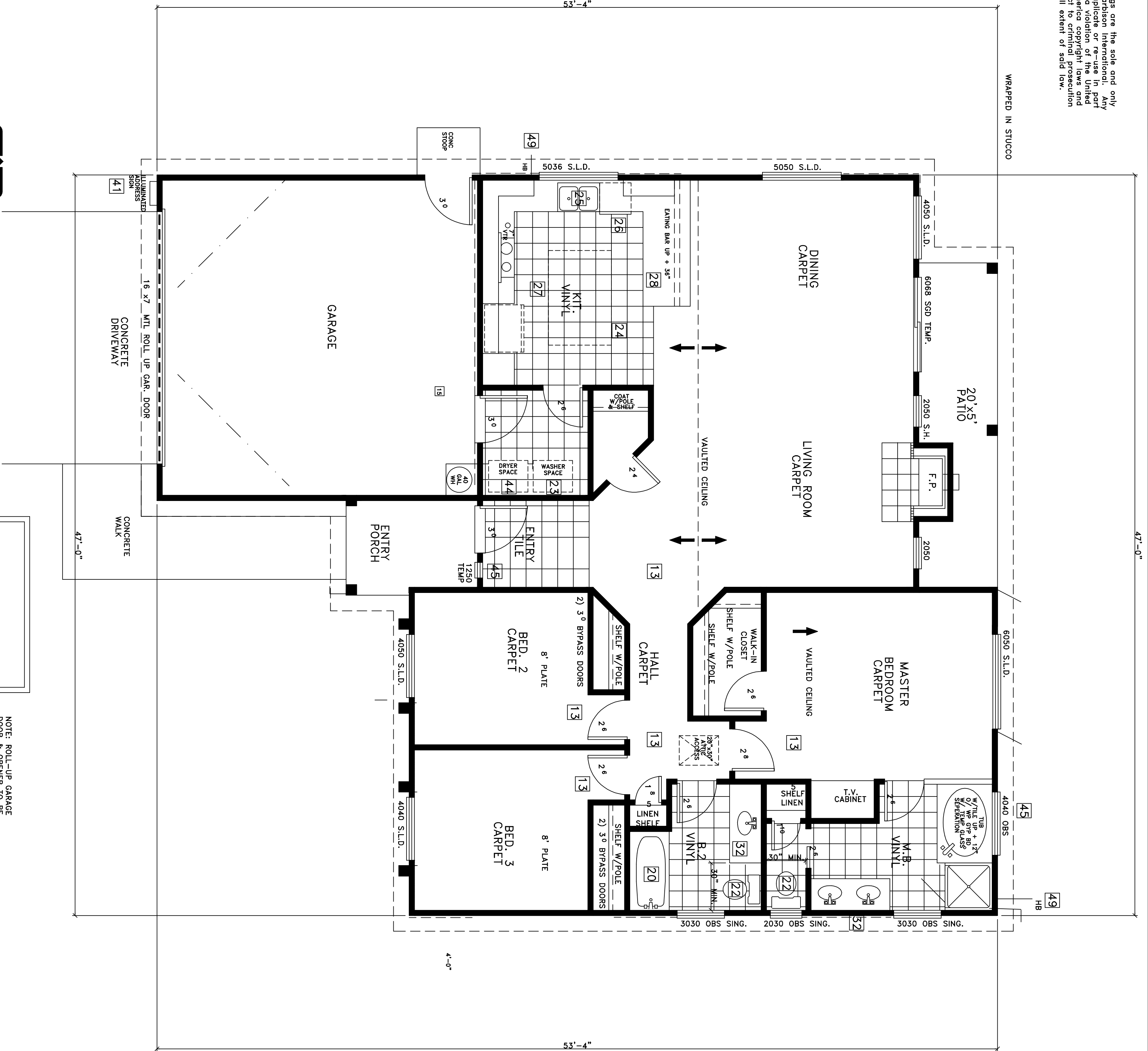
City of Coalinga Zoning Exhibit



City of Coalinga General Plan Land Use Exhibit



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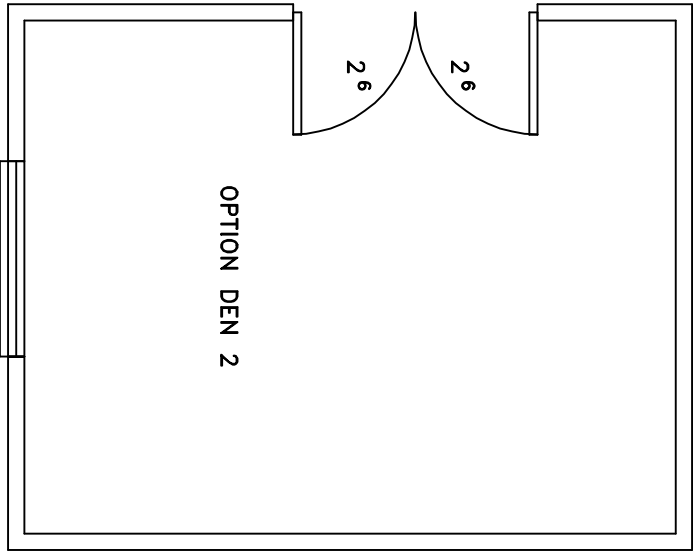


FLOOR PLAN

SCALE : 1/4" = 1'-0"

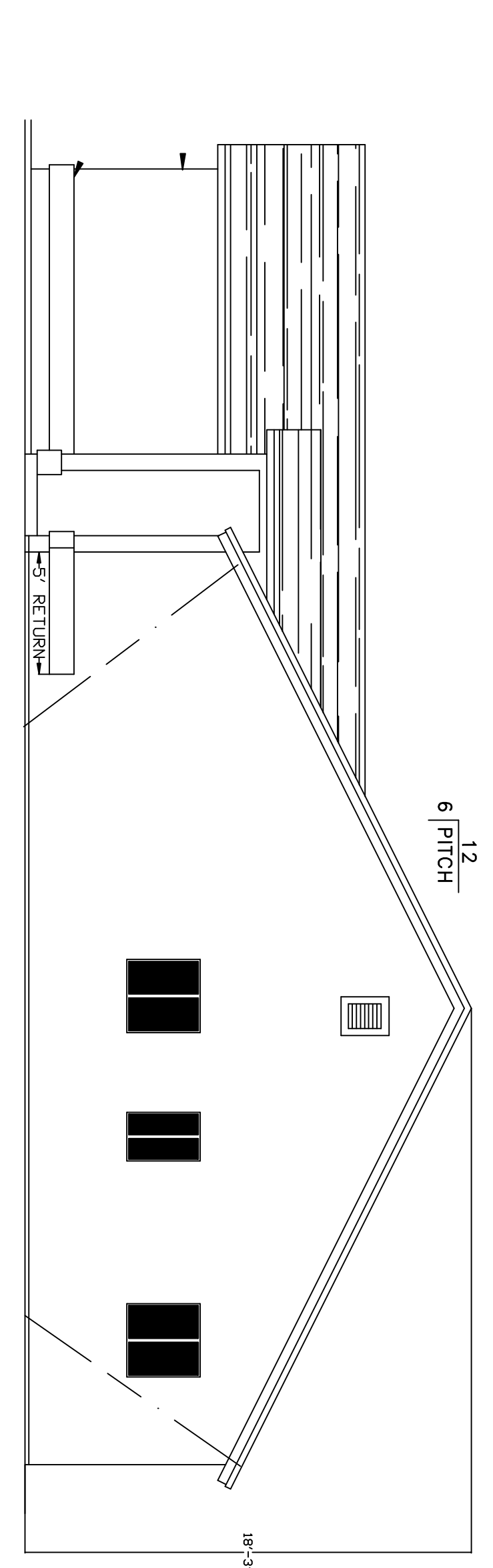
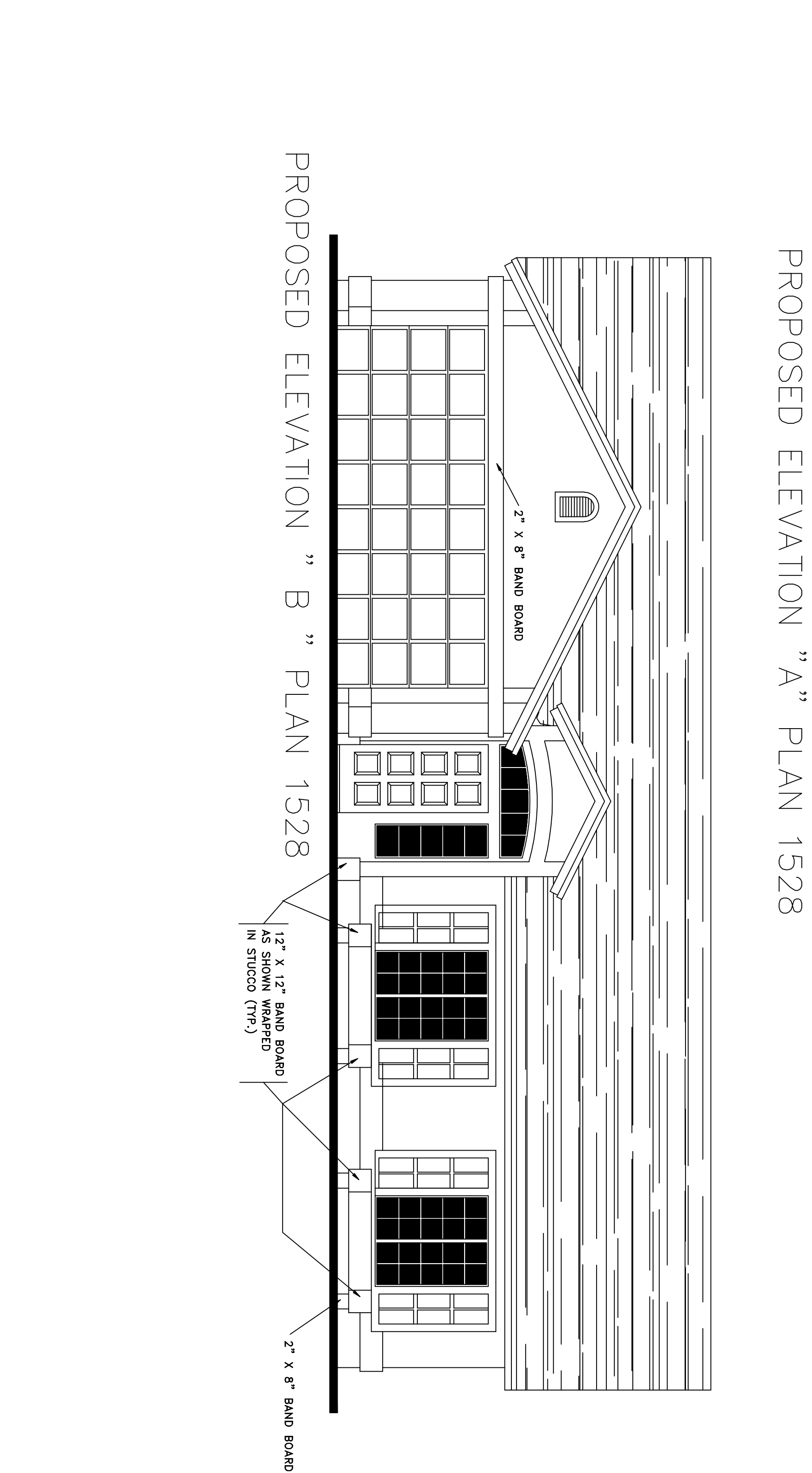
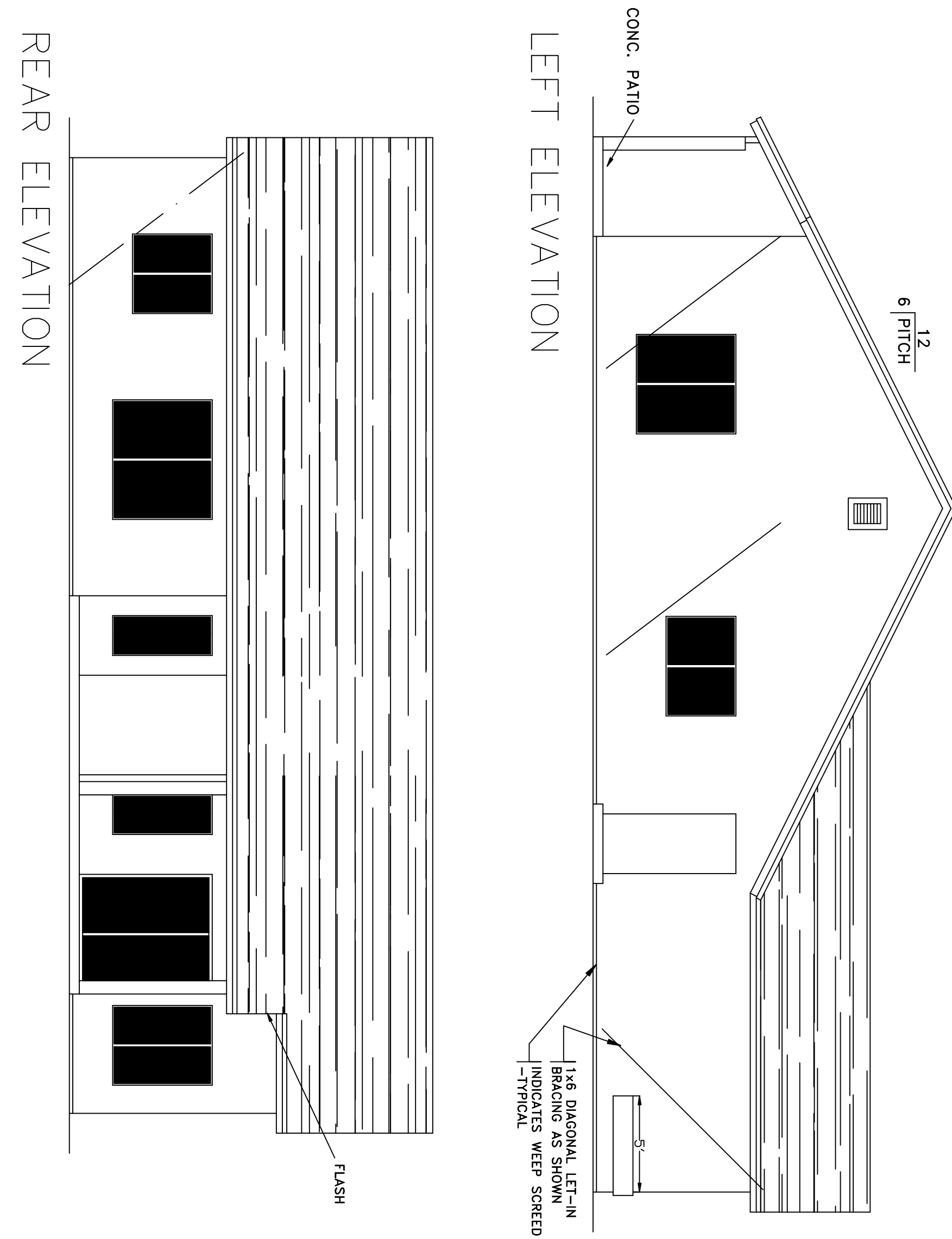
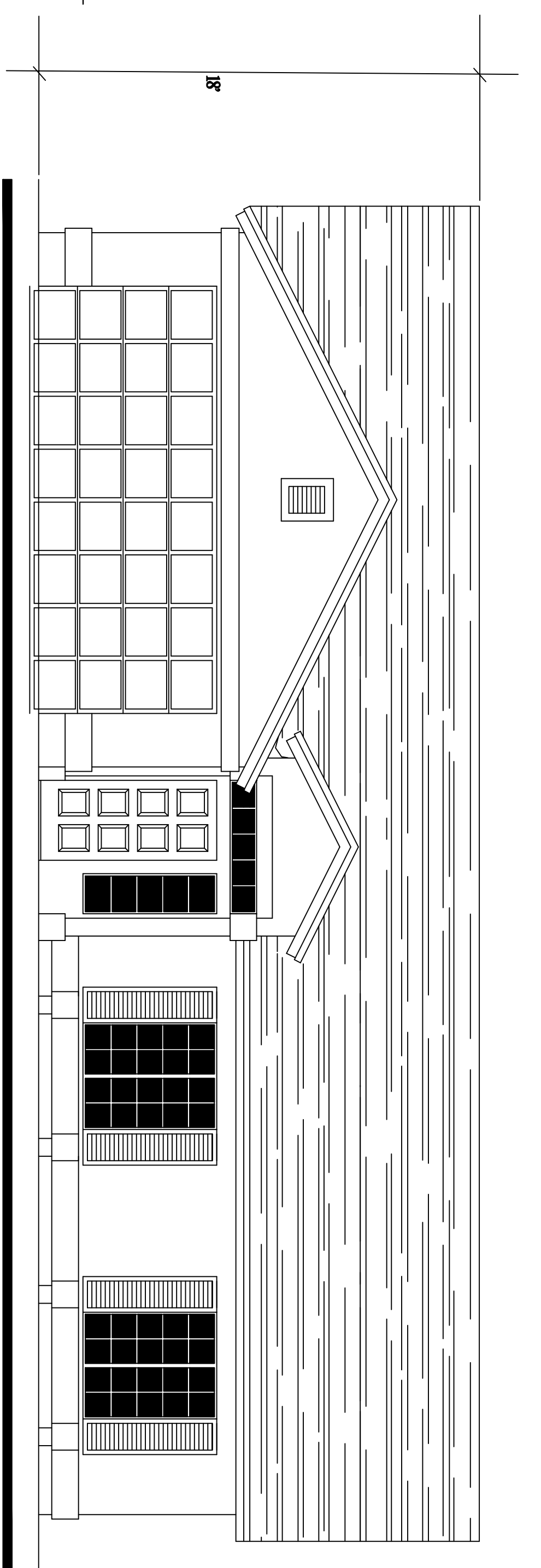
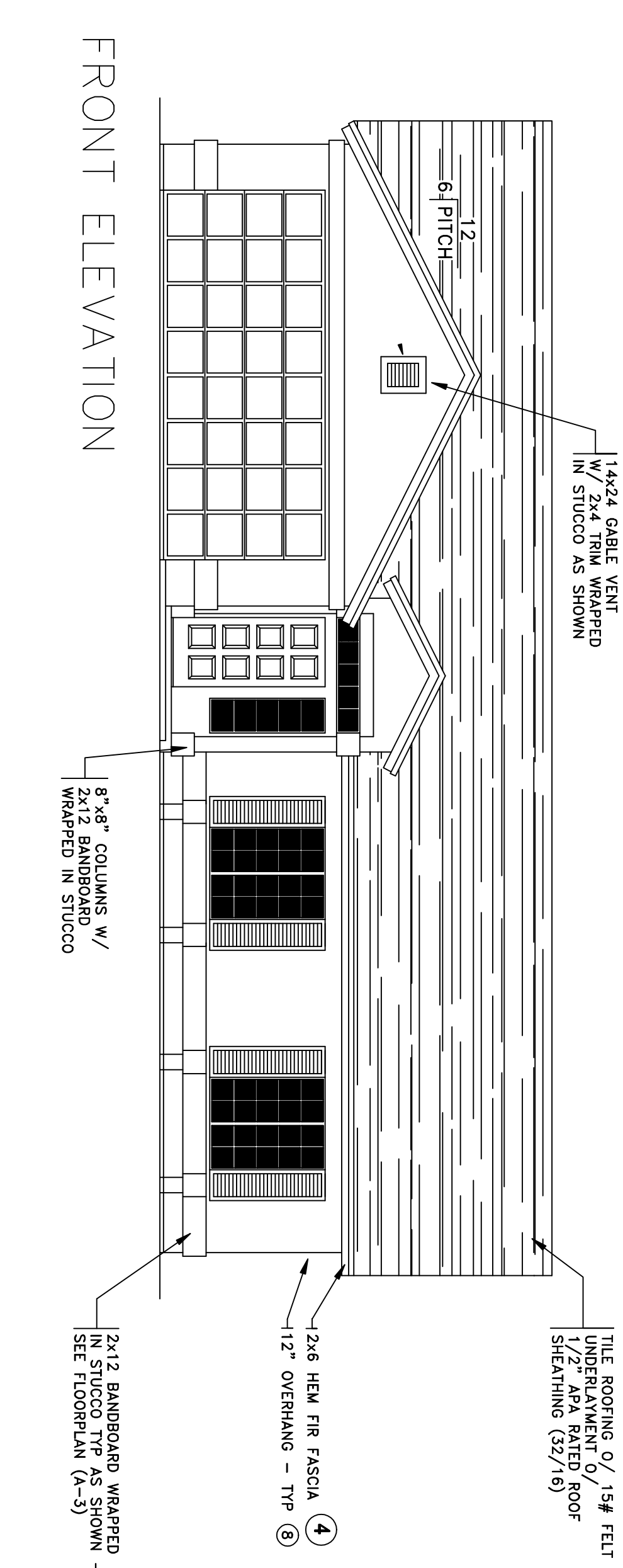
BUILDING SQUARE FOOTAGE

LIVING AREA: 1528 SQ. FT.
GARAGE: 425 SQ. FT.
PORCH: 48 SQ. FT.
PATIO: 91 SQ. FT.
TOTAL: 2091 SQ. FT.



NOTE: ROLL-UP GARAGE DOOR & OPENER TO BE INSTALLED DURING CONSTRUCTION.

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EXTERIOR ELEVATIONS

SCALE : 3/16" = 1'-0"

1528 STANDARD PLAN

EXTERIOR ELEVS

Revisions

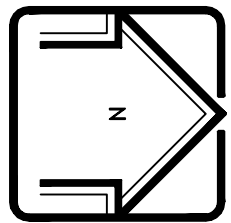
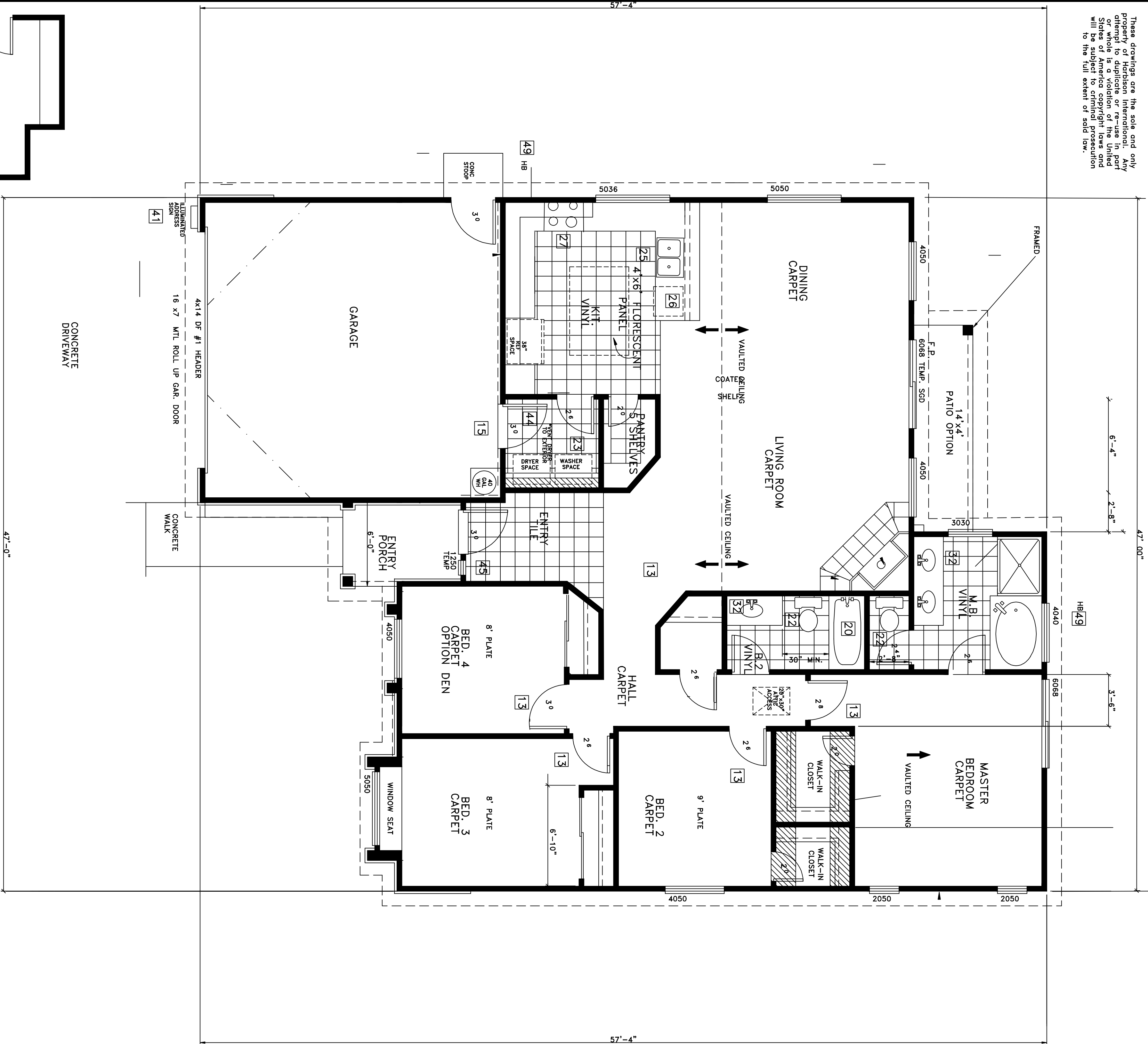
Harbison International Inc.
Engineers - Surveyors - Planners
2755 E. Shaw Ave., Suite 101
Fresno, CA 93710, USA
PH: (559) 284-7485 FAX: (559) 284-7481

DEVELOPER / OWNER
LUX ESTATES, LLC
4180 W. ALAMOS 104F
FRESNO, CA 93722

LUX ESTATES
TENTATIVE SUBDIVISION MAP 6175
COALINGA, CA.
PLAN 1528

Tract No. 5155
Designer M.A. HAMZY
Date 12-1-16
Sheet 12-1-16
4 Of 6 Sheets

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FLOOR PLAN

SCALE : 1/4" = 1'-0"

BUILDING SQUARE FOOTAGE

LIVING AREA:

GARAGE:

COV. ENTRY PORCH:

OPT. COV. PATIO:

TOTAL:

1713 SQ. FT.

425 SQ. FT.

56 SQ. FT.

44 SQ. FT.

2238 SQ. FT.

NOTE: ROLL-UP GARAGE DOOR & OPENER TO BE INSTALLED DURING CONSTRUCTION.

1713 STANDARD PLAN FLOORPLAN

LUX ESTATES
TENTATIVE SUBDIVISION MAP 6175
COALINGA, CA.
PLAN 1713

DEVELOPER / OWNER
LUX ESTATES, LLC
4180 W. ALAMOS 104F
FRESNO, CA 93722

Harbison International Inc.
Engineers - Surveyors - Planners
2755 E. Shaw Ave., Suite 101
Fresno, CA 93710, USA
PH. (559) 294-7485 FAX: (559) 294-7481

Revisions

TRACT:

S&S

Designer

M. A. HANZLY

Date

12-1-16

Sheet

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

Application Number _____

Date _____

APPLICANT INFORMATION:

HARBISON INT. INC.

Applicant/Property Owner Name: LUX Estates, LLC / CHASE INC.

Mailing Address: 3754 W. HOLLAND AVE., Fresno CA 93722

Telephone Number: 559-435-3783 Assessors Parcel Number: 070-091-085

Property Location (Street Address): NORTH EAST CORNER OF LA GUESTA AVE & PHELPS AVE

Property is located: North East side of PHELPS AVE Street, EAST OF between LA GUESTA AVE. Street and EAST OF JANAY. Street

PROJECT INFORMATION:

Current Zoning: R-1 Proposed Zoning R-1

Existing Floor Plan: _____ Proposed Floor Area: 1528 & 1713 sq. ft.

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.) Single-Family Residential

Is project: ☒ new construction or ☐ remodeled.

Residential

Number of dwelling units 14 Total of area (in square feet) 22,607 sq. ft.

Total lot coverage of buildings or structures (in square feet) 1713 Percentage of lot coverage 24 %

Number of off street parking spaces provided. Covered 28 Open 28

Total square feet of sign area 20 Total square feet devoted to recreation and open space 106313 sq. ft.

Give total percentage of lot devoted to recreation and open space 70% OR 4916 sq. ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area OPEN SPACE AREA. 106313 sq. ft.

Describe type and material to be used on exterior walls and doors STUCCO & VINYL WINDOWS & WOOD DOORS.

Commercial NOT APPLICABLE

Gross floor area or building when complete _____ sq. ft.

Describe sign (free standing, affixed to wall etc.) _____

Number of parking spaces provided _____ Number of customers expected per day _____

Hours and days of operation _____

Describe any outside storage of equipment or supplies: _____

Describe Improvement for:

Street Trees (List type & interval of spacing): YES, ONE EACH LOT, & 3 TREES
AT CORNER LOTS.

Drainage Collection & Disposal: CONNECT TO CITY EXISTING DRAINAGE
SYSTEM

Domestic Water Supply (include Fire Hydrants): YES, CITY WATER, 2 NEW FIRE HYD.

Proposed Sewer Collection & Disposal: CONNECT TO EXISTING CITY SEWER

Other Public Utilities (Power, Telephone, Irrigation, Cable T.V.): POWER, PHONE, CABLE.

ATTACH PRELIMINARY TITLE REPORT DESCRIBING THE STATUS OF ALL INTEREST IN PARCEL.

CERTIFICATION:

Owner of property hereby certifies that he is the owner of the property on which the map is proposed for subdivision, and that he has examined the map and consents to the submissions of the map and this application.

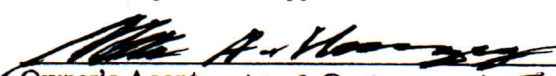

Owner's Signature

CHASE INC

PRISCA THOMAS
Owner's Name (Please Print)

2635 LAKE VAN NESS
Address FRESNO, CA 93711

559-681-1182
Telephone


Owner's Agent HARRISON INT. INC

2755 E SHAW AVE
Address SUITE 101
FRESNO, CA 93710
559-294-7485

Telephone
DALE H. WINN PE
HARRISON INT. INC
Engineer of Map

2755 E. SHAW AVE #101
Address FRESNO, CA 93710
559-294-7485
Telephone

CITY OF COALINGA
TENTATIVE SUBDIVISION MAP APPLICATION

Application Number _____

Date _____

APPLICANT INFORMATION:

Applicant's Name: LUX ESTATES, LLC & HARBISON INT. INC.
Property Owner's Name: Chase Inc.
Applicant's Mailing Address: 3754 W HOLLAND AVE, Fresno CA 93722
Telephone Number: 559-435-3783 Assessor Parcel Number: 070-091-085
Property Location (Street Address): N. E CORNER OF LA CUESTA & PHELPS AVE
Legal Description (lot, block, tracts, etc.): Lot 47 of Tract No. 4244, Pasa Chanet Estates, As per map Recorded in Book 52 Pages 74 through 77, inclusive of Plats, Fresno County Records

PROPERTY USE INFORMATION:

Current Zoning: R-1 Existing Use: Vacant
Existing Structures: None Proposed Number of Lots: 14
Existing Number of Lots: 1 Minimum Lot Size (Sq. Ft.): 7,026 SF
Area of Parcel (Sq. or Acs.): 3.09 AC Proposed Use: Subdivision

Existing Easement and Use NONE

Proposed Restrictive Requirements (if any): NONE STANDARD SUBD. FOR RESIDENTIAL USE.

Will all improvement meet City of Coalinga Requirements ☒ Yes ☐ No

If no, list exceptions and give justification: _____

If no, list exceptions and give justification: _____

Industrial**NO**

Describe any outside storage of equipment or supplies: _____

Maximum number of employees in any daily shift: _____

Number of delivery or shipping trucks per day: _____

Number of delivery or shipping trucks per day when construction is complete: _____


Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedication and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.


Signature of Applicant12-9-2016
Date
Signature of Record Property Owner12-10-2016
Date**OWNER CHASE INC & LUX ESTATES LLC**

CITY OF COALINGA
ENVIRONMENTAL REVIEW APPLICATION

Application Number

Date

APPLICANT INFORMATION:

Applicant: LUX Estates LLC & CHASE INC.

Mailing Address: 3554 W HOLLAND AVE, Fresno CA 93722

Telephone Number: 559-435-3783 Assessor Parcel Number: 070-091-085

Property Owner's Name: Chase Inc

Property Owner's Address: 4180 W. Alamos 104 F, Fresno CA 93722

Contact Person: Bob Shiralian

PROPERTY USE INFORMATION:

Size of Parcel (Square Feet/Acres) 3.09 AC

Describe Existing Use of Property: Vacant

Square Feet of Existing Building Area 0 sf, Square Feet of Existing Paved Area 0 sf

Current Zoning R-1 Proposed Zoning R-1

Describe in General Terms Existing Uses to the:

North: Existing Subdivision

South: Vacant Land

East: Vacant Land

West: Existing Subdivision

Are there any man-made or natural water channels on property? NO

If there are, where are they located N/A

Number of existing trees on the site 0 Number of trees to be moved (Age & Type) 0

Residential

a. Number of Dwelling Units: 14 b. Unit Size(s) _____

c. Range of Sales Prices and/or Rents (projected): 1528 sq. ft To 1713 sq. ft.

d. Type of Household Size Expected: _____

Commercial

NOT APPLICABLE

a. Orientation:

Neighborhood: _____

City or Regional: _____

b. Square Footage of Sales Area: _____

c. Range of Sales Prices and/or Rents (Projected): _____

d. Type of Household Size Expected: _____

e. Number of Employees: Full Time _____ Part Time _____ Seasonal _____

f. Days and Hours of Operation _____

Signature of BOTH the APPLICANT and RECORDED PROPERTY OWNER (S) are required below as applicable.

The forgoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.



Signature of APPLICANT/AGENT

MIKE A. HAMZY

HARRISON INT. INC

Name of APPLICANT/AGENT (Please Print)

2755 E. SHAW AVE #101

Mailing Address FRESNO, CA. 93710

559-294-7485

Telephone Number



Signature of OWNER

PRISCA THOMAS

Name of OWNER (Please Print)

2635 LAKE VAN NESS

Mailing Address FRESNO, CA
93711

559-281-1182

Telephone Number



City of Coalinga
Community Development Department

APPLICATION FOR ENVIRONMENTAL EVALUATION

1. Owner/Applicant Information

PROPERTY OWNER'S NAME: LUX ESTATES, LLC / CHASE INC
PROPERTY OWNER'S ADDRESS: 3754 W. HOLLAND AVE, FRESNO, CA 93722
TELEPHONE: 559-435-3783 EMAIL: _____

APPLICANT'S NAME, COMPANY/ORGANIZATION: LUX ESTATE C.O: HARBISON INT. INC
APPLICANT'S ADDRESS: 2755 E. SHAW AVE SUITE 101 FRESNO, CA 93710
TELEPHONE: 559-294-7485 EMAIL: mike@hamzy.com

CONTACT FOR PROJECT INFORMATION: MIKE A. HAMZY, HARBISON. INT.
ADDRESS: 2555 E SHAW AVE SUITE 101, FRESNO, CA. 93710
TELEPHONE: 559-294-7485 EMAIL: mike@harbisonint.com

2. Location and Classification

STREET ADDRESS OF PROJECT: N E. CORNER OF LA CUESTA AVE & PHELPS AVE.
CROSS STREETS: NORTH OF PHELPS AVE.
ASSESSOR'S PARCEL NUMBER(S): 070-091-08 S
LOT DIMENSIONS: 60 X 117 (±) LOT AREA (SQ FT): MIN LOT 7026
ZONING DESIGNATION: R-1 GENERAL PLAN DESIGNATION: R-1

3. Project Description (please check all that apply)

- ☐ Change of Use
- ☐ Change of Hours
- ☒ New Construction
- ☐ Alterations
- ☐ Demolition
- ☐ Other (please clarify):

PRESENT OR PREVIOUS USE: VACANT.

PROPOSED USE: RESIDENTIAL DEVELOPMENT.

BUILDING APPLICATION PERMIT #: _____ DATE FILED: _____

4. Project Summary Table

If you are not sure of the eventual size of the project, provide the maximum estimates.

	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Project Features				
Dwelling Units	<u>VACANT</u>		<u>14 UNITS</u>	<u>14 UNITS</u>
Parking Spaces	<u>"</u>		<u>4 PER LOT</u>	<u>56</u>
Loading Spaces	<u>"</u>		<u>N/A.</u>	
Bicycle Spaces	<u>"</u>		<u>N/A.</u>	
Number of Buildings	<u>"</u>		<u>14</u>	<u>14</u>
Height of Buildings	<u>"</u>		<u>18'-3" to 19'-6"</u>	<u>MAX 19'-6"</u>
Number of Stories	<u>"</u>		<u>1</u>	<u>1</u>
Gross Square Footage (GSF)				
Residential	<u>"</u>		<u>22,687</u>	<u>22,687</u>
Retail	<u>N/A</u>		<u>N/A.</u>	
Office	<u>N/A</u>		<u>N/A.</u>	
Industrial	<u>N/A</u>		<u>N/A.</u>	
Parking	<u>N/A</u>		<u>N/A.</u>	
Other _____				
Other _____				
Other _____				
Total GSF			<u>TOTAL BUILD'G =</u>	<u>22,687 sq. Ft.</u>

Please provide a narrative project description that summarizes the project and its purpose or describe any additional features that are not included in this table. Please list any special authorizations or changes to the Planning Code or Zoning Maps if applicable.

All Projects

Land Use

What is the current use of the site? VACANT (RESIDENTIAL ZONED)

Please list all previous land uses of the site for the last 10 years. VACANT
RESIDENTIAL ZONED

Neighborhood Contact

Please describe any contact you have had regarding the project with the following: neighbors/property owners adjacent to the subject site, Neighborhood Associations, Business Associations, or Community Groups in the project area.

NO CONTACT WITH ADJACENT NEIGHBORHOOD.

Site Characteristics

Providing the following information regarding the environmental setting with your application is one of the most effective ways to expedite your project's environmental review. If your site contains structures, large trees, mature vegetation, natural drainage ways, low lying areas where water pools during the rainy season, or wetland areas, supplemental information may be requested in order to conduct the environmental review of your project.

Are there any structures or buildings on the project site?

☐ Yes ☒ No

If yes, how many? _____

What is the construction date of each structure? _____

Current use of existing structure(s)? _____

Proposed use of existing structure(s)? _____

Are there any trees on the project site?

☐ Yes ☒ No

Are any trees proposed to be removed?

☐ Yes ☐ No

Does the site contain any natural drainage ways?

☐ Yes ☒ No

Does the site contain any wetland areas or areas where water pools during the rainy season?

☐ Yes ☐ No

What land uses surround the project site? (i.e., single-family residential, commercial, etc.)

Please describe: SINGLE-FAMILY RESIDENTIAL.

AND WE ARE APPLYING TO DEVELOPE 14 LOTS, RESIDENTIAL
SUBD. AS PER ZONNING REQ.

Are you proposing any new fencing or screening?

☒ Yes ☐ No

If yes, please describe the location, the height, and the materials (i.e., wood, masonry, etc.) of the fencing. 6' WOOD FENCE ALONG THE SIDES & BACK OF EACH LOT.

Is there parking on-site?

☒ Yes ☐ No

If yes, how many spaces are existing (for the entire property) and how many are proposed on-site for the project?

Existing NONE

Proposed 4 PER LOT ON SITE

Is any parking proposed off-site?

☐ Yes ☒ No

If yes, where will it be located and how many spaces? _____

Are you proposing new signs with the project?

☒ Yes ☐ No

If yes, please describe the number and type. PROJECT MONUMENT SIGN.

Are there any easements crossing the site?

☐ Yes ☒ No

Are there any trash/recycling enclosures on-site?

☐ Yes ☒ No

If yes, what is the size/height/materials of the enclosure(s) and where are they located?

What is the total number of cubic yards allocated for recycling? _____

Building Setback from Property Lines		
	Existing (feet/inches)	Proposed (feet/inches)
Front	<u>NONE</u>	<u>20' MIN.</u>
Rear		<u>24' MIN. (EXCEPT ALL-DECK)</u>
Streetside		<u>10' MIN.</u>
Interior Side		<u>5' MIN.</u>

What are the front setbacks of the two nearest buildings (on adjacent property) on the same side of the block? If there are no other properties, please write "N/A."

1st Address: N/A 2nd Address: "N/A"

Setback: _____ Setback: _____

Exterior Materials

Existing Exterior Building Materials: N/A

Existing Roof Materials: N/A

Existing Exterior Building Colors: N/A

Proposed Exterior Building Materials: STUCCO

Proposed Roof Materials: TILE ROOFING

Proposed Exterior Building Materials: STUCCO WITH B&P BOARD

Residential Projects

Fill in this section if your project has residential units. Complete both residential and non-residential sections if you are submitting a mixed-use project. Provide information below for the proposed project unless the question specifically requests information on the existing conditions of the property.

Total Number of Lots: 14
Total Dwelling Units: 14

Net Acreage of Site: 3.09 AC
Density/Net Acre: 16.8 %

of Single-Family Units: 14
of Multi-Family/Apartment Units: NONE

of Duplex/Half-Plex Units: NONE
of Condominium Units: NONE

Structure Size

Please identify the size of all existing structures to be retained (identify separately). N/A
VACANT

Residence
Garage
Other

Gross Square Footage: _____
Gross Square Footage: _____
Gross Square Footage: _____

Size of new structure(s) or building addition(s):

Gross Square Footage: 22,687

Total Square Footage: 22,687

Building Height

Building height means the vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the plate line, where the roof meets the wall.

Existing Building Height and # of Floors (from ground to the plateline): N/A

Existing Building Height and # of Floors (from ground to the top of the roof): N/A

Proposed Building Height and # of Floors (from ground to the plateline): MAX 19'-6"

Proposed Building Height and # of Floors (from ground to the top of the roof): MAX 19'-6"

Lot Coverage

Total Building Coverage Area* (proposed new and existing to be retained) (sq. ft.): NEW 1528 SQ. FT
Project Site Lot Area (sq. ft.): VARIES FROM 7029 SQ. FT TO 10,185 SQ. FT.
Total Lot Coverage Percentage: Avg 21 %

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)

* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Non-Residential Projects

Fill in this section if your project has a non-residential component. Complete both residential and non-residential sections if you are submitting a mixed-use project.

Hours of operation of the proposed use: _____

If your project includes fixed seats, how many are there? _____

Building Size

Total Building Square Footage On-Site (gross sq. ft.) _____

Breakdown of Square Footage – Please Mark All That Apply		
	Existing	Proposed
Warehouse Area		
Office Area		
Storage Area		
Restaurant/Bar Area		
Sales Area		
Medical Office Area		
Assembly Area		
Theater Area		
Structured Parking		
Other Area*		
*Describe use type of "Other" areas.		

Building Height

Existing Building Height and # of Floors: _____

Proposed Building Height and # of Floors: _____

Lot Coverage

Total Existing and Proposed Building Coverage Area* (sq. ft.): _____

Project Site Lot Area (sq. ft.): _____

Total Lot Coverage Percentage: _____

(Example: building area (2,000') / lot area (5,000') = 40% total lot coverage)

* Include all covered structures (patios, porches, sheds, detached garages, etc.)

Environmental Evaluation Application Submittal Checklist

Application Materials	Provided	Not Applicable
Two (2) originals of this application signed by owner or agent, with all blanks filled in.		
Two (2) hard copy sets of project drawings in 11" x 17" format showing existing and proposed site plans with structures on the subject property and on immediately adjoining properties, and existing and proposed floor plans, elevations, and sections of the proposed project.		
One (1) CD containing the application and project drawings and any other submittal materials that are available electronically.		
Photos of the project site and its immediate vicinity, with viewpoints labeled.		
Check payable to Coalinga Community Development Department.		
Letter of authorization for agent, if applicable.		
Available technical studies.		

For Department Use Only

Application Received by Community Development Department:

By: _____

Date: _____