



AGENDA

PLANNING COMMISSION

155 W. DURIAN, COALINGA, CA 93210

TUESDAY JANUARY 10, 2017

The Mission of the City of Coalinga is to provide for the preservation of the community character by delivering quality, responsive City services, in an efficient and cost-effective manner, and to develop, encourage, and promote a diversified economic base in order to ensure the future financial stability of the City for its citizens.

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners:

<i>Chairman Stoppenbrink</i>
<i>Vice Chairman Sailer</i>
<i>Commissioner Jacobs</i>
<i>Commissioner Gonzales</i>
<i>Commissioner Helmar</i>

Staff:

<i>Sean Brewer, Community Development Director</i>
<i>Marissa Trejo, City Manager</i>

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

1. Approval of Minutes - November 8, 2016

PUBLIC HEARINGS

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

1. Site Plan Review Application (SPR 16-02) 9800 Cody Street
2. Approval of Site Plan Review 16-09 (32-Unit Elm Avenue Senior Apartments)

DEPARTMENT REPORTS

COMMUNICATIONS

1. Staff Announcements
2. Commissioner Announcements
3. Chairman Announcements

ADJOURN



Staff Report- Chairman and Planning Commission

Subject: Approval of Minutes - November 8, 2016
Meeting Date January 10, 2017
Project Location:
Applicant:
Owner:
Prepared By: Sean Brewer, Community Development Department

I. RECOMMENDATION:

Approval of the minutes from the November 8, 2016 Planning Commission Meeting.

II. BACKGROUND:

III. PROPOSAL AND ANALYSIS:

IV. FISCAL IMPACT:

V. REASONS FOR RECOMMENDATION:

ATTACHMENTS:

Description

☐ November 8, 2016 Minutes

MINUTES

PLANNING COMMISSION TUESDAY

November 8, 2016

CALL MEETING TO ORDER (6:00 PM)

Pledge of Allegiance

CHANGES TO THE AGENDA

ROLL CALL

Commissioners: Chairman Stoppenbrink
Vice Chairman Sailer
Commissioner Jacobs
Commissioner Gonzales (Excused Absence)
Commissioner Helmar (Excused Absence)

Staff: Sean Brewer, Community Development Director
Marissa Trejo, City Manager (Not in attendance)

Wanda Earls, Secretary/City Clerk

PUBLIC COMMENTS

Under Government Code 54954.3 members of the audience may address the Commission on any item of interest to the public or on any agenda item before or during the Commission's consideration of the item. State law prohibits the Planning Commission from acting on non-agenda items.

INFORMATION/CONSENT CALENDAR

1. Approval of Minutes - October 11, 2016

*Motion by Sailer, Second by Jacobs to Approve Consent Calendar (Minutes of 10/11/16). Motion **Approved** by a Voice 3/2 Majority Vote. Helmar/Gonzales Absent.*

PUBLIC HEARINGS

1. Consideration of Conditional Permit and Site Plan Review for a Proposed Personal Storage Facility to be Located at 201 E. Forest Ave (Application CDA 16-03)

Community Development Director Sean Brewer read the Staff Report covering the following:

- Recommendation
- Background
- Proposal and Analysis
 - Building
 - Landscaping
 - Access and Off-site work
 - Access to the Storage Units
 - Sidewalk on Fourth Street
 - Surrounding Land Uses and Transitional Standards
 - Environmental (CEQA)
 - Public Notification
- Reasons for Recommendation
 - Conditional Use Permit Findings
 - General Plan
 - Neighborhood Compatibility
 - Asset for the Neighborhood
 - Site Plan Findings
 - Conformance with the General Plan
 - Conform to the requirements of the Applicable Zoning Districts
 - No significant adverse effects on the public health, safety and welfare.

Mr. Pat Billingsley answered questions of the Commission in reference to the following:

- Number of Units (need for larger units)
- ADA Compliance
- Agreement to findings
- Nice place and well kept (Opinion of Commissioners)

*Motion by Sailer, Second by Jacobs to Approve CUP and Site Plan Review for a Storage Facility to be located at 201 E. Forest Avenue (Application CDA 16-03). Motion **Approved** by a Voice 3/2 Majority Vote. (Helmar/Gonzales Absent)*

DISCUSSION AND/OR POTENTIAL ACTION ITEMS

DEPARTMENT REPORTS

Mr. Brewer indicated he has no official Department Reports.

Commissioner Sailer asked what is going on with the electrical on Merced past Industrial Park.

Mr. Brewer said he didn't know but there is a high energy demand.

Council Member Vosburg wants to bring Food Trucks into the Plaza on occasion. This comes before the Council on 12-1-16.

January 10th is Site Plan for commercial operations for marijuana. Seven (7) licenses are being considered right now.

Two facilities have submitted plans for Cody Street. One is two stories and they are 25K and 22K square foot buildings.

Chairman Stoppenbrink expressed concerns about (WHCC) Farm access. They cannot block farm property.

Mr. Brewer indicated said according to the Plot Map there is an easement and no blockage to the WHCC Farm.

COMMUNICATIONS

1. Staff Announcements (None)
2. Commissioner Announcements (None)
3. Chairman Announcements (None)

ADJOURN (6:20 PM)

Chairman/Vice Chairman

City Clerk/Deputy Clerk

Date



Staff Report- Chairman and Planning Commission

Subject: Site Plan Review Application (SPR 16-02) 9800 Cody Street
Meeting Date January 10, 2017
Project Location: 9800 Cody Street (070-120-11S)
Applicant: Matthew Dunn, 500 Molino Street, #312, Los Angeles. CA 90013
Owner: Matthew Dunn, 500 Molino Street, #312, Los Angeles. CA 90013
Prepared By: Sean Brewer, Community Development Director

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 017P-001 with conditions for the development of a new commercial cannabis facility to be located at 9800 Cody Street.

II. BACKGROUND:

On November 8, 2016 the Community Development Department received an application for the development of a phased 22,000 square foot industrial building at 9800 Cody Street. The intended use for the industrial building is for a commercial cannabis cultivation operation, license Type 3A (up to 22,000 square feet under canopy). Once the site plan application was deemed complete staff requested comments from the necessary City Departments. This proposal incorporates feedback from all City Departments. The Coalinga Municipal Code requires that all applicable new structures permanent or temporary erected in the City require a site plan review and approval by the Planning Commission for consistency with all applicable zoning regulations.

III. PROPOSAL AND ANALYSIS:

The proposed project proposes to construct a 22,000 square foot single story industrial building, approximately 27 feet in height to the eave, comprised of several grow rooms, a storage room, restrooms, office space, breakroom and security checkpoint. The site in which the industrial building will be built on is approximately 1.71 acres. The General Plan designation for the parcel is (MB) Manufacturing and Business with a zoning designation of Manufacturing and Business Light (MBL). The project proposal is consistent with all the development regulations for Commercial Cannabis developments pending the outcome of the required Commercial Cannabis License. Currently, the applicant has a commercial cannabis license application under review with the police department.

Surrounding Land Use Setting:

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North	Industrial Zoned Property (West Hills Community College Distract Office)
South	Industrial Zoned Property (Vacant)
West	Industrial Zoned Property (Claremont)
East	State Highway (City Limits – County Agricultural Land)

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code, a site plan review is required for all development projects within the City. The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does not fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

1. The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
2. The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
3. The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
4. The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, Zoning Ordinance, and any applicable plans adopted by the City.

Manufacturing and Business Development Regulations

There are several development regulations that staff reviews prior to recommending approval of a site plan review application. This site plan application has been reviewed for compliance with the Coalinga Planning and Zoning Code and meets all applicable requirements for the proposed use based on type, location and site constraints.

Access

The primary access point for the development will be located on Cody Street at the northwest corner of the property. According the Fire Department and City Engineer there is adequate space onsite for public safety maneuvering. The need for a secondary ingress/egress point is not necessary since it would be very difficult to provide an additional ingress/egress location without accessing the property from the State Highway which staff and the City Engineer wanted to avoid.

City Utilities

- All utilities are readily available for connection on Cody Street. All City utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. Improvement plans will be reviewed and approved by the City Engineer.

Storm Runoff: On-site storage of storm runoff has been provided at the southeast corner of the parcel and will be screened by wrought iron on the east boundary and chain link on the interior north, west and exterior south boundary.

Gas: Public Natural Gas Facilities exist in Cody Street and are available to serve this development. The applicant shall extend natural gas service to the project site

Water: Public Water Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a water service to the project site.

Sewer: Public Sewer Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a sewer lateral to the project site.

Meters: There shall be meters for both water and natural gas which shall be identified on the final site plan when submitted to the Planning Department for final approval. There will be separate landscape and domestic meters in order to differentiate between landscaped water and domestic water per City policy. Since this is a secure facility the water meters shall be located outside the secured area and gas meters shall be placed in a location that are protected from damage and may be located within the secured area. If gas meters are to be located on-site within the secured area the applicant shall work with Public Works to determine the best practice for reading meters.

- Parking

In accordance with section 9-4.302 Table 4.4 of the zoning code, the parking requirement for the proposed development is 1 stall for every 1,000 square feet of building space. The proposed development has met the requirement by providing 22 vehicle stalls. Phase 1 will include 14 parking stalls and phase 2 will include an additional 8 stalls to accommodate the 8,000 square foot future expansion.

Shade trees. A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City.

- Refuse Containers

The proposed development provides for the required refuse containers and their size, shape and location are consistent with that of the City requirements.

- Landscaping

The development will be landscaped to exceed the city's minimum requirement for landscaped areas as it relates to site frontage, parking, highway setbacks and equipment screening. A separate landscape plan will be submitted to the Community Development Department for review and approval prior to building permit issuance.

Fencing: All interior fencing shall be of material allowed under the planning and zoning code. All fencing adjacent to public rights of way will be a combination of wrought iron and landscaping or of a decorative block material.

The proposed project is located within 200 feet of a state highway and shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. The applicant has provided the adequate setback from the state highway and will provide the required two (2) fifteen (15) gallon trees for every twenty-five (25) feet of site frontage toward the highway. This will be denoted on the final landscape plan but has been provided conceptual on this plan.

The site plan does provide for landscaped setbacks since there are proposed parking facilities adjacent to the onsite building. A ten (10) foot set back comprised of five (5) feet of landscaping and a paved pedestrian walkway has been provided which meets the development regulations.

Lighting

Lighting has been reviewed and approved by the Police Department to ensure that there will be no spill over lighting. The Police Department is recommending as part of the conditions of approval that the site meet or exceed the standard of 1.5 foot candle of light within the site to ensure adequate lighting. A photometric plan shall be provided and reviewed and approved by the Police Chief prior to certificate of occupancy is issued. All lighting shall use decorative poles and fixtures with LED technology and avoid HPS lighting in an effort to reduce energy consumption.

Signage

In accordance with the zoning regulations related to Commercial Cannabis facilities, no business related signage shall be provided except for those federally regulated such as ADA.

Offsite Improvements

The applicant shall furnish and install off-site Curb & Gutter, Sidewalk, Driveway Approach and Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the existing northerly dirt swales to continue through the new curb & gutter and exit onto the existing dirt swale to the south.

Phasing Plan

This project is proposing to phase its development plan to allow for the expansion of the proposed 14,000 square foot building with an additional 8,000 square feet of space. The Coalinga Planning and Zoning Code does allow for phased development to avoid multiple applications for the same site as long as the time frame between phases are deemed reasonable. Staff feels that the requested phasing plan is reasonable.

Phase One: Phase 1 would include the development of the initial 14,000 square foot industrial building with all permanent improvements being completed as identified on the site plan. The applicant would be required to complete all perimeter fencing, storm drain improvements, off-site improvements, required parking facilities, and landscaping. Phase 1 is expected to begin no later than twelve (12) months after site plan approval and completed with (24) months.

Phase Two: Phase 2 would include the construction of the additional 8,000 square foot building as well as the required parking based on the square footage. Phase 2 is expected to begin no later than (24) months after site plan approval.

Environmental Considerations

The Community Development Director has determined that the proposed project supports a Planning Commission finding that it qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). The project qualifies as a Class 32 exemption under CEQA Guidelines Section 15332, as described below, applies to the project:

15332. In-Fill Development Projects

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

In this case, the project involves an industrial infill development on a 1.71-acre vacant lot and meets all the criteria (a through e) outlined above. Therefore, the project is exempt from further analysis under CEQA.

Additionally, none of the exceptions to application of a categorical exemption in Section 15300.2 of the CEQA Guidelines apply, as described below.

- Sec. 15300.2(a): There is no evidence in the record that the project will impact an environmental resource of hazardous or critical concern in an area designated, precisely mapped, and officially adopted pursuant to law by federal, State, or local agencies. The project site is located within a substantially developed neighborhood and is not located in a sensitive environmental area. Therefore, it will not have a significant impact on the environment.
- Sec. 15300.2(b): There is no evidence in the record that successive projects of the same type in the area will have a significant environmental impact. The project is a small in-fill project within a substantially developed neighborhood and will not have a significant impact on the environment either alone or cumulatively with other projects in the vicinity.
- Sec. 15300.2(c): There is no evidence in the record of any possibility that the project will have a significant effect on the environment due to unusual circumstances. The project site is a vacant lot with very flat topography and no habitat value. It is zoned for industrial development and the project will involve in-fill industrial development consistent with the industrial zoning. Therefore, there are no unusual circumstances applicable to the project.
- Sec. 15300.2(d) through (f): The project is not proposed near a scenic highway, does not involve a current or former hazardous waste site, and, does not affect any historical resources. Therefore, the provisions of subsections (d) through (f) are not applicable to this project.

Because the project is consistent with the requirements for a Class 32 exemption and none of the exceptions to applying an exemption in Section 15300.2 apply; therefore, there is substantial evidence in the record to support a finding that the project is categorically exempt from CEQA.

IV. FISCAL IMPACT:

None at this time.

V. REASONS FOR RECOMMENDATION:

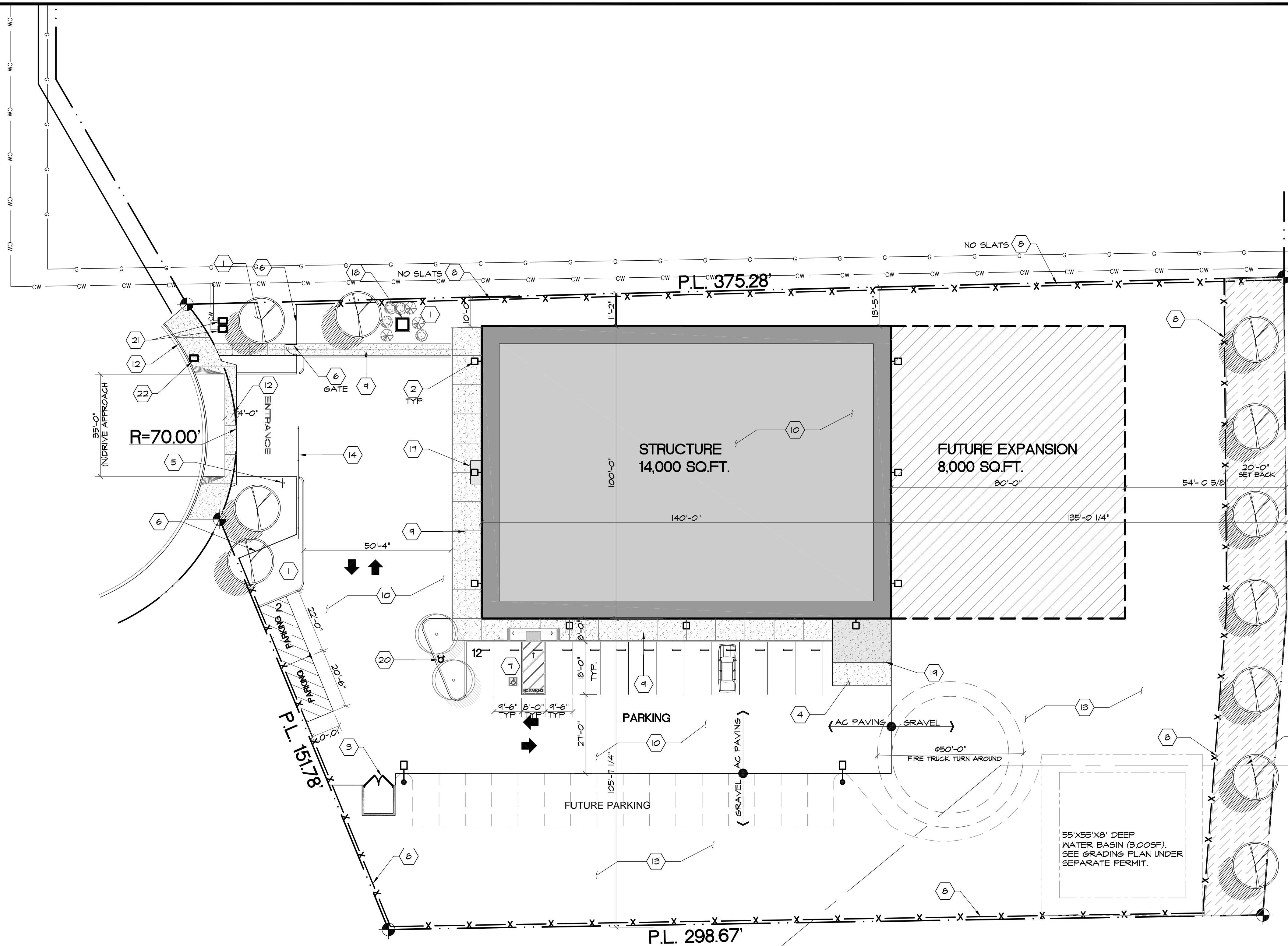
Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the Coalinga zoning code in the following respects:

1. That all applicable provisions of the Code are complied with.
2. That the project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding properties: Facilities and improvements; Vehicular ingress, egress, internal circulation, off-street parking and loading; Setbacks; Height of buildings; Locations of services; Walls and fences; Landscaping; Site drainage; Refuse enclosures.
3. All signs related to this development shall be reviewed and approved at a later date.

ATTACHMENTS:

Description	
<input type="checkbox"/>	Official Site Plan Updated 1-3-2017
<input type="checkbox"/>	Facility Elevations
<input type="checkbox"/>	Facility Floor Plan
<input type="checkbox"/>	Conditions of Approval
<input type="checkbox"/>	Resolution No 017P-001

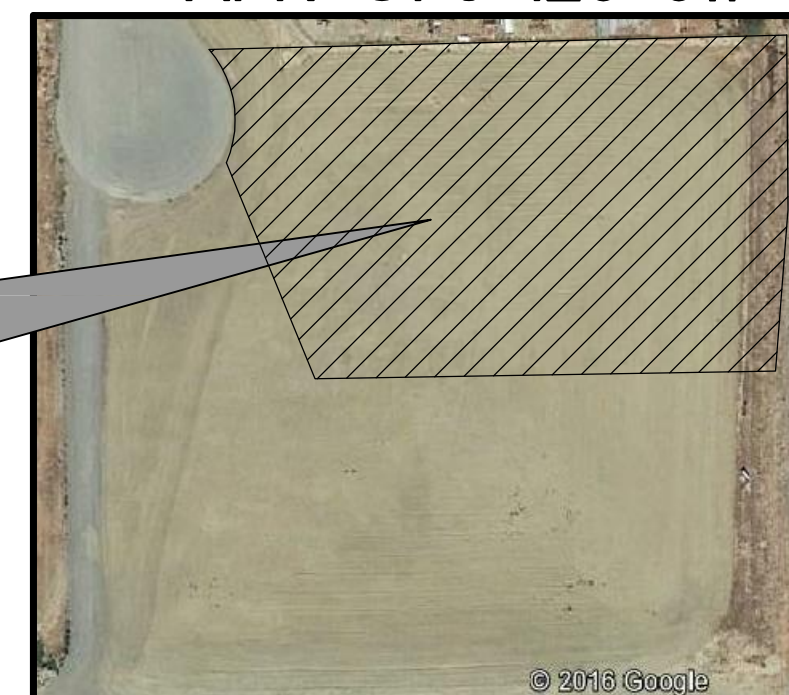
CODY STREET



SITE PLAN
1"=20'-0"

APN: 070-120-011

Project Location



VICINITY MAP

SITE PLAN KEYNOTES

- LANDSCAPE PER CITY OF COALINGA STANDARDS
- WALL PACK LIGHTING TO BE SELECTED BY OWNER
- TRASH ENCLOSURE PER CITY OF COALINGA STANDARDS REFER TO
- CONCRETE APRON
- UNAUTHORIZED VEHICLES SIGNAGE REFER TO DETAIL 1/A1.2
- WROUGHT IRON FENCE AND 36" GATE PROVIDED WITH A KEY CARD ENTER.
- ACCESSIBLE PARKING, RAMP & SIGNAGE PER CITY OF COALINGA
- 6' TALL OR LESS CHAIN LINK FENCE WITH PRIVACY SLATS - PER CITY OF COALINGA STANDARDS
- PEDESTRIAN PATH OF TRAVEL
- ASPHALT PAVING PER CIVIL DESIGN
- PROPOSED 4' MINIMUM WIDE CONC. PEDESTRIAN EASEMENT BEHIND (N) DRIVE APPROACHES PER CITY OF COALINGA STANDARDS
- PROPOSED CURB/GUTTER AND 10' FOOT COMMERCIAL SIDEWALK PATTERN PER PUBLIC WORKS STANDARDS
- PROPOSED GRAVEL
- MOTORIZED GATE (WROUGHT IRON)
- 15X20' LEAN-TO CANOPY
- 3'-0" MIN MANUAL GATE
- INDICATES ENTRY CANOPY (GABLE)
- PROPOSED ELECTRICAL TRANSFORMER LOCATION
- SHADED AREA INDICATES COVERED CANOPY ABOVE REFER TO A2.1
- PROPOSED FIRE HYDRANT PER CITY OF COALINGA FIRE DEPARTMENT STANDARDS
- CITY WATER METER LOCATION- TYPICAL OF (2) A. DOMESTIC WATER AND LANDSCAPE, BOTH PROVIDED WITH BF DEVICE
- MAIL BOX LOCATION

PROJECT INFO: APC WAREHOUSE:
9800 CODY STREET
Coalinga Ca.
APN # 0070-120-011

PROJECT OWNER: MATTHEW DUNN (Advanced Patient Collective)
6430 Selma Ave, / Hollywood, Ca. 90028
Phone:(818) 200-8198

PROJECT GENERAL CONTRACTOR: SPAN CONSTRUCTION
1841 Howard Rd / Madera Ca.
Phone:(559) 661-1111
CONTACT PERSON: FRANK FLORES

PROJECT ZONING: EXISTING M-3 TO REMAIN

PROJECT INFORMATION

SITE CALCULATIONS

Total Site Area:	1.71 Acres = 74,488 SF.
Landscape (DA)	0.05 Acres = 2,400 Sq. Ft.
AC PAVING (DA)	0.34 Acres = 15,200 Sq. Ft.
Total Dedicated	4,974/38,276= 12.9% (TOTAL SITE)
Building/Land	NEW BUILDING -14,000/74,488 = 18.7%

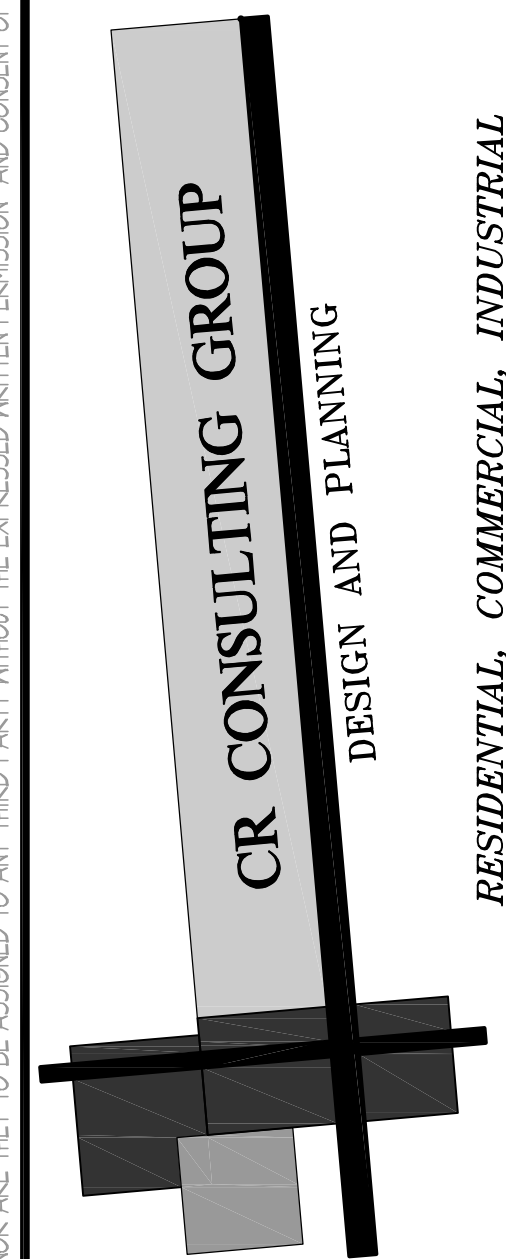
PARKING STALLS REQUIRED	PARKING	TREES
	14 Stalls	Trees
TOTAL PROVIDED	14 STALLS	

STALL TYPE	QUANTITY
Standard - 18'-0" x 9'-0"	12
(C) Compact - 15'-0" x 8'-0"	-
Handicap - 18'-0" x 9'-0"	1
Total	14

PARKING SUMMARY

SHELL BUILDING

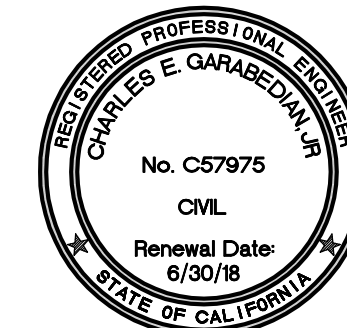
REVISIONS		
REV	DESCRIPTION	DATE



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PH.#559-286-4605
FAX.#559-497-5484
email: crr@crconsultinggroup.net

PROJECT TITLE

NEW METAL BUILDING
w/OFFICE
FOR: APC WAREHOUSE
9800 CODY STREET
COALINGA, CA



PROJECT NUMBER: 16-030
DRAWING TITLE

SITE PLAN

SCALE: As noted
PLOT DATE: 10/24/16
PROJECT MANAGER: CRR

SHEET NO.
A1.1

REVISIONS		
REV	DESCRIPTION	DATE



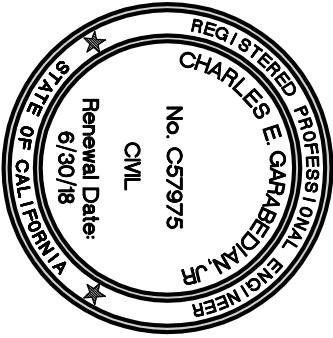
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DESIGN AND PLANNING

RESIDENTIAL, COMMERCIAL, INDUSTRIAL

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FAX.#559-497-5484
www.crconsultinggroup.com

PROJECT TITLE

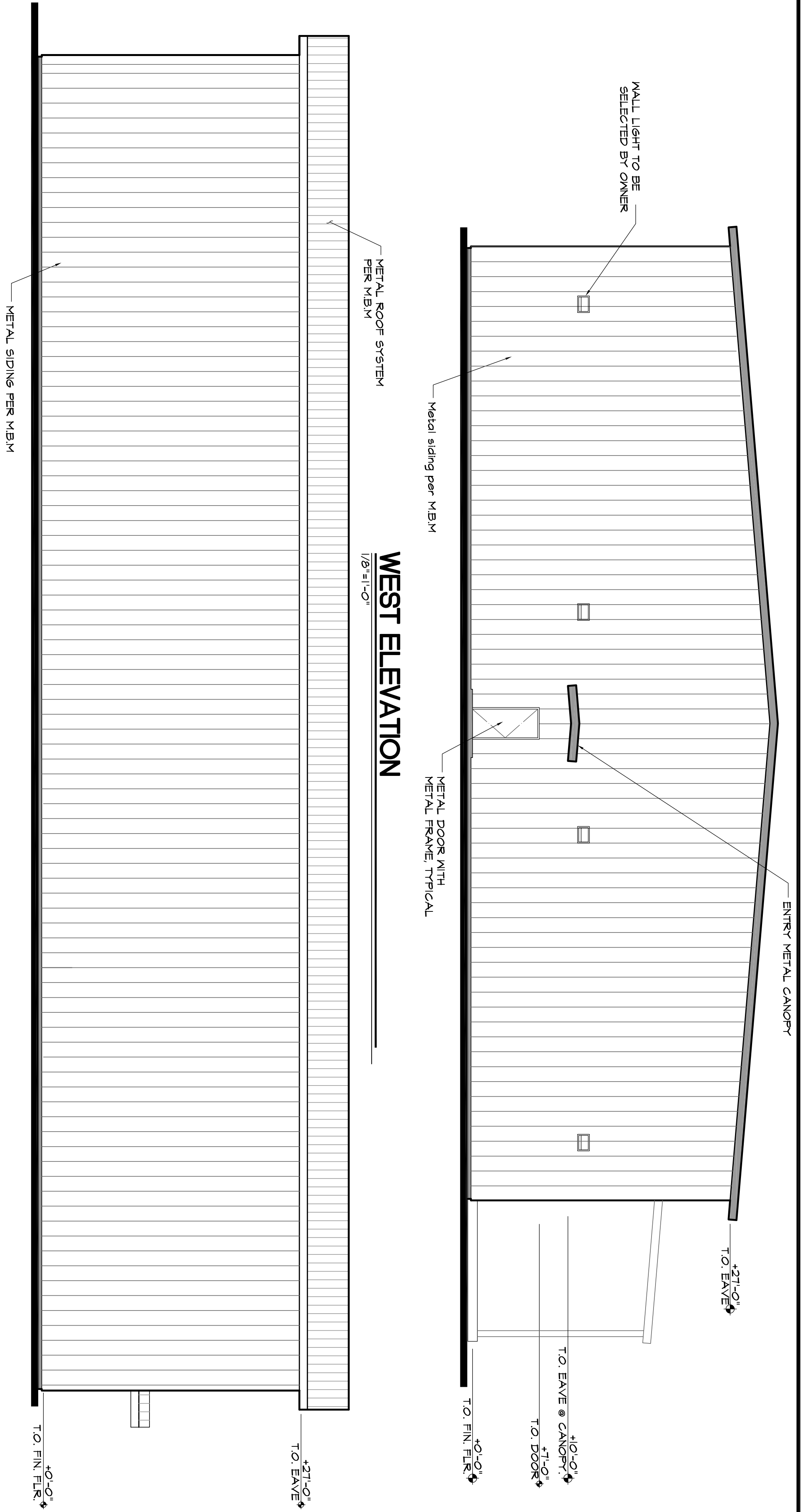
**NEW METAL BUILDING
w/OFFICE
FOR: APC WAREHOUSE**
9800 CODY STREET
COALINGA, CA



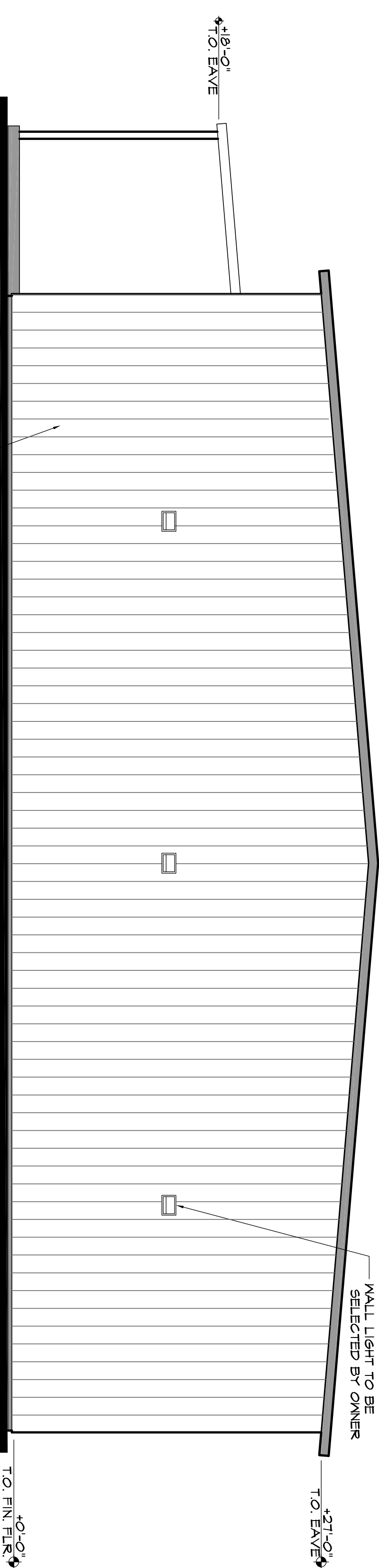
PROJECT NUMBER: 16-030
DRAWING TITLE

**EXTERIOR
ELEVATIONS**

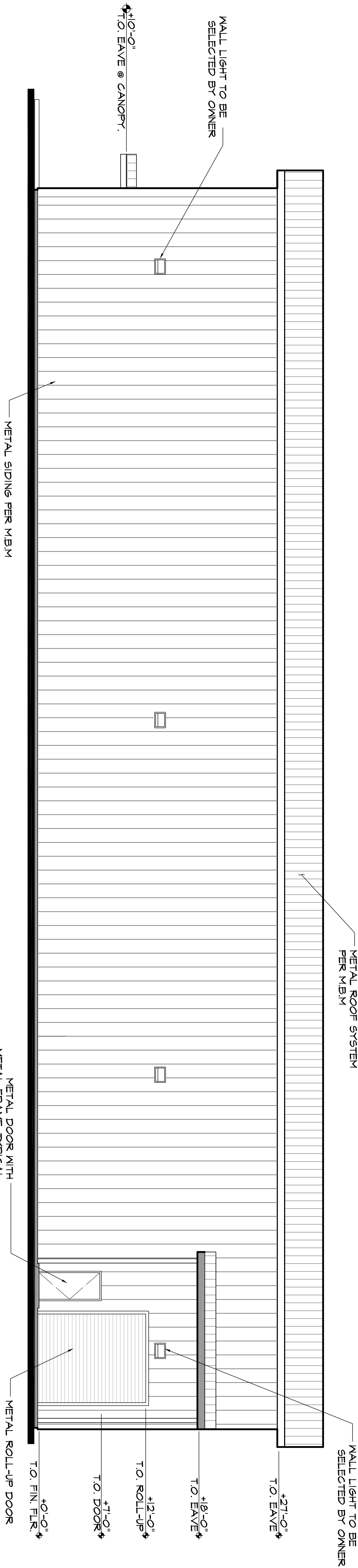
SCALE As noted	SHEET NO.
PLOT DATE 10/24/16	A3.1
PROJECT MANAGER CRR	



NORTH ELEVATION
1/8"=1'-0"

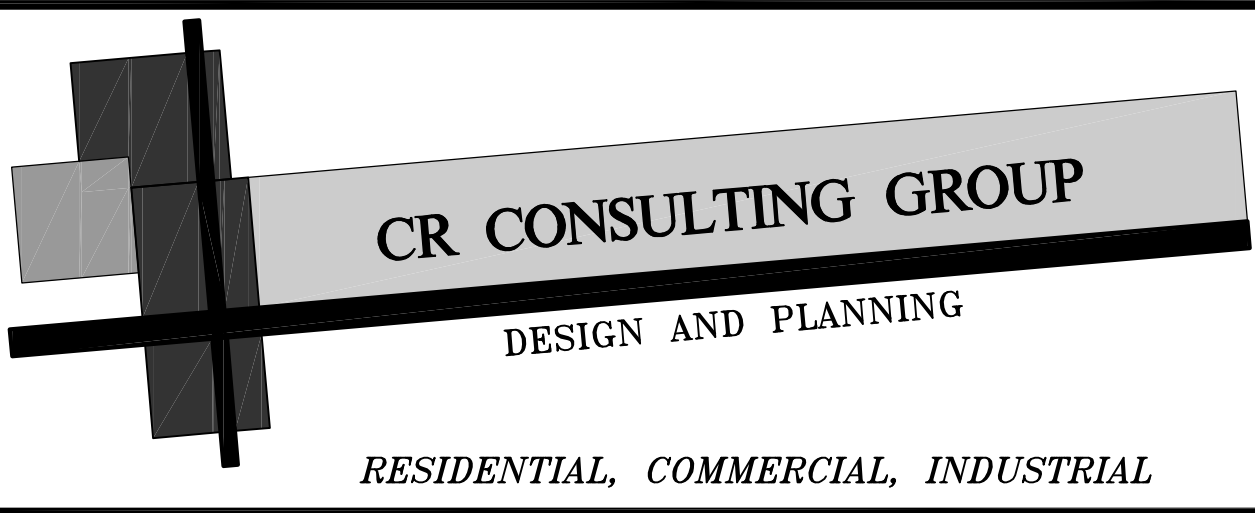


EAST ELEVATION
1/8"=1'-0"



SOUTH ELEVATION
1/8"=1'-0"

REVISIONS		
REV	DESCRIPTION	DATE



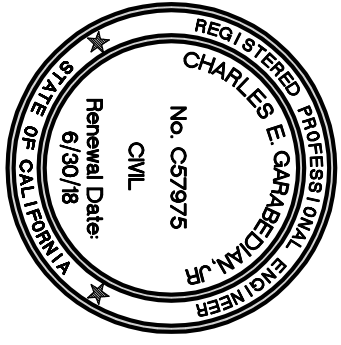
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PROJECT TITLE

**NEW METAL BUILDING
w/OFFICE
FOR: APC WAREHOUSE**
9800 CODY STREET
COALINGA, CA



PROJECT NUMBER: 16-030
DRAWING TITLE

FLOOR PLAN

SCALE: As noted	SHEET NO. <
--------------------	--

No.	Description
1	2A10BC OR K RATED FIRE EXTINGUISHER MOUNTED SO THAT TOP IS NOT MORE THAN 5 FEET FROM FLOOR
2	ELECTRICAL SWITCHGEAR
3	TACTILE EXIT SIGN TYPICAL OF (2) REFER TO DETAIL 11/A01
4	PROVIDE 6'X6" SYMBOL OF ACCESSIBILITY CBC SEE DETAIL 11/A01 TYPICAL AT ENTRY DOOR
5	5'-0"X5'-0" CONCRETE LANDING
6	BRaille SIGNAGE REFER TO 10/A01

Floor Plan Legend

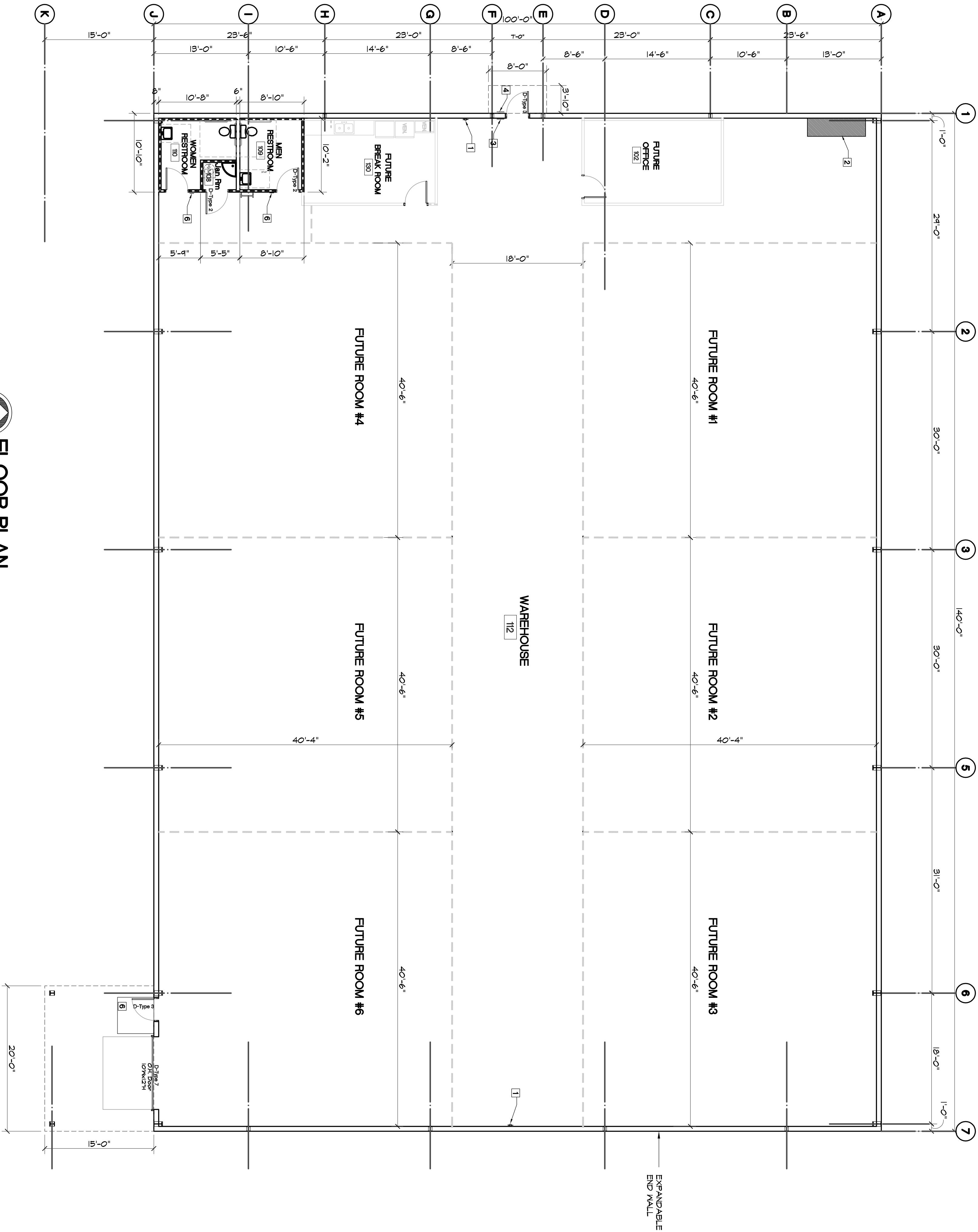
D###1 DOOR DESIGNATOR - REFER TO DOOR SCHEDULE ON A5.2

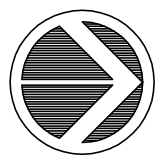
W###A Window designator - refer to Door Schedule on A5.2

Legend

Wall	Description
	2X4 STUDS @16 O.C. - REFERENCE WALL TYPE B1C ON A2.1
	2X6 INTERIOR STUDS @16 O.C. REFERENCE WALL TYPES A, B AND C
	8 1/2" METAL BUILDING WALL

Wall Legend



**FLOOR PLAN**
1/8" = 1'-0"

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**CONDITIONS OF APPROVAL
SITE PLAN REVIEW, APPLICATION NO. 16-02**

- COA-1. The approved site plan shall become void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan.
- i. **Phase 1:** The 14,000 square foot structure shall be started within twelve (12) months after the approval of the site plan, including all required on and off-site improvements per the City Engineer. It is expected to be complete within twenty-four (24) months from the date of approval.
 - ii. **Phase 2:** The 8,000 square foot addition shall be completed within twenty-four (24) months of the site plan approval along with all required on-site requirements as delineated on the approved final site plan.
- COA-2. Approval of the site plan may be extended for an additional period or periods of one (1) year upon a written application to the Commission before the expiration of the first approval.
- COA-3. An occupancy permit for the new structure(s) shown on the approved site plan shall not be issued until all proposed buildings, structures and other stated improvements are completed, or the Community Development Director authorizes its issuance upon making a finding that all on-site and off-site conditions relating to the building, structure or use have been or will be met.
- COA-4. Buildings shall provide adequate architectural articulation and detail to avoid a bulky and "box-like" appearance. The building façade at ground floor street frontage level shall be articulated with measures such as, indentation in plane, change of materials in a complimentary manner, sensitive composition and juxtaposition of openings and solid wall and/or building frame, and projecting elements, such as awnings or marquees, to provide shade and shelter.
- COA-5. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.
- COA-6. The applicant shall furnish and install off-site Curb & Gutter, Sidewalk, Driveway Approach and Street Lighting on Cody Street frontage as approved by the City Engineer. The curb & gutter shall be designed to allow existing storm water flows from the existing northerly dirt swales to continue through the new curb & gutter and exit onto the existing dirt swale to the south.
- COA-7. The applicant shall comply with all 2016 California Building Code (CBC) Chapter 11B ADA accessibility guidelines.
- COA-8. Direct drainage of storm water runoff over public sidewalks at driveways not permitted. On-site Storm water runoff shall be directed to on-site storm water retention facilities.
- COA-9. The applicant shall provide smooth AC pavement transitions from new concrete driveway to existing Cody Street asphalt pavement.

- COA-10. The applicant shall obtain approval from the Public Works Department for the location of the trash enclosure for solid waste disposal and pick up. The trash enclosure shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.
- COA-11. The applicant shall construct a 6-foot-high Wrought Iron fence along the existing public utility easement line running along the rear property line of the project development.
- COA-12. Public Sewer Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a sewer lateral to the project site.
- COA-13. Public Water Facilities exist in Cody Street and are available to serve this development. The applicant shall extend a water service to the project site.
- COA-14. Public Natural Gas Facilities exist in Cody Street and are available to serve this development. The applicant shall extend natural gas service to the project site.
- COA-15. Mailboxes shall be located outside of secured areas for access by postal workers. Obtain final approval by Postmaster prior to installation.
- COA-16. All fire hydrant locations shall be reviewed and approved by the Fire Chief.
- COA-17. The applicant shall furnish and install new water service, irrigation controller and backflow prevention device for all irrigated landscape areas of the project frontage. Utilities and public infrastructure should be undergrounded, or screened with trees, landscaping, or public art.
- COA-18. Applicants shall obtain all necessary stormwater permits from the California Regional Water Quality Control Board, Central Valley Region.
- COA-19. On-site lighting shall be provided so that the parking areas are illuminated at a level of 1.5 foot candles. A photometric plan (not a full study) shall be provided to ensure that 1.5 FC has been met. All of the regulations in section 9-4.206 of the Coalinga Planning and Zoning Code shall be met as it relates to lighting and illumination.
- COA-20. All equipment located on roofs and on-site shall be screened from view as approved by the Community Development Director.
- COA-21. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
- a. Weekdays from 7:00 a.m. to 6:00 p.m.;
 - b. Saturday from 8:00 a.m. to 5:00 p.m.;
 - c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.
- COA-22. *Setback and screening from highways.* Any site in a Manufacturing/Business district that is fully or partially located within 200 feet of a state highway shall provide a landscaped area at least fifteen (15) feet deep between the highway right-of-way and any building or parking area for the length of the site frontage facing toward the highway. At least two

(2) fifteen (15) gallon trees shall be provided for every twenty-five (25) feet of site frontage toward the highway.

- COA-23. *Landscaped setback of parking from on-site buildings.* In the MBL districts, parking spaces must be set back at least ten (10) feet from any building wall, and the area between parking and building must be landscaped. Two (2) feet of the landscaped setback shall be low growing plants to allow for vehicle overhang. Up to five (5) feet of this required landscape area may be occupied by a paved pedestrian walkway.
- COA-24. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Federal and State regulations.
- COA-25. The applicant shall provide a compacted all-weather surface (gravel, aggregate base rock) for the area south of the southerly parking lot. The compacted all weather surface shall provide for adequate turning movements for fire trucks and solid waste disposal trucks. The onsite circulation shall provide a 47 foot outside turning radius and a 26 foot inside radius to accommodate the Coalinga Fire Departments Ladder Truck.
- COA-26. A landscaping plan shall be submitted to the Community Development Department for review and approval. *Water efficient landscaping.* The model Water Efficient Landscaping Ordinance, as published by the California Department of Water Resources, pursuant to California Water Conservation in Landscaping Act (Government Code § 65591, et seq.), was adopted in full, by reference, and effective in the City of Coalinga commencing on January 1, 2010. A copy of the Water Efficient Landscaping Ordinance is retained on file in the Office of the City Manager, the Community Development Department, and the Office of the Coalinga City Clerk at all times. Landscaping plans must be consistent with the adopted Water Efficient Landscaping Ordinance.
- COA-27. *Shade trees.* A minimum of one shade tree for every ten (10) parking spaces shall be provided, which shall achieve fifty (50) percent canopy coverage of paved area at maturity. The shade trees shall be located so as to provide visual relief to long rows of parked vehicles, and to provide shade to pedestrian connections. Canopy-type trees should be used to provide a relatively consistent tree cover that will shade vehicles and pavement. Shade trees shall also be provided at appropriate intervals between perimeter parking spaces. The shade tree species shall be selected from a master tree list maintained by the City.
- COA-28. The 3-foot pedestrian gate shall be electronically accessed with the appropriate security access protocols. This shall not be accessible by the general public.
- COA-29. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.

- COA-30. All other required local (Police, Fire, Finance), County, State, or Federal permits shall be obtained prior to the start of operations.
- COA-31. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-32. The Developer is responsible for paying all applicable development impact fees as well all regional fees related to the project.
- COA-33. In the event that archaeological remains are encountered during grading, work shall be halted temporarily and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.
- COA-34. A final site plan shall be submitted to the Community Development Department to ensure that all conditions of approval have been incorporated.
- COA-35. *Actions voiding approval.* If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA-36. *Periodic review or monitoring of conditions.* All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA-37. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.

Applicant Acknowledgement

I _____, (Applicant) have read and will fully comply with all of the conditions stated above, and understand if they are not followed, my permit may be revoked in accordance with Section 13 of the above conditions.

Applicant: _____ Date: _____
Signature

RESOLUTION 017P-001

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING SITE PLAN REVIEW APPLICATION NO. 16-02 FOR THE DEVELOPMENT OF A NEW INDUSTRIAL COMMERCIAL CANNABIS FACILITY TO BE LOCATED ON 1.71 ACRES AT 9800 CODY STREET

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review for the construction of a commercial cannabis facility on 1.71 acres at the 9800 Cody Street (APN: 070-120-11ST); and,

WHEREAS, the subject project requires approval of a site plan review, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on November 8, 2016; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15332 (Infill Development), and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on January 10, 2017; and

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

- All provisions of the Planning and Zoning Code are complied with;
- The following project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding property including but not limited to:
 - Facilities and improvements;
 - Vehicular ingress, egress and internal circulation;
 - Setbacks;
 - Height of buildings;
 - Location of services;
 - Fences and/or walls;
 - Landscaping.
- Proposed lighting is so arranged as to direct the light away from adjoining properties;
- Proposed signs will not by size, location, color or lighting interfere with traffic or limit visibility;
- Proposed development has adequate fire and police protection;
- Proposed development can be adequately served by city sewer and water;
- Drainage from the property can be properly handled;

- The proposed development is generally consistent with the Zoning Ordinance, the General Plan, and any other applicable plans.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the site plan review Application No. 16-02 subject to the conditions attached hereto which are also incorporated by this reference as Exhibit "A".

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 10th Day of January 2017.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman

ATTEST:

City Clerk/Deputy City Clerk



Staff Report- Chairman and Planning Commission

Subject: Approval of Site Plan Review 16-09 (32-Unit Elm Avenue Senior Apartments)
Meeting Date January 10, 2017
Project Location: South side of East Walnut Avenue between North Maple Road and Elm Avenue (APN: 071-162-025)
Applicant: AMG and Associates, LLC, 16633 Ventura Blvd #1014, Encino, CA 91436
Owner: AMG and Associates, LLC, 16633 Ventura Blvd #1014, Encino, CA 91436
Prepared By: Sean Brewer, Community Development Director

I. RECOMMENDATION:

Staff recommends that the Planning Commission adopt Resolution No. 017P-002 with conditions for the Elm Avenue Senior Apartments Project (proposed project), which consists of a 32-unit high density, age-restricted, housing development.

II. BACKGROUND:

On December 8, 2016, the City of Coalinga received an application from AMG and Associates for Site Plan Review approval of a proposed 32-unit senior living facility located on the south side of East Walnut Avenue between North Maple Road and Elm Avenue (State Route [SR] 33/198). The proposed project site is a 1.52-acre vacant lot is currently zoned and designated Residential High Density (RHD). This proposal incorporates feedback from all City Departments.

III. PROPOSAL AND ANALYSIS:

The proposed project proposes to construct two two-story buildings, 28 feet in height, comprised of 32 senior exclusive rental units on one parcel comprised of 1.52 acres. The proposed project includes a fenced dog park, covered picnic tables, community garden, and an indoor community room with an exercise facility. The General Plan designations for the subject parcel is RHD with a zoning designation of RHD. The project is consistent with all development regulations for multi-family housing as discussed below.

Surrounding Land Use Setting

North	Existing Commercial Development (Royal Lodge Motel)
South	Existing Multi-Family Development (Peppertree Apartments)
East	Existing Single-Family Development
West	Existing Public Facilities Development (West Hills College)

Development Density

Within the RHD designation the allowable density is 25 dwelling units per acre (du/ac), which would allow a maximum of 38 units on the project site. The proposed project consists of the development of 32 age-restricted units; therefore, would not exceed the density allowed for the project site.

Site Plan Review

According to Section 9-6.402 of the City of Coalinga Municipal Code, a site plan review is required for all residential development projects within the City. The purpose of the site plan review is to enable the Community Development Director or the Planning Commission to make findings that a proposed development is in conformity with the intent and provisions of the Coalinga Municipal Code, and to guide the Building Official in the issuance of permits. The proposed project does fall under the exempt projects and projects qualifying for Administrative Site Plan Review; therefore, the proposed project requires site plan approval from the Coalinga Planning Commission.

Findings for Approval

According to Section 9-6.404 of the Coalinga Municipal Code, the Planning Commission shall consider the following findings to approve a site plan:

1. The proposed construction/alterations are in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the city.
2. The proposed construction/alterations conform to the requirements of the applicable Zoning Districts.
3. The proposed construction/alteration conforms to all applicable design standards and guidelines, as adopted by the City Council.
4. The construction/alteration will not have significant adverse effects on the public health, safety and welfare.

Staff Analysis

As described in more detail below, City staff has determined the proposed project is in substantial conformance with the General Plan, zoning ordinance, and any applicable plans adopted by the City.

Residential Multi-Family Development Regulations

The following discussion describes the proposed project's conformance with the applicable development standards included in the City of Coalinga Municipal Code.

Zoning Standards Conformance Table

<u>Major Standards</u>	<u>Required</u>	<u>Proposed</u>
Lot Size	7,500 sq. ft. min	66,275 sq. ft. (1.52 acres)
Lot Coverage	60% max	19.78%
Building Height	50'-0" max	28'-0"
Private Open Space	50 sq. ft. per unit (1,600)	Approximately 54 sq. ft. per unit
Common Open Space	100 sq. ft. per unit (3,200)	33,155.24 sq. ft.
Parking	32 vehicle spaces	38 vehicle spaces

Building Entrances

The proposed project is located on a four-lane street, which carries higher traffic volumes; therefore, all units are be oriented around a common courtyard as permitted in Section 9-2.203(c)(2) of the Coalinga Municipal Code. In addition, all entrances for the multi-family units have a roofed projection as required by the Code.

Architectural Articulation

Consistent with the City of Coalinga residential multi-family development regulations, Section 9-2.203(c)(3), the proposed project includes design features to create visual variety and avoid a large-scale and bulky appearance, by breaking up the long building facades into smaller modules by using variable roof forms incorporated into the building design, the use of balconies and ground-level patios, and the use of façade detailing and materials, such as window trim and changes in materials in an integrated composition.

Open Space and Pedestrian Connections

Section 9-2.203(c)(4) of the Coalinga Municipal Code requires residential multi-family developments provide private and common open space areas, which typically consist of balconies, decks, patios, and fenced yards. Common areas typically consist of landscaped areas, patios, swimming pools, barbeque areas, playgrounds, trees, bushes, groundcover, and turf. In addition, all areas not improved with buildings, parking, vehicular accessways, trash enclosures, and similar items shall be developed as common areas.

As shown above, the proposed project meets the minimum common open space requirement of 100 sq. ft. per unit by providing a fenced dog park, covered picnic tables, community garden, and open courtyard. In addition, the proposed project includes an indoor community room with an exercise facility. The common open space allows convenient use for outdoor living and/or recreation is accessible to all the proposed residential units on the property. Furthermore, each residential unit includes private open space consisting of private ground-floor patios and private balconies, which are accessible to only one residential unit.

Coalinga City-Wide Design Guidelines

The guidelines are discretionary tools to be used with the development standards in the City's Zoning Ordinance to guide a range of development types. The discretionary review under the design guidelines is conducted by members of City staff and, at times, the Planning Commission. The objective of the City-Wide Design Guidelines is to preserve the small-town character of Coalinga in future single-family residential, multi-family residential, commercial, and mixed-use development.

Multi-family residential guidelines encompass all multi-family projects, generally applying to proposed developments with three or more dwelling units or within medium- to high-density residential zoning districts. The Design Guidelines address site planning, building design, transitional guidelines, utilities, and landscaping.

Site Planning and Design

The proposed project groups the proposed structures in clusters around an internal parking area and utilizes an internal courtyard in order to prevent the appearance of long monotonous building forms and mass, as described in the Coalinga City-Wide Design Guidelines.

Building Design

The proposed project includes the development of two two-story buildings and creates visual interest and variety within a multi-family site. The proposed project incorporates architectural elements such as different building materials to generate interest and enhance the pedestrian experience as well as creating a base, middle, and top for buildings so that the visual mass of the structure is reduced and well-balanced. The proposed project avoids constructing long, unbroken façades and row-like building forms and employs

balconies, porches to add visual interest to wall lengths. In addition, the project articulates building forms to distinguish individual dwelling units, including modulating roof forms and creating distinct entries with projecting elements. The variety in roof forms breaks up the long expanses of rooflines and varying their heights.

Lighting

Lighting will be reviewed and approved by the Coalinga Police Department to ensure that there will be no spill over lighting. Off-site lighting shall be installed per City standards as part of the off-site improvements along the development frontage (curb, gutter, sidewalk and lighting). In addition, according to Section 9-2.203(c)(4) (d)(6) of the Coalinga Municipal Code, all outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination.

Landscaping and Fencing

The site plan includes 23,703.87 sq. ft. of landscaping that makes up 35.77 percent of the site. Staff has included a condition of approval, which requires the submittal of a separate landscape plan to the Community Development Department for review and approval prior to building permit issuance. In addition, the proposed project includes wrought iron fencing as recommended in the City-Wide Design Guidelines.

Parking

In accordance with, Section 9-4.3 of the City of Coalinga Zoning Code and Table 4.4 Required On-Site Parking Spaces, the proposed age-restricted development requires 32 parking stalls. The proposed site plan includes a total of 38 parking spaces, consisting of 32 covered (including four accessible), four uncovered, and two uncovered accessible. Therefore, the proposed project exceeds the minimum parking spaces required for this development.

Trash Enclosure

The proposed development provides for the required trash enclosure and their size, shape and location will be reviewed and approved by the City Engineer and Mid-Valley Disposal.

Signage

All signs related to this development shall be submitted in a separate application and reviewed and approved by the Community Development Department in accordance with the applicable signage regulations.

Access

The primary access point for the development will be located at the northern property boundary on East Walnut Avenue with a secondary access point at the eastern property boundary on North Maple Road, and an emergency vehicle access (EVA) gate at the western boundary on Elm Avenue.

Utilities

All utilities are readily available for connection within the adjacent right-of-way. All utility connections shall be shown on the final site plan and approved by the Planning Department and confirmed by the Public Works Department. There shall be no requirement for on-site storage of storm runoff therefore allowing the development to discharge storm water runoff into the exiting surface system. There shall be a master meter for both water and natural gas which shall be identified on the final site plan when submitted to the City for final approval.

Off-site Improvements

The Developer will be responsible for all improvements along the property frontage in accordance with the comments provided by the City Engineer.

Environmental Clearance

The Community Development Director has determined that the proposed project supports a Planning Commission finding that it qualifies for a categorical exemption from the California Environmental Quality Act (CEQA). The project qualifies as a Class 32 exemption under CEQA Guidelines Section 15332, as described below, applies to the project:

15332. In-Fill Development Projects

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

In this case, the project involves a 32-unit residential infill development on a 1.52-acre vacant lot and meets all the criteria (a through e) outlined above. Therefore, the project is exempt from further analysis under CEQA.

Additionally, none of the exceptions to application of a categorical exemption in Section 15300.2 of the CEQA Guidelines apply, as described below.

- Sec. 15300.2(a): There is no evidence in the record that the project will impact an environmental resource of hazardous or critical concern in an area designated, precisely mapped, and officially adopted pursuant to law by federal, State, or local agencies. The project site is located within a substantially developed neighborhood and is not located in a sensitive environmental area. Therefore, it will not have a significant impact on the environment.
- Sec. 15300.2(b): There is no evidence in the record that successive projects of the same type in the area will have a significant environmental impact. The project is a small in-fill project within a substantially developed neighborhood and will not have a significant impact on the environment either alone or cumulatively with other projects in the vicinity.
- Sec. 15300.2(c): There is no evidence in the record of any possibility that the project will have a significant effect on the environment due to unusual circumstances. The project site is a vacant lot with very flat topography and no habitat value. It is zoned for high density residential development and the project will involve in-fill residential development consistent with the residential zoning. Therefore, there are no unusual circumstances applicable to the project.
- Sec. 15300.2(d) through (f): The project is not proposed near a scenic highway, does not involve a current or former hazardous waste site, and, does not affect any historical resources. Therefore, the

provisions of subsections (d) through (f) are not applicable to this project.

Because the project is consistent with the requirements for a Class 32 exemption and none of the exceptions to applying an exemption in Section 15300.2 apply; therefore, there is substantial evidence in the record to support a finding that the project is categorically exempt from CEQA.

IV. FISCAL IMPACT:

None determined at this time.

V. REASONS FOR RECOMMENDATION:

Staff is recommending approval of the following project because it meets and/or exceeds the requirements of the Coalinga zoning code in the following respects:

1. That all applicable provisions of the Code are complied with.
2. That the project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding properties: Facilities and improvements; Vehicular ingress, egress, internal circulation, off-street parking and loading; Setbacks; Height of buildings; Locations of services; Walls and fences; Landscaping; Site drainage; Refuse enclosures.
3. All signs related to this development shall be reviewed and approved at a later date.

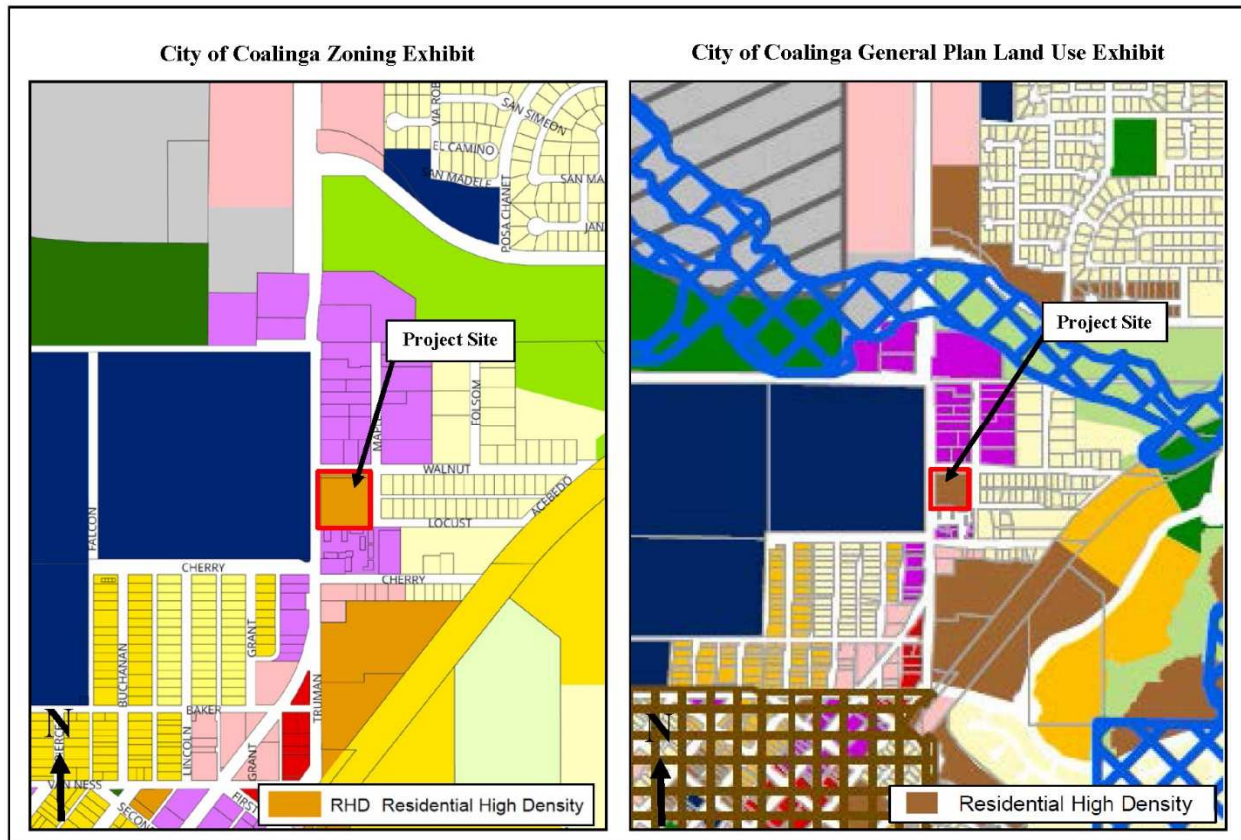
ATTACHMENTS:

	Description
<input type="checkbox"/>	Location Map and Zoning Map
<input type="checkbox"/>	Resolution No 07P-002
<input type="checkbox"/>	Conditions of Approval SPR 16-09
<input type="checkbox"/>	Official Site Plan
<input type="checkbox"/>	Site Plan Application
<input type="checkbox"/>	Elevations

PROJECT LOCATION MAP



CITY OF COALINGA ZONING AND GENERAL PLAN DESIGNATION EXHIBIT



RESOLUTION 017P-002

A RESOLUTION OF THE CITY OF COALINGA PLANNING COMMISSION APPROVING SITE PLAN REVIEW APPLICATION NO. 16-09 (ELM AVENUE SENIOR APARTMENTS) TO BE LOCATED AT THE SOUTH SIDE OF EAST WALNUT AVENUE BETWEEN NORTH MAPLE ROAD AND ELM AVENUE

WHEREAS, the City of Coalinga Community Development Department received an application for a Site Plan Review for the construction of a new 32-unit senior apartment complex at the south side of East Walnut Avenue between North Maple Road and Elm Avenue; and

WHEREAS, the subject project requires approval of a site plan review, in accordance with Title 9, Chapter 2 of the Coalinga Municipal Code; and

WHEREAS, appropriate applications were filed and deemed complete by the Coalinga Community Development Department on December 8, 2016; and

WHEREAS, the project has been determined to be exempt from CEQA processing under the provisions of Government Code Section 15332 (Infill Development), and;

WHEREAS, the subject application was reviewed for compliance with all applicable sections of the Coalinga Municipal Code; and

WHEREAS, the Planning Commission completed its review of the proposed development and information contained in the staff report at its meeting on January 10, 2016; and

WHEREAS, the Planning Commission has made the following findings based on the development proposal:

(1) That all applicable provisions of the Code are complied with. (2) That the project is so arranged that traffic congestion is avoided and pedestrian and vehicular safety and welfare are protected, and there will be no adverse effect on surrounding properties: Facilities and improvements; Vehicular ingress, egress, internal circulation, off-street parking and loading; Setbacks; Height of buildings; Locations of services; Walls and fences; Landscaping; Site drainage; Refuse enclosures. (3) All signs related to this development shall be reviewed and approved at a later date.

NOW THEREFORE BE IT RESOLVED, that the Planning Commission does approve the site plan review Application No. 16-09 subject to the conditions attached (Exhibit "A") hereto which are also incorporated by this reference.

PASSED AND ADOPTED, by the City of Coalinga Planning Commission at their regularly scheduled meeting held on the 10th of January 2017.

AYES:

NOES:

ABSTAIN:

ABSENT:

Planning Commission Chairman

ATTEST:

City Clerk/Deputy City Clerk

EXHIBIT “A”
CONDITIONS OF APPROVAL
SITE PLAN REVIEW, APPLICATION NO. 16-09

The staff is recommending approval of the proposed project to the Planning Commission with the following conditions:

- COA-1. The applicants/developers shall defend, indemnify, and hold harmless the City or any of its boards, commissions, agents, officers, and employees from any claim, action, or proceeding against the City, its boards, commissions, agents, officers, or employees to attack, set aside, void, or annul the approval of the project when such claim or action is brought within the time period provided for in applicable State and/or local statutes. The City shall promptly notify the applicants/developers of any such claim, action, or proceeding. The City shall coordinate in the defense. Nothing contained in this condition shall prohibit the City from participating in a defense of any claim, action, or proceeding if the City bears its own attorney's fees and costs, and the City defends the action in good faith.
- COA-2. All approvals may be subject to periodic review to determine compliance with the permit and its conditions of approval. If a condition of approval specifies that activities or uses allowed under the permit are subject to periodic reporting, monitoring or assessments, it shall be the responsibility of the permit holder, property owner, or successor property owners to comply with such conditions.
- COA-3. All improvements shall conform to City Standards and Specifications and be approved by the City Engineer.
- COA-4. All improvements within City right-of-ways, including but not limited to, new sidewalk, curb and gutter and approaches shall conform to current City of Coalinga Standards.
- COA-5. New utilities, such as sanitary sewer, water meter and/or natural gas meter required for the development will be the responsibility of the owner/developer and shall be to current City Standards. A utility plan for the development shall be submitted for review and City approval.
- COA-6. The provisions of the San Joaquin Valley Air Pollution Control District Rule 8021 shall be complied with during construction. All permits shall be provided to the City Building Department at the time of Building Permit Issuance.
- COA-7. Construction hours shall be limited to normal working hours. All construction equipment shall be properly maintained and muffled to avoid nuisances to the surrounding or neighboring property owners.
 - a. Weekdays from 7:00 a.m. to 6:00 p.m.;
 - b. Saturday from 8:00 a.m. to 5:00 p.m.;
 - c. Sunday and Holidays – no construction allowed unless authorization is granted by the City Manager.
- COA-8. In the event that archaeological remains are encountered during grading, work shall be halted temporarily and a qualified archaeologist shall be consulted for evaluation of the artifacts and to recommend future action. The local Native American community shall also be notified and consulted in the event any archaeological remains are uncovered.

- COA-9. Construction activities shall comply with applicable Municipal Code and Zoning Ordinance sections, including Chapter 4, Article 4, Performance Standards.
- COA-10. Disposal of hazardous materials as part of construction and operations shall be in compliance with applicable Federal and State regulations.
- COA-11. Applicants shall obtain all necessary stormwater permits from the California Regional Water Quality Control Board, Central Valley Region.
- COA-12. All required local, County, State, or Federal permits shall be obtained prior to the start of operations.
- COA-13. Upon issuance of a building permit by the City, all existing uses at the subject location are terminated.
- COA-14. If the construction of a building or structure, or the use established in the building or structure is contrary to the project approval, therefore violating any provision of the Zoning Ordinance, or would require additional permits, then the original approval shall be deemed null and void.
- COA-15. Sidewalk, curb, gutter and AC paving on North Maple Road fronting the development shall be constructed.
- COA-16. All sidewalks shall conform to the requirements of Title 7, Chapter 2, Sidewalks, Crosswalks, Curbs, Gutters and Driveways, of the Municipal Code. Street trees shall be provided per the requirements of Title 7, Chapter 3, Trees and Shrubs, of the Coalinga Municipal Code.
- COA-17. The applicant shall comply with all ADA accessibility guidelines, including the following:
- a. Provide an ADA accessible path of travel from the ADA parking stalls to the building entrance(s);
 - b. All ADA handicap parking stalls shall be marked and signage provided in accordance with City Standard P-13, P-14 and P-15; and
 - c. Provide an ADA accessible path of travel from the public street sidewalk to the building entrance.
- COA-18. On-site Construction Site, Grading, Utility, and Landscape & Irrigation plans shall be submitted to the Community Development Department for review and approval by City Engineer prior to building permit issuance.
- COA-19. The applicant shall submit a revised/corrected final construction site plan including all conditions of approval for review and approval by the City Engineer and Community Development Director prior to the issuance of a building permit.
- COA-20. All on-site parking lots shall be designed and installed in conformance with City of Coalinga Standard P-16.
- COA-21. No permanent storm drain facilities are available to serve this development. The applicant shall direct all on-site parking lot storm water drainage runoff to the existing

perimeter surface streets. Direct drainage of storm water runoff over public sidewalks is not permitted. Storm water runoff shall be directed under sidewalks per City Standard A-14 or A-15. No storm water runoff from the proposed project shall flow into the State right-of-way (SR 33) without approval from the District Hydraulic Engineer.

- COA-22. The trash enclosure as identified on the final site plan shall be designed and installed in conformance with City of Coalinga Standards A-4 and approved by the City Engineer.
- COA-23. Project lighting shall be reviewed and approved by the Coalinga Police Department prior to the issuance of a building permit. All security and site lighting shall be shielded to avoid “spill over” nuisance lighting to the existing adjacent uses.
- COA-24. All outdoor walkways shall be illuminated in accordance with the requirements of Section 9-4.206, Lighting and Illumination, of the Coalinga Municipal Code.
- COA-25. All Community Development Department and Engineering fees shall be paid in full prior to the issuance of a building permit.
- COA-26. All signs related to this development shall be submitted in a separate application and reviewed and approved by the Community Development Department in accordance with the applicable signage regulations. A permit must be issued by the Community Development Department prior to installation.
- COA-27. An approved site plan becomes void in the event that less than fifty (50) percent of the site, or an approved phased development, has not occurred within twelve (12) months after the approval of the site plan. If over fifty (50) percent of one or more increments of a phased development has been developed after twelve (12) months, the expiration date of the site plan shall be extended for the remaining phases, except that the final phase shall be fully developed within five (5) years
- COA-28. Approval of the site plan may be extended for an additional period or periods of twelve (12) months upon a written application to the Commission before the expiration of the first approval.
- COA-29. Plans submitted for Building Permit shall be in substantial conformance with plans approved by the Community Development Department.
- COA-30. Minor revisions to the site plan after Commission approval may be reviewed and approved by the Community Development Director. Those revisions determined to be major shall be referred to the Commission for review and approval.
- COA-31. All turning radiuses shall be able to accommodate an aerial ladder apparatus seventy five (75) feet long.
- COA-32. Two on-site fire hydrants shall be installed on the east and west end of the main drive subject to review and approval from the Coalinga Fire Department.
- COA-33. An off-site fire hydrant shall be installed on the corner of East Walnut Avenue and North Maple Road subject to review and approval from the Coalinga Fire Department.

- COA-34. The proposed emergency access gate located on Elm Avenue shall meet the following City of Coalinga electric gate standards, subject to review and approval by the Coalinga Fire Department:
- a. All electric gates serving a building with a NFPA 72 Fire Alarm system, shall be tied to the fire alarm system so gates automatically open when the fire alarm activates; and
 - b. For all electric gates, provide lock box for fire department access. Approved model is Doorking Model 1400-080.
- COA-35. The Dog Park shall have the following amenities:
- a. Bench, waste containers, hose bib, and doggy waste station.
- COA-36. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.
- COA-37. All utility lines, including electrical, telephone, cable television, and other distribution lines, providing direct service to a development site shall be installed underground within the site including the existing electrical service pole located on parcel no. 071-162-01.
- COA-38. All existing broken, cracked or missing sections of Curb & Gutter, Sidewalk on Walnut Avenue and Elm Avenue Street frontages shall be replaced with new curb, gutter and sidewalk.
- COA-39. The applicant shall furnish and install off-site public improvements including; 10 foot wide Sidewalk, Curb Ramp, Commercial Driveway Approach, Type 15 Street Lighting and Ornamental Pedestrian Lighting along the Elm Avenue (SR33/198) project frontage in accordance with Caltrans Construction requirements.
- COA-40. The applicant, within 30 days of the approved site plan, shall provide in writing a letter agreeing to comply with all of the conditions of approval stated in the project resolution.

Applicant Acknowledgement

I _____, (Applicant) have read and will fully comply with all of the conditions stated above, and understand if they are not followed, my permit may be revoked in accordance with Section 13 of the above conditions.

Applicant: _____ Date: _____
Signature

ARCHITECT
PACIFIC WEST ARCHITECTURE
DOUGLAS GIBSON, CALIFORNIA ARCHITECT C29792
430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83616
(208)-461-0022 X3021

ACCESSIBILITY	# OF UNITS	PERCENTAGE
GROUND FLOOR UNITS	32	
ADAPTABLE UNITS (ALL GROUND FLOOR UNITS REQ.)	28	
ACCESSIBLE UNITS (10% TOTAL)	4	12.5 %
SENSORY IMPAIRED UNITS (4% TOTAL)	2	6.25 %

UNIT MIX SUMMARY		CONDITIONED SQ. FOOTAGES
(26) 1-BEDROOM UNITS	(26) x 613 S.F. =	15,938 S.F.
(6) 2-BEDROOM UNITS	(6) x 805 S.F. =	4,830 S.F.
(32) UNITS TOTAL	15,938 S.F. + 4,830 S.F. = 20,768 S.F.	

COMMUNITY AREA	1,000 S.F.
RECREATION FACILITY	<u>300 S.F.</u>
TOTAL	22,068 S.F.

AUTOMATIC FULLY SPRINKLERED SYSTEM WITH CENTRAL CALL STATION, OFF-SITE MONITORING AND FPC'S AT EXTERIOR ACCESSIBLE FIRE SPRINKLER CLOSETS.

REQUIREMENTS PER CITY OF COALINGA, TABLE 4.4

ONE BEDROOM UNIT CALCULATIONS:
RESIDENT SPACES REQUIRED: 26 X 1 = 26 SPACES REQUIRED

TWO BEDROOM UNIT CALCULATIONS:
RESIDENT SPACES REQUIRED: 6 X 1 = 6 SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED, TABLE 4.4 = 32 SPACES

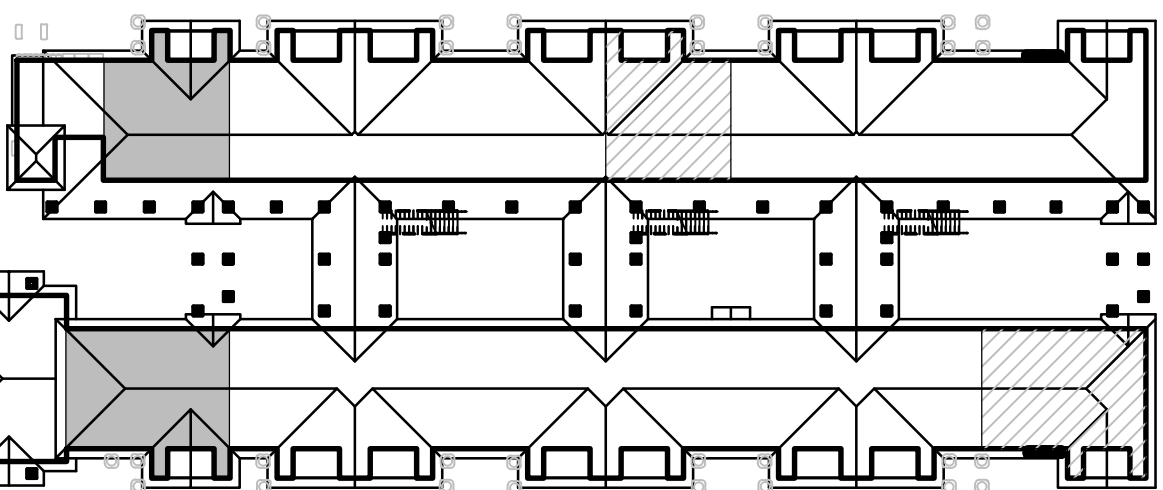
TOTAL PROVIDED: 32 COVERED SPACES (INCLUDING 4 ACCESSIBLE SPACES) + 4 UNCOVERED
+ 2 ACCESSIBLE= 38 SPACES

ALL TENANT PARKING SPACES TO BE ASSIGNED AND REMAINDER OF PARKING SPACES SHALL BE LABELED AS VISITOR PARKING.

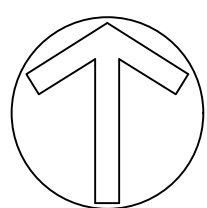
66,275.82 S.F.± (1.52 ACRES±)
21.05 UNITS PER ACRE

<u>SITE COVERAGE</u>	SQ. FT.	PERCENTAGE
BUILDING FOOTPRINTS	13,110 S.F.	19.78%
PRIVATE CONC. PATIOS (GROUND FLOOR)	954 S.F.	1.44%
ON-SITE ASPHALT CONCRETE PAVING	19,056.58 S.F.	28.75%
SITE AMENITIES (PERGOLA, COMM. GARDEN)	1,240 S.F.	1.87%
CONCRETE WALKS & PADS	8,211.37 S.F.	12.39%
LANDSCAPE, OPEN SPACE & DOG PARK	23,703.87 S.F.	35.77%

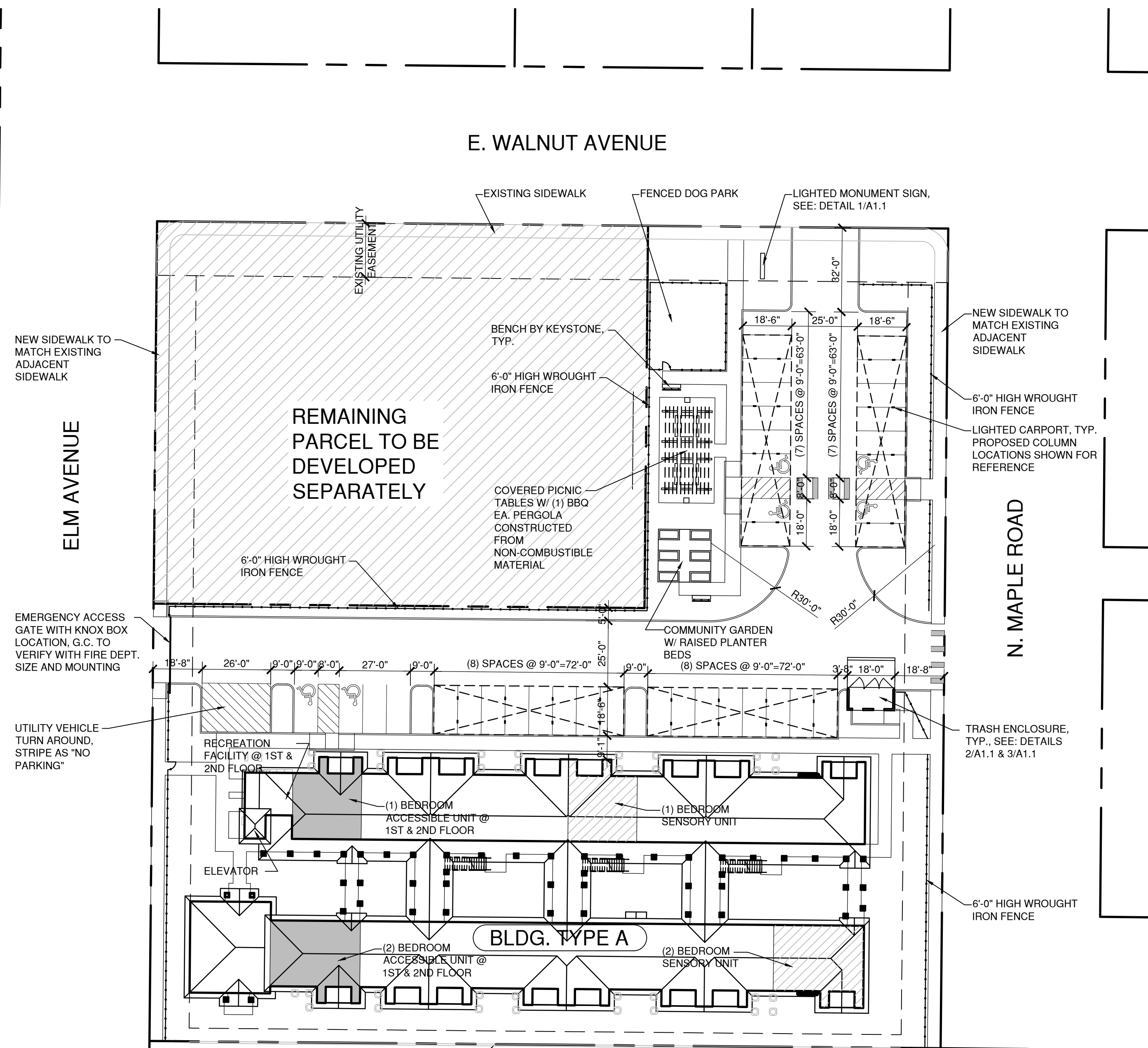
NOTE: ALL NUMBERS PROVIDED ARE **ESTIMATED** FOR SITE COVERAGE



BUILDING TYPE A
(1) BLDG. TOTAL
FOOTPRINT - 13,110 S.F.
MAXIMUM HEIGHT - 28'-0" (2) STORY
OCCUPANCY - APARTMENTS = R2 & COMM. AREA = B
FULLY SPRINKLERED PER NFPA 13
CONSTRUCTION TYPE: VB

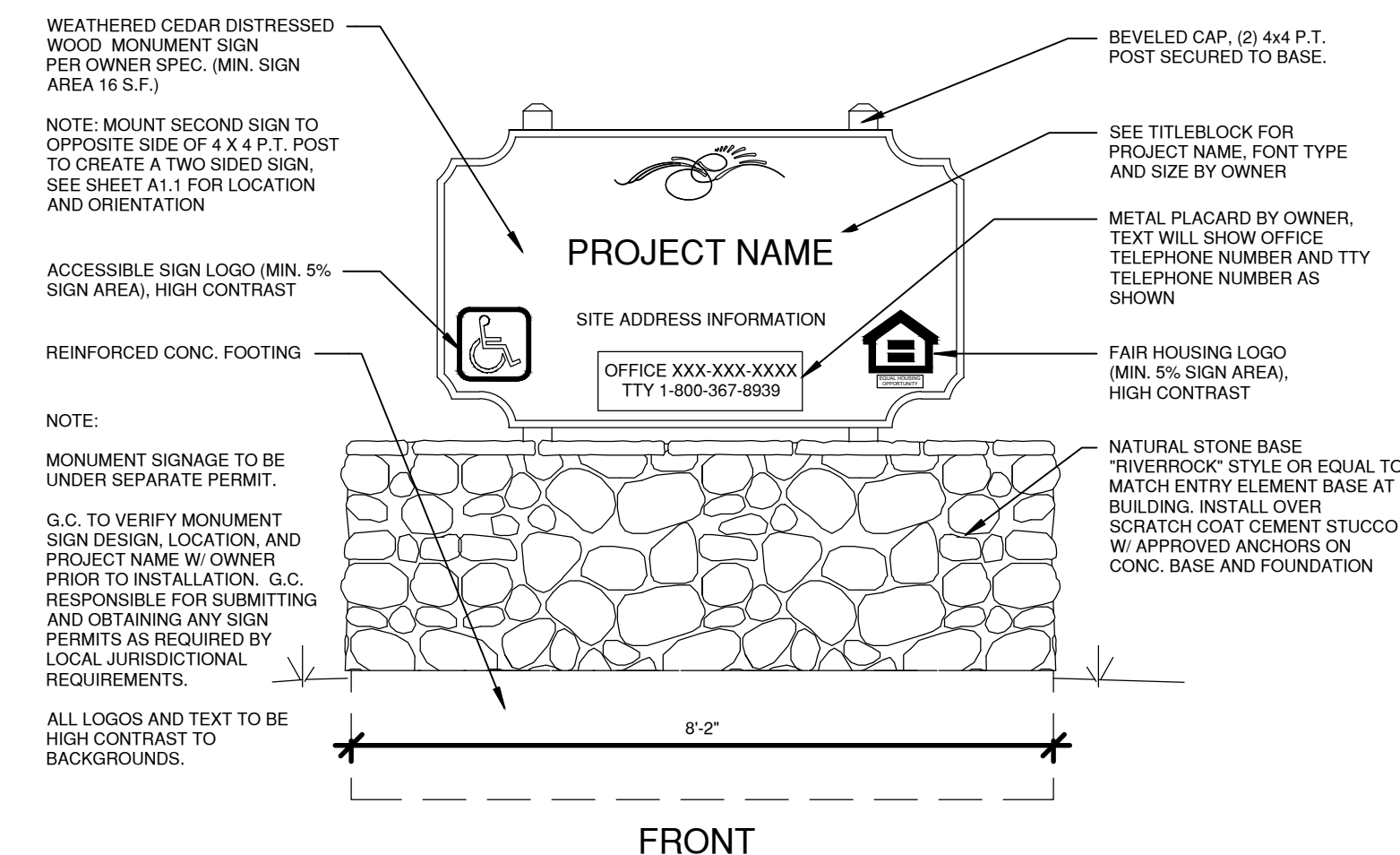


VICINITY MAP

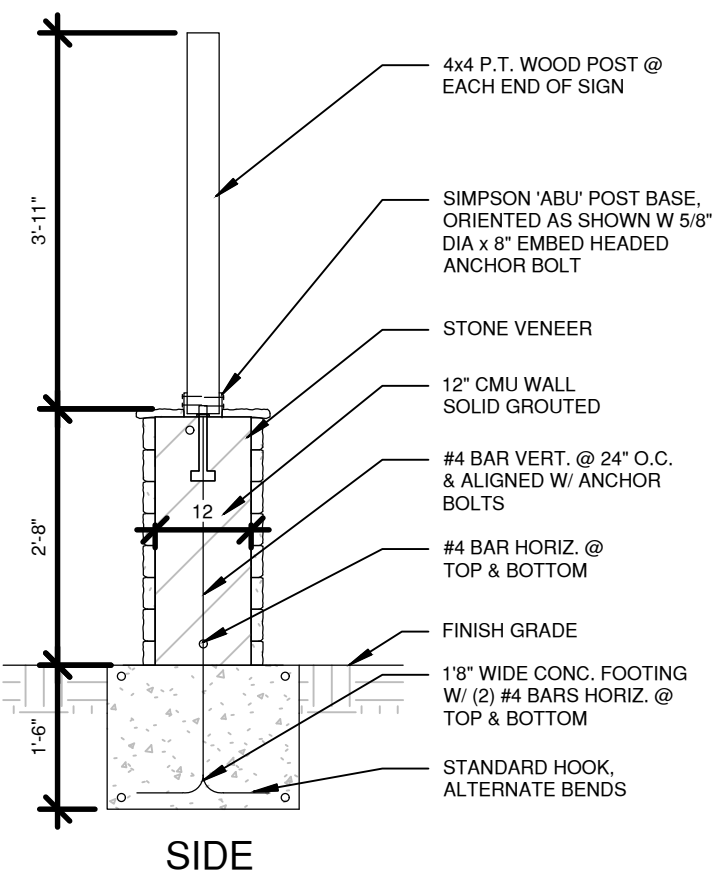


SCALE: 1" = 30'-0"

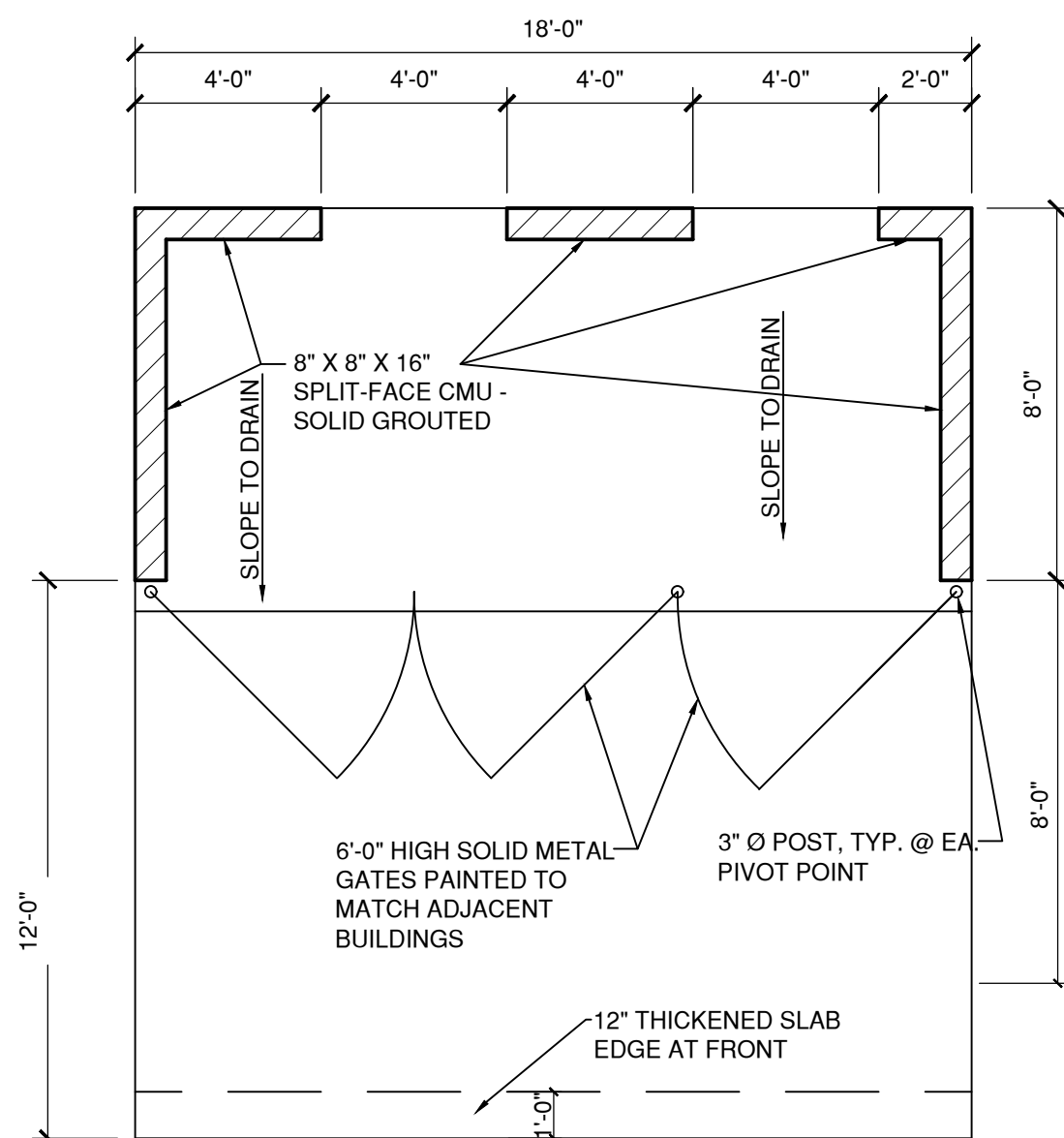
- NOTE:
1. SITE PLAN DRAWN WITHOUT BENEFIT OF SURVEY
 2. THE LANDSCAPE PLANS WILL COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO)



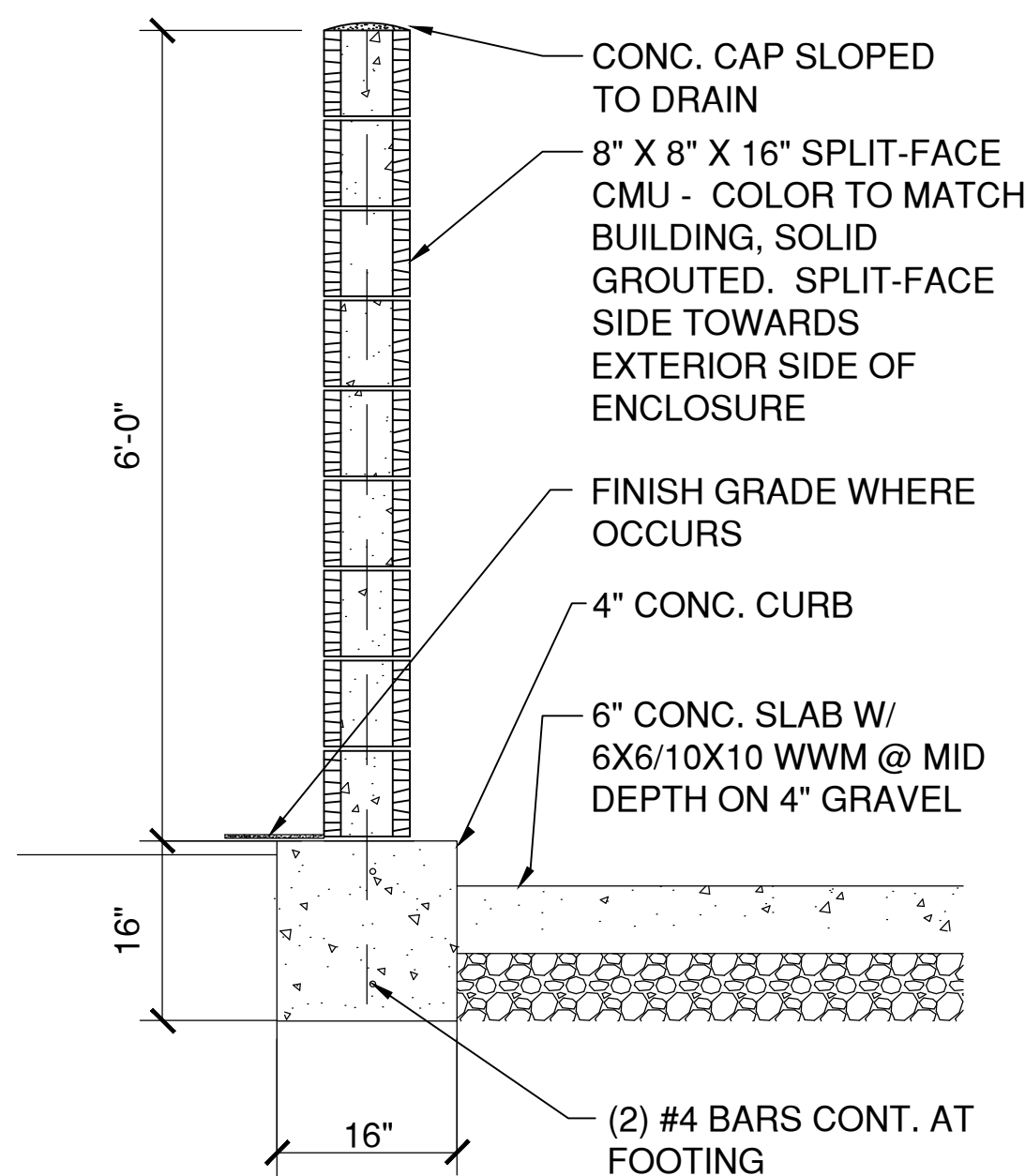
① MONUMENT SIGN
1/2" = 1'-0"



SIDE



② TRASH ENCLOSURE
1/4" = 1'-0"



③ TRASH ENCLOSURE SECTION A-A
3/4" = 1'-0"

CITY OF COALINGA
SITE PLAN REVIEW APPLICATION

Application Number _____

Date _____

APPLICANT INFORMATION:

Applicant/Property Owner Name: AMG AND ASSOCIATES
Mailing Address: 16633 VENTURA BLVD., STE 104 ENCINO, CA 91436
Telephone Number: (818) 380-2600 Assessors Parcel Number: 071-162-025
Property Location (Street Address): 100 E WALNUT AVE
Property is located: SOUTH side of WALNUT Street, between MAPLE Street and ELM Street

PROJECT INFORMATION:

Current Zoning: RHD Proposed Zoning: RHD
Existing Floor Plan: SEE ATTACHED Proposed Floor Area: " "

Describe structure(s) or improvements planned (two family, multi-family residential, commercial, industrial, wall sign, free standing sign etc.)

32 UNIT SENIOR COMPLEX, MULTI-FAMILY RESIDENTIAL

Is project: ☒ new construction or ☐ remodeled.

Residential

Number of dwelling units 32 Total of area (in square feet) 20,768
Total lot coverage of buildings or structures (in square feet) 13,110 Percentage of lot coverage 19.78 %
Number of off street parking spaces provided. Covered 32 Open 6
Total square feet of sign area _____ Total square feet devoted to recreation and open space 23,703.87 sq ft.
Give total percentage of lot devoted to recreation and open space SEE ATTACHED PLANS sq ft.
(See instructions or Zoning Ordinance for definitions and requirements).

Total square feet of common recreation and open space area SEE ATTACHED PLANS

Describe type and material to be used on exterior walls and doors SEE ATTACHED PLANS

Commercial

Gross floor area or building when complete _____ sq ft.
Describe sign (free standing, affixed to wall etc.) _____
Number of parking spaces provided _____ Number of customers expected per day _____
Hours and days of operation _____
Describe any outside storage of equipment or supplies: _____

Industrial

Describe any outside storage of equipment or supplies: _____

Maximum number of employees in any daily shift: _____

Number of delivery or shipping trucks per day: _____

Number of delivery or shipping trucks per day when construction is complete: _____

Site Plan Requirements – Mapping/Drawings

The applicant shall submit fifteen (15) prints of the site plan to the Community Development Director. The Site Plan shall be drawn to scale and indicate clearly and with full dimensions the following information:

1. The lot dimensions;
2. All building and structures, and their location, elevation, size, height and materials;
3. The yards and spaces between buildings;
4. Walls and fences, and their location, height, and material;
5. Off-street parking, including the location, number of spaces, dimensions of the parking area and internal circulation pattern;
6. Access (pedestrian, vehicular and service), points of ingress and egress, and internal circulation;
7. Signs and their location, size and height;
8. Loading, including the location, dimensions, number of spaces and internal circulation;
9. Lighting, including the location, dimensions, number of spaces and internal circulation;
10. Street Dedications and Improvements;
11. Drainage improvements;
12. Landscaping, including the location and type;
13. Fire-preventions equipment and measures, including the location and type;
14. For two-family and multi-family dwellings, the location and design of all recreation and open-space area, and the recreation equipment to be included thereon;
15. Such other data as may be required to permit the Planning Director to make the required findings.

Applicant's Certification

The undersigned hereby certify that the information presented in this application is correct.

Signature of Applicant _____

Date _____

Signature of Record Property Owner _____

Date _____

ARCHITECT
PACIFIC WEST ARCHITECTURE
DOUGLAS GIBSON, CALIFORNIA ARCHITECT C29792
430 E. STATE STREET, SUITE 100
EAGLE, IDAHO 83616
(208)-461-0022 X3021

UNIT MIX SUMMARY		CONDITIONED SQ. FOOTAGES
(26) 1-BEDROOM UNITS	(26) x 613 S.F. =	15,938 S.F.
(6) 2-BEDROOM UNITS	(6) x 805 S.F. =	4,830 S.F.
(32) UNITS TOTAL	15,938 S.F. + 4,830 S.F. = 20,768 S.F.	

AUTOMATIC FULLY SPRINKLERED SYSTEM WITH CENTRAL CALL STATION, OFF-SITE MONITORING AND FPC'S AT EXTERIOR ACCESSIBLE FIRE SPRINKLER CLOSETS.

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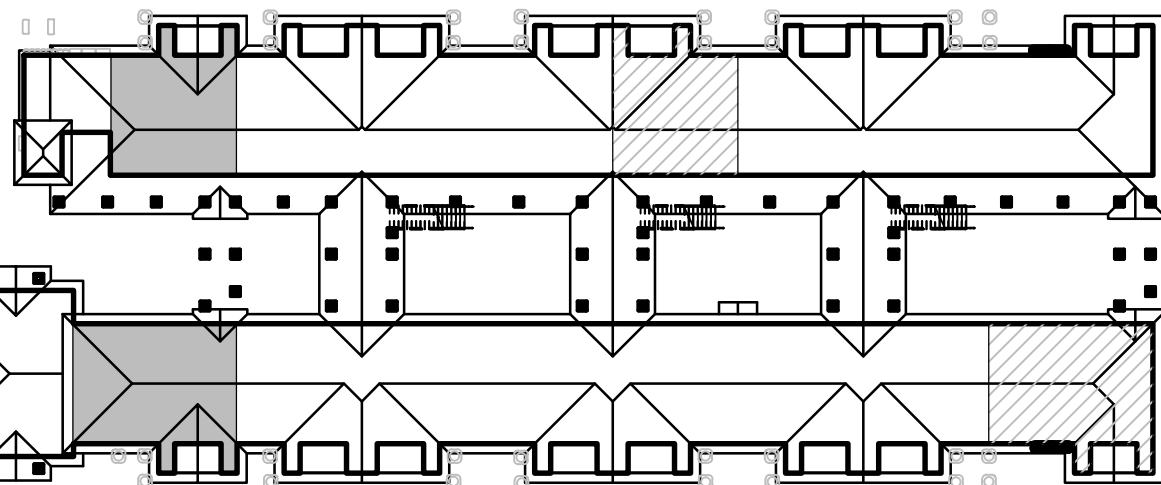
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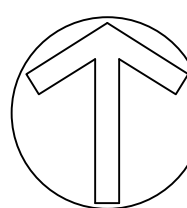
66,275.82 S.F.± (1.52 ACRES±)
21.05 UNITS PER ACRE

TOTAL AREA	66,275.82 S.F.	100%
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NOTE: ALL NUMBERS PROVIDED ARE **ESTIMATED** FOR SITE COVERAGE

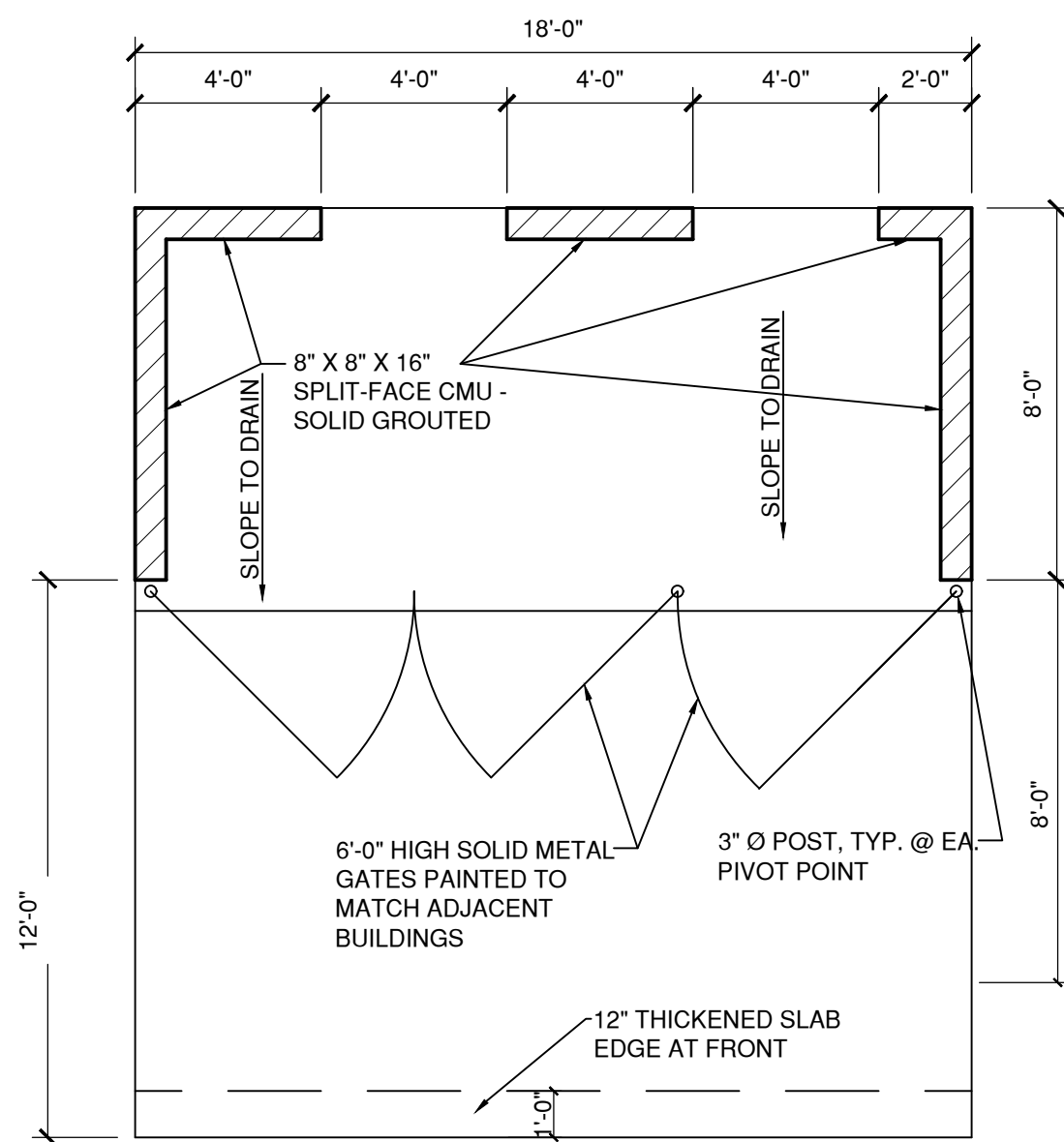


BUILDING TYPE A
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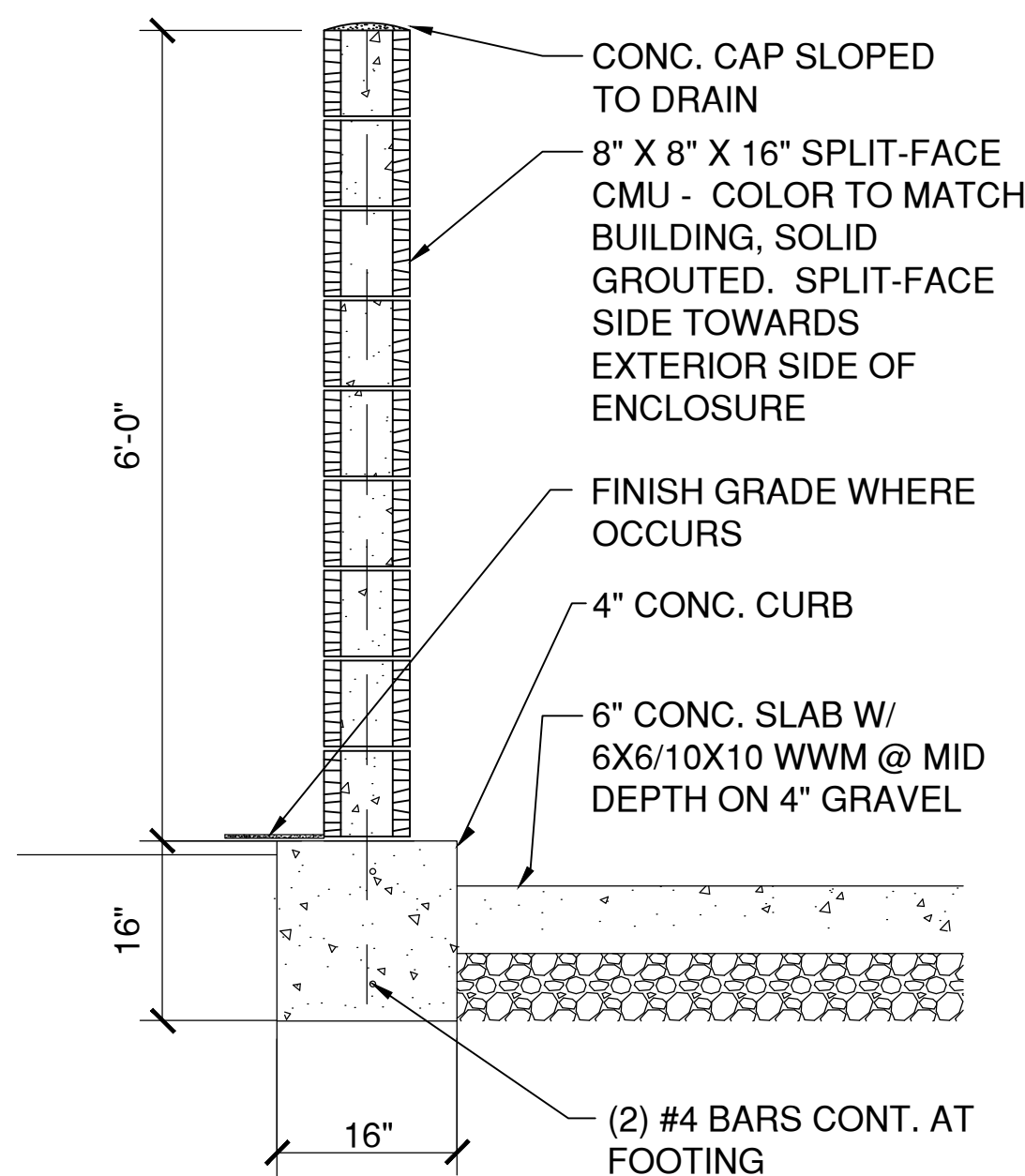


VICINITY MAP

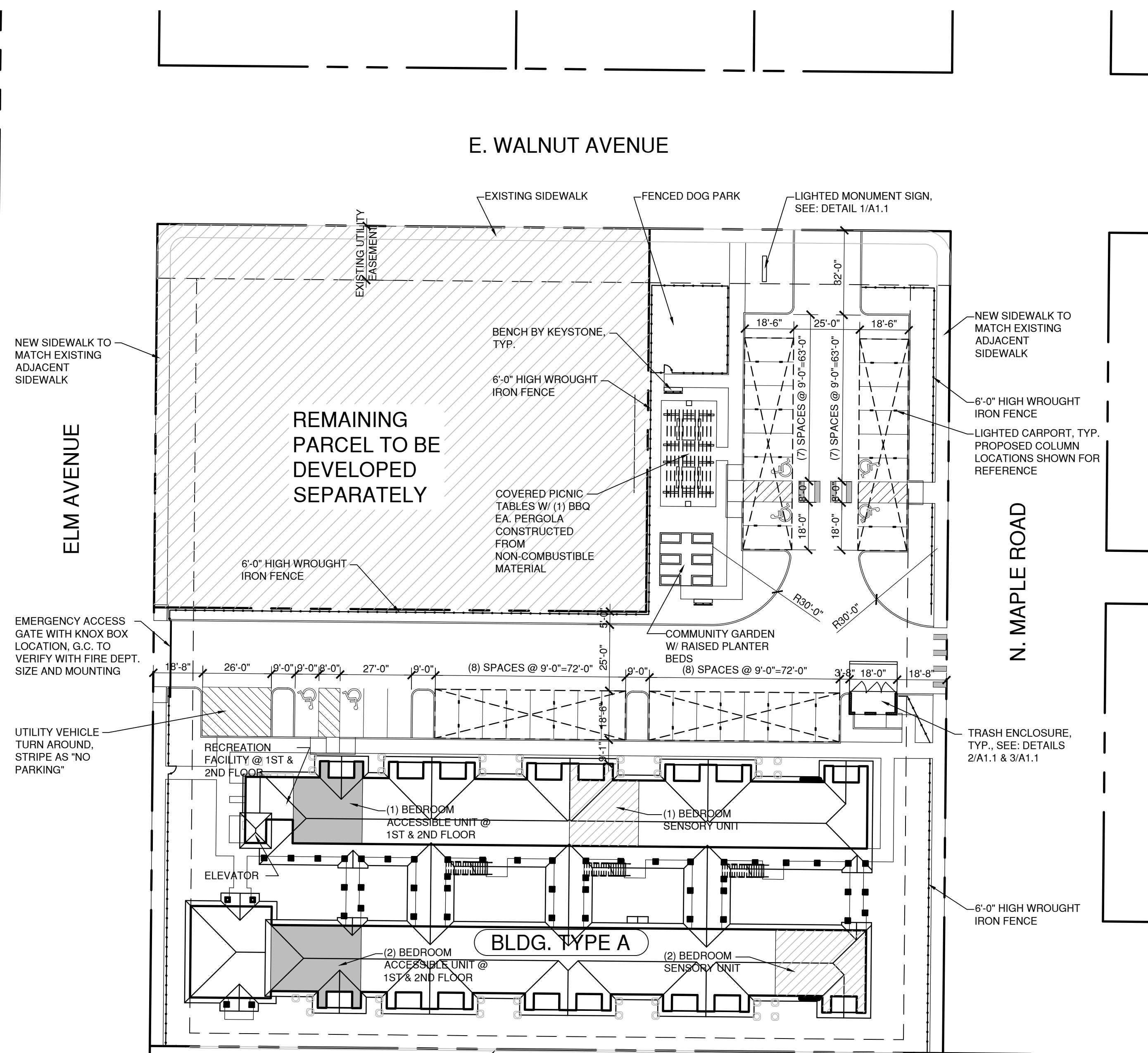
N.T.S.



② TRASH ENCLOSURE
1/4" = 1'-0"

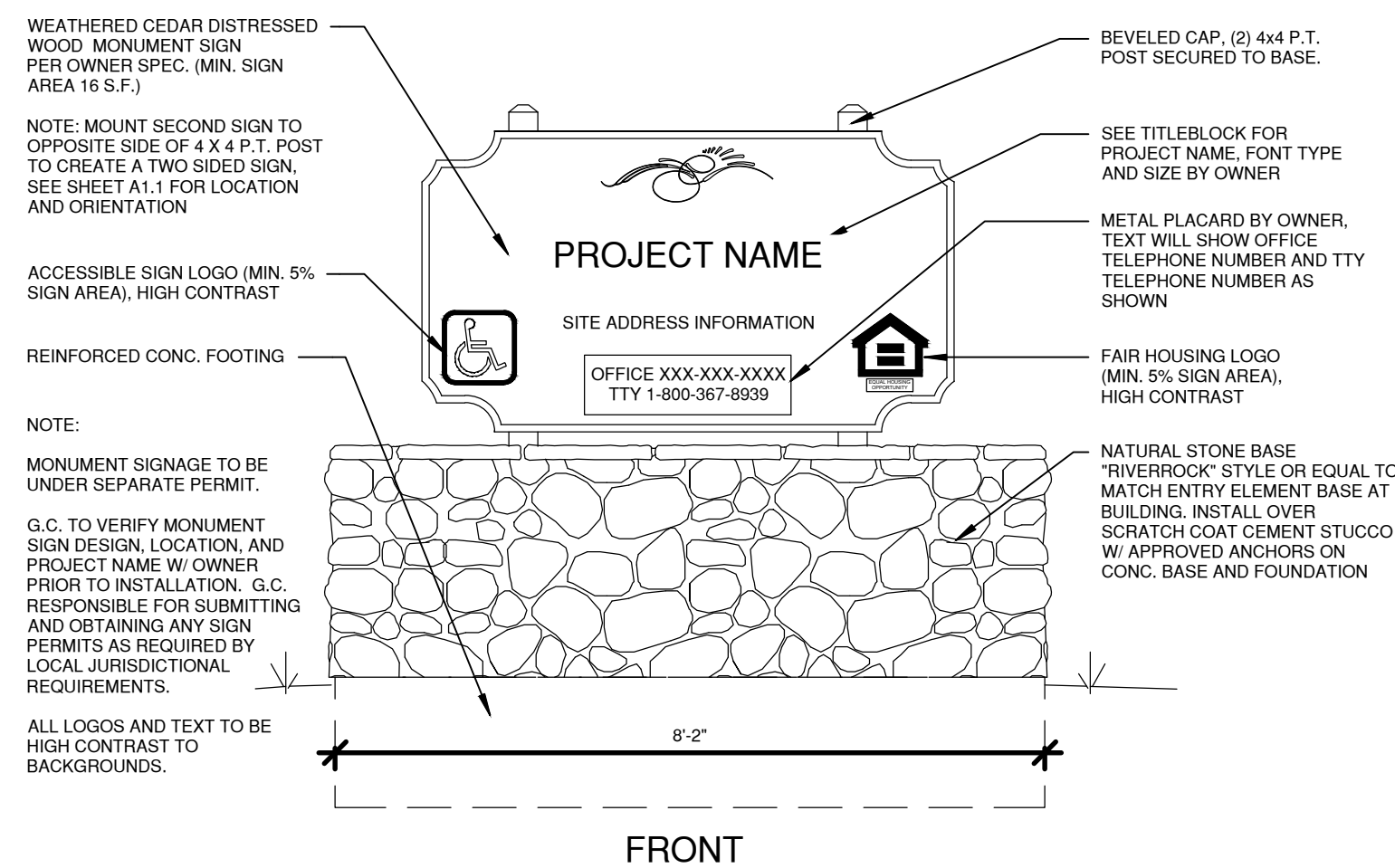


3 TRASH ENCLOSURE SECTION A-A
3/4" = 1'-0"

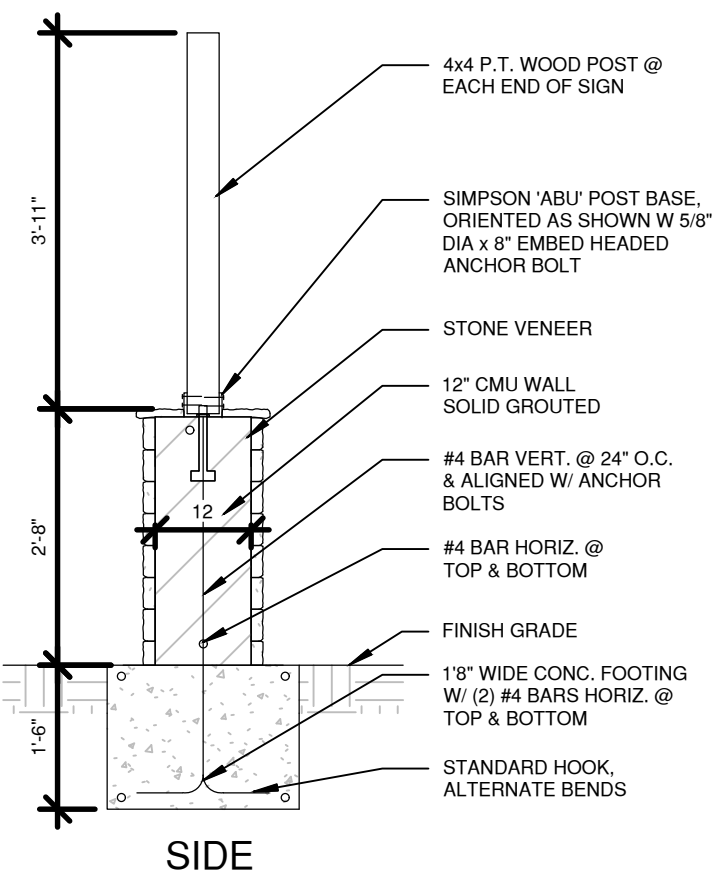


SCALE: 1" = 30'-0"

- NOTE:
1. SITE PLAN DRAWN WITHOUT BENEFIT OF SURVEY
 2. THE LANDSCAPE PLANS WILL COMPLY WITH THE REQUIREMENTS OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO)



① MONUMENT SIGN
1/2" = 1'-0"




SIDE

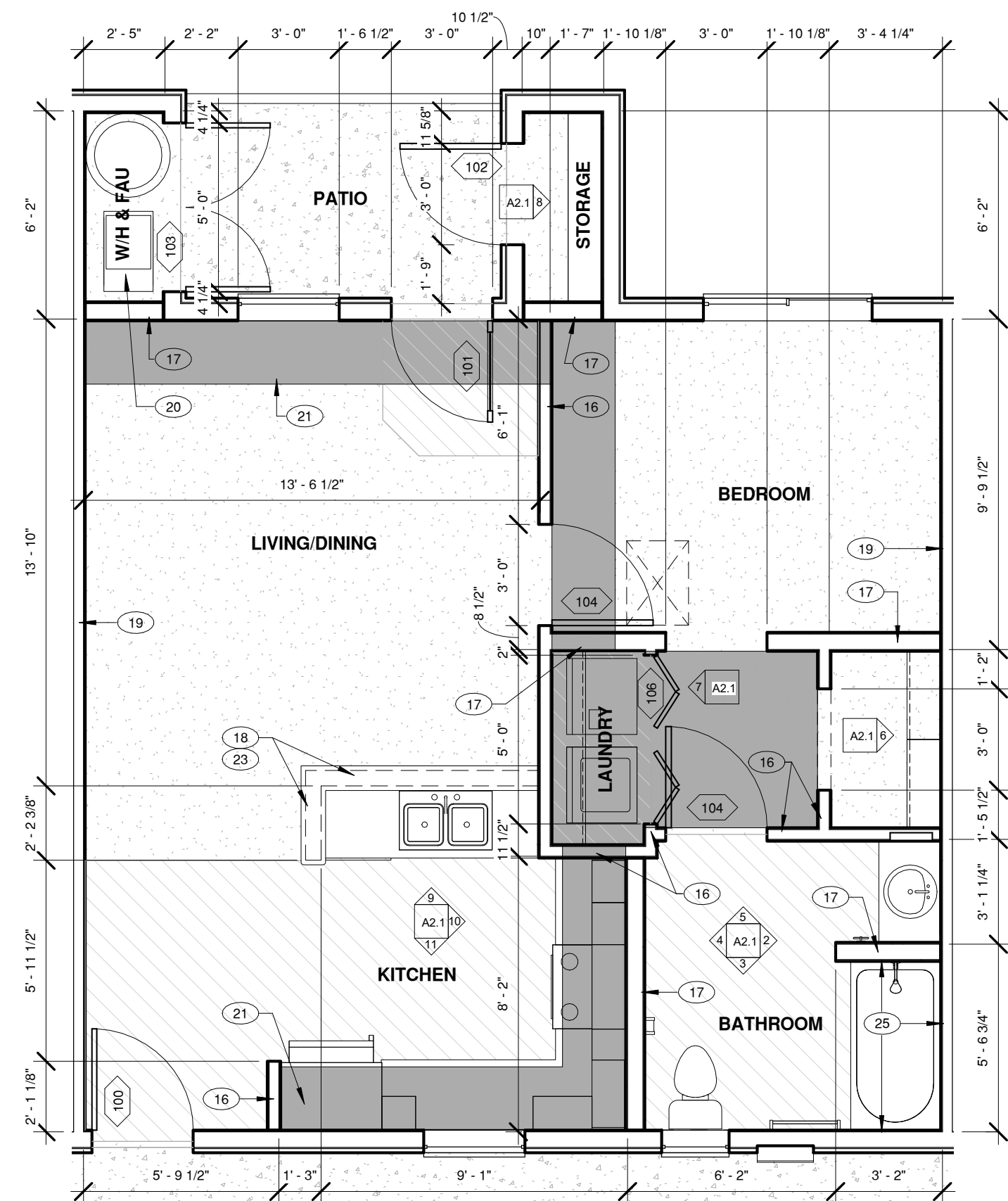
CONC. CAP SLOPED
TO DRAIN
8" X 8" X 16" SPLIT-FACE
CMU - COLOR TO MATCH
BUILDING, SOLID
GROUTED. SPLIT-FACE
SIDE TOWARDS
EXTERIOR SIDE OF
ENCLOSURE

FINISH GRADE WHERE
OCCURS

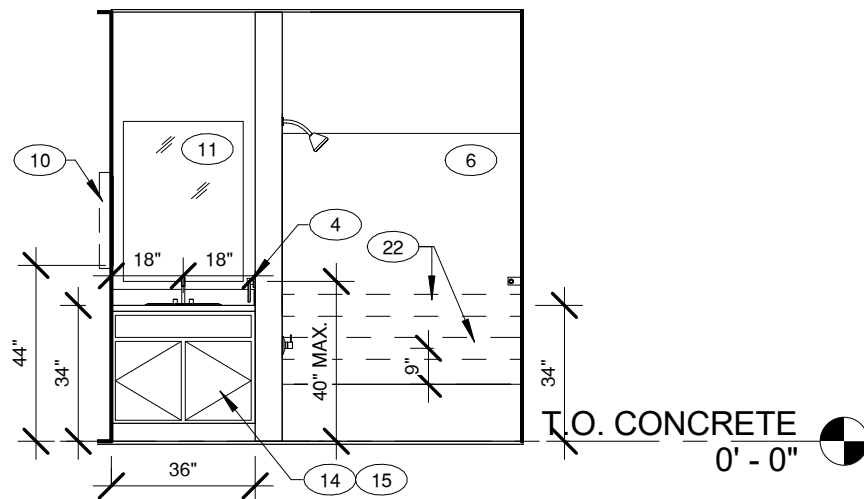
- 6" CONC. SLAB W/
6X6/10X10 WWM @ MID
DEPTH ON 4" GRAVEL



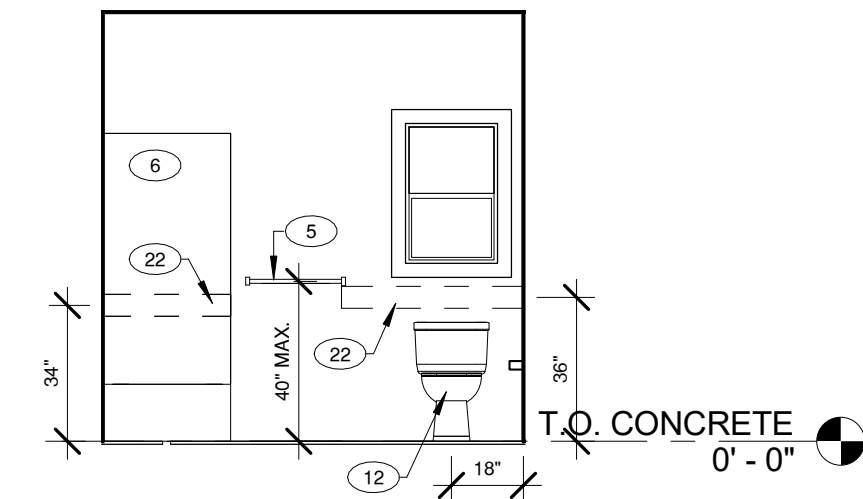
— (2) #4 BARS CONT. AT FOOTING



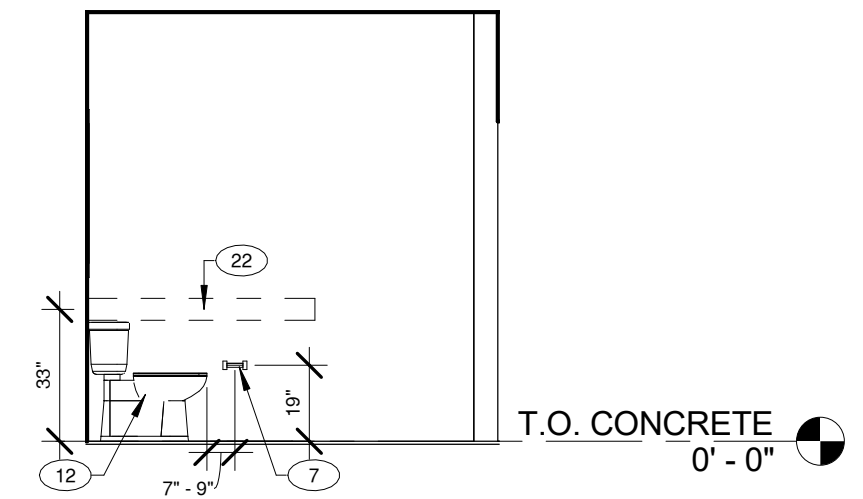
1 ADAPTABLE 1-BEDROOM UNIT
1/4" = 1'-0"



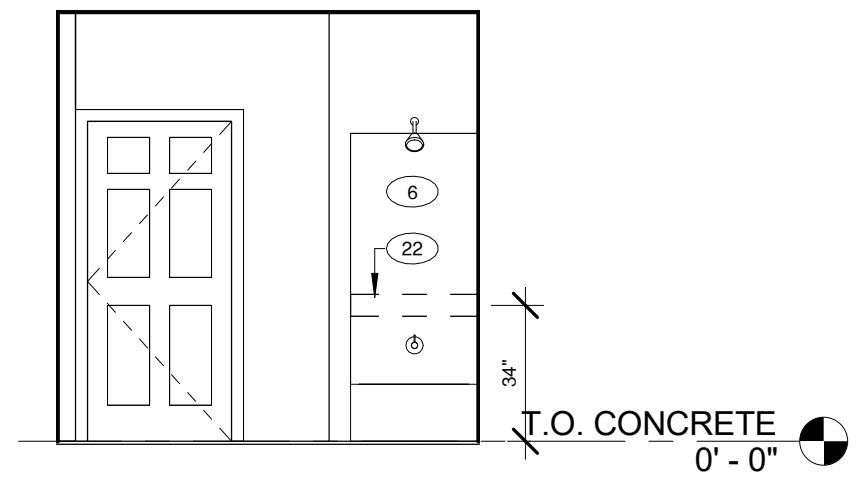
2 ADAPTABLE 1-BDRM BATH - A
1/4" = 1'-0"



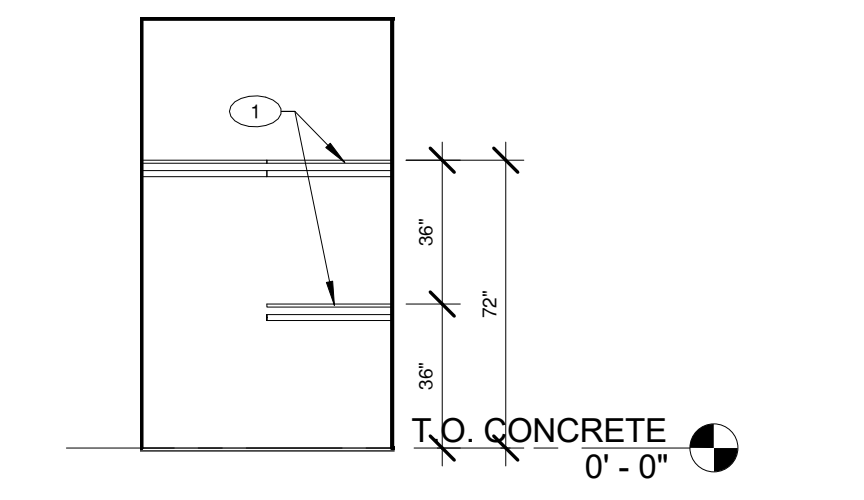
3 ADAPTABLE 1-BDRM BATH - B
1/4" = 1'-0"



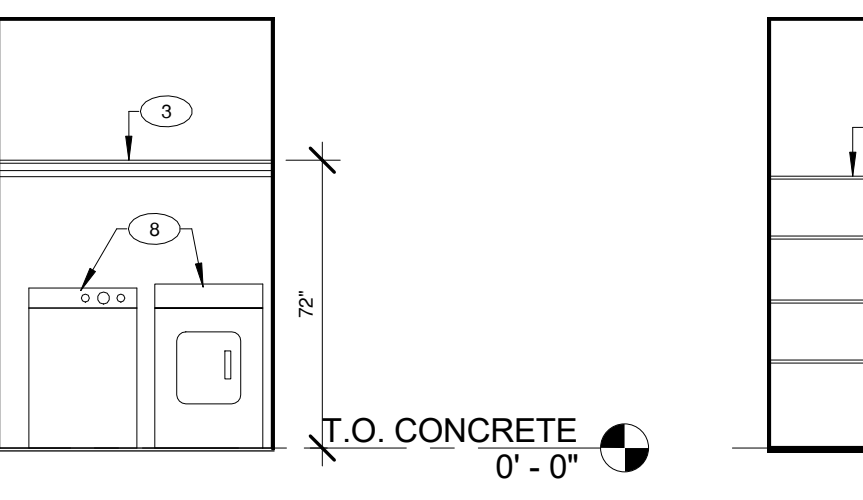
4 ADAPTABLE 1-BDRM BATH - C
1/4" = 1'-0"



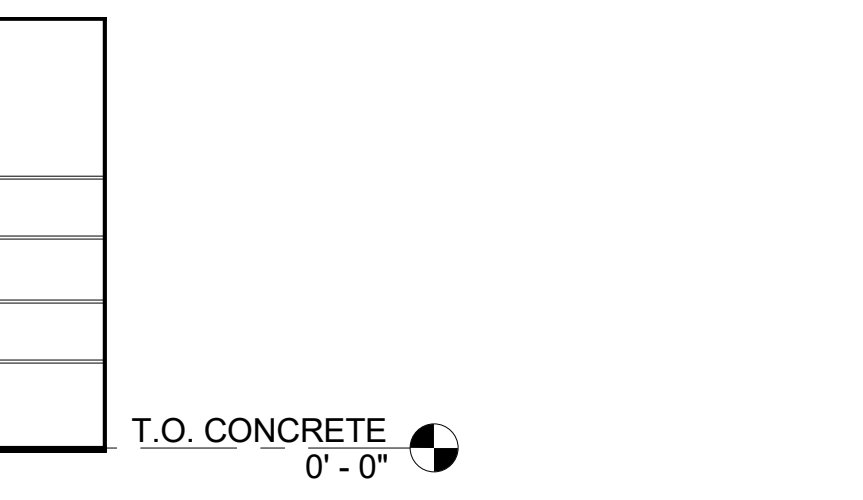
5 ADAPTABLE 1-BDRM BATH - D
1/4" = 1'-0"



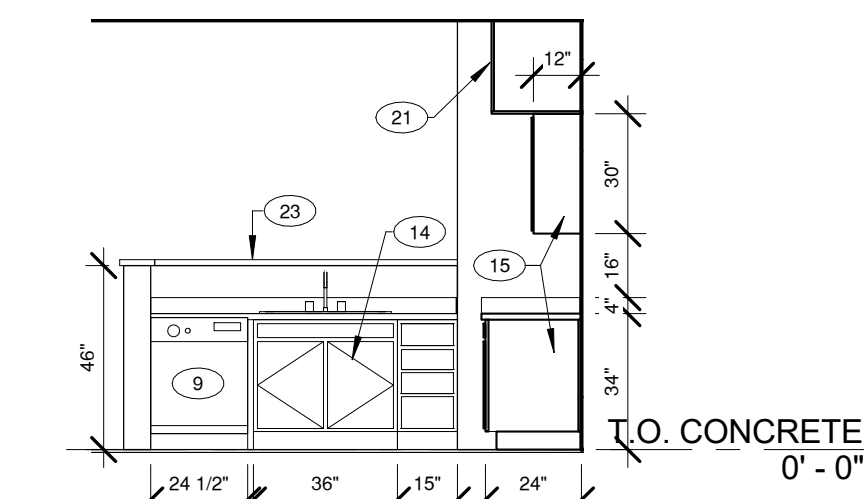
6 ADAPTABLE 1-BDRM CLOSET
1/4" = 1'-0"



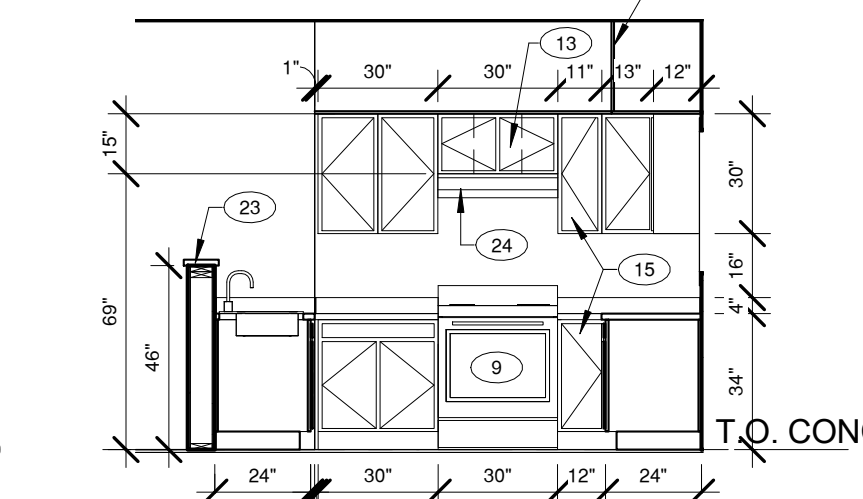
7 ADAPTABLE 1-BDRM LAUNDRY
1/4" = 1'-0"



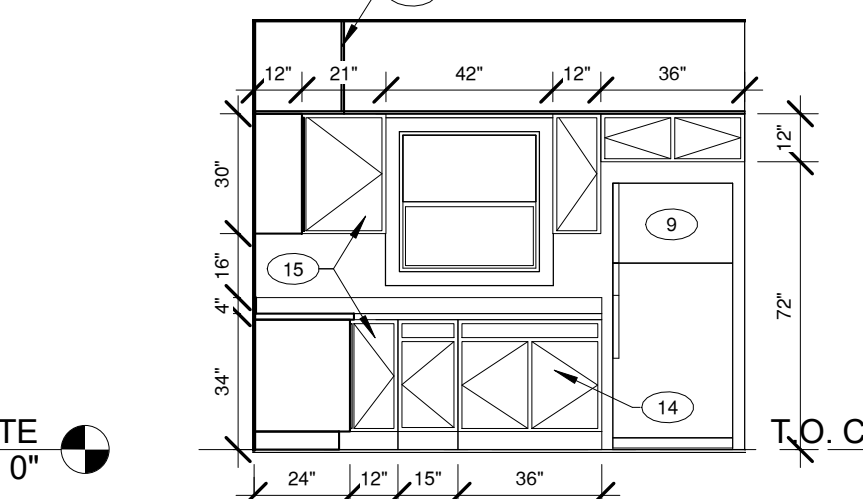
8 ADAPTABLE 1-BDRM STORAGE
1/4" = 1'-0"



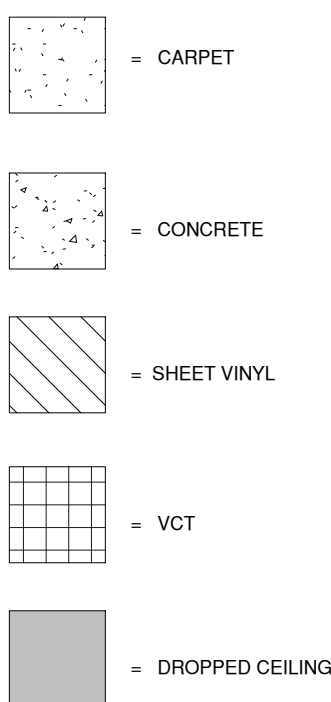
9 ADAPTABLE 1-BDRM KITCHEN - A
1/4" = 1'-0"



10 ADAPTABLE 1-BDRM KITCHEN - B
1/4" = 1'-0"



11 ADAPTABLE 1-BDRM KITCHEN - C
1/4" = 1'-0"



HATCH LEGEND

- GENERAL NOTES: ADAPTABLE UNITS**
- ALL GROUND FLOOR UNITS TO COMPLY WITH CBC 2013, SECTION 11B.
 - AT WATER CLOSET REINFORCEMENT FOR GRAB BARS SHALL BE LOCATED AT THE HEIGHT OF 32" TO 36". REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, ON ON SIDE AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" IN LENGTH. SIDE REINFORCEMENT IS ALIGNED WITH THE FRONT OF THE TANK AND EXTENDS A MIN. OF 26" IN FRONT OF TOILET FIXTURE.
 - AT TUB REINFORCEMENT AT THE HEAD & FOOT OF TUB SHALL EXTEND A MIN. OF 24" FROM EDGE OF THE TUB TO THE BACK WALL. REINFORCEMENT AT THE BACK WALL OF THE TUB SHALL EXTEND FROM 6" ABOVE THE RIM TO 36" ABOVE THE FINISH FLOOR OR LEVEL. THE REINFORCEMENT SHALL EXTEND TO WITHIN 6" OF BOTH ENDS OF THE TUB W/ A MIN. LENGTH OF 48".
 - GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250# MIN. REINFORCEMENTS SHALL BE A MIN OF 6" HIGH, G.C. TO PROVIDE BLOCKING AS REQUIRED.
 - FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
 - ALL UNITS ARE TO HAVE SOLID SURFACE COUNTERTOPS PER 2013 CBC, SECTION 1133A.4.1, EXCEPTION #1. ALL GROUND FLOOR UNITS ARE TO HAVE SOLID SURFACE COUNTERTOPS PER 2013 CBC, SECTION 1133A.4.1, EXCEPTION #1. STONE, CULTURED STONE AND TILED COUNTERTOP MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS. SEE SPECIFICATIONS.
 - THE TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48" AND BOTTOM OF BOX NO LOWER THAN 15" ABOVE THE FLOOR. IF THE SWITCH IS OVER AN OBSTRUCTION BETWEEN 20 & 25" IN DEPTH, THE MAX. HEIGHT IS REDUCED TO 44". OBSTRUCTIONS MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE. PER CBC 1130A.2.
 - ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.
 - EVERY PRIMARY ENTRANCE TO A DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME, OR EQUIVALENT INSTALLATION, MOUNTED A MAX. OF 48" ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING.
 - ALL FLOORING TRANSITION STRIPS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EXTERIOR DOOR THRESHOLDS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" NOMINAL CLEAR SPACE BETWEEN THE FACE OF THE DOOR & THE STOP, WHEN THE DOOR IS IN THE 90 DEG. OPEN POSITION. A 34" INTERIOR PASSAGE DOORS IS ACCEPTABLE AND A 36" ENTRY DOOR IS ACCEPTABLE. A STANDARD 6'-0" SLIDING PATIO DOOR ASSEMBLY IS ACCEPTABLE IF IT MEETS THESE CRITERIA.
 - INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" WIDTH.
 - ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 18" PAST THE STRIKE EDGE OF THE DOOR.
 - DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3'-0" FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND OF LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR PER CBC.
 - ALL AREAS RECEIVING GYP. BRD. ARE TO BE TAPED AND MUDDDED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
 - SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOWS, AND INTERIOR INFORMATION.
- KEY NOTES: ADAPTABLE UNITS**
- MDF SHELF & CLOTHING ROD. AT LOWER LOCATION PROVIDE CLOTHING ROD ONLY.
 - (4) EQUALLY SPACED MDF SHELVES.
 - MDF SHELF, CLOTHING ROD AT HIGH SHELF IN LAUNDRY CLOSET.
 - TOWEL RING, G.C. TO VERIFY LOCATION, SET MIN. 6" FROM MIRROR.
 - TOWEL BAR, G.C. TO VERIFY LOCATION.
 - TUB/SHOWER. SEE PLUMBING DRAWINGS & SPECIFICATIONS. PROVIDE BACKING FOR FUTURE GRAB BARS WHERE INDICATED AS REQUIRED BY GENERAL NOTES.
 - TOILET PAPER DISPENSER WITHOUT STOPS.
 - WASHER & DRYER SUPPLIED BY TENANT. HOOK-UPS INSTALLED BY G.C. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
 - APPLIANCE, SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - MEDICINE CABINET, SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. WHERE LOCATED ON RATED WALL, SURFACE MOUNT OR INSTALLED WITHIN ONE HOUR POCKET.
 - MIRROR, G.C. TO VERIFY SIZE, SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - WATER CLOSET, SUPPLIED & INSTALLED BY G.C. TOILET SEAT SHALL BE A MIN. OF 15" FROM FLOOR SURFACE. SEE PLUMBING DRAWINGS & SPECIFICATIONS.
 - CABINET SUPPLIER TO INSTALL CHASE FOR VENTING FROM TOP OF HOOD TO CEILING OR LOWERED SOFFIT. CHASE TO BE A MAX. OF 2" WIDER THAN EXHAUST DUCT. COORDINATE WITH MECH. DRAWING SERIES.
 - AT ADAPTABLE UNITS INSTALL REMOVABLE BASE CABINETS, BASE CABINETS DIRECTLY BELOW KITCHEN SINK, WORK SURFACE AND LAVATORIES, INCLUDING TOE BOARD AND SHELVING SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE. TO PROVIDE KNEE CLEARANCE FOR WHEEL CHAIR. ALL SURFACES THAT WILL BE EXPOSED BY REMOVAL OF BASE CABINETS SHALL BE FINISHED INCLUDING FLOOR, BASE, AND CABINETS. REQUIRED AT GROUND FLOOR UNITS ONLY.
 - MILLWORK, SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS, BRACKETS AND SUPPORTS PROVIDED BY VENDOR.
 - 2x4 INTERIOR WALL W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A9.1.
 - 2x6 INTERIOR WALLS W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A9.1.
 - PARTIAL HEIGHT 2x6 WALL. SEE BUILDING SECTIONS.
 - 1-HOUR FIRE SEPARATION WALL BETWEEN DWELLINGS, SEE DETAIL 10A8.1.
 - GYP. BOARD CEILING AT MECHANICAL CLOSET, MIN. 7'-0" A.F.F.
 - DROPPED CEILING, AREAS TO BE A MIN. HEIGHT OF 7'-6". MIN. HEIGHT IS FINISHED SURFACE TO FINISHED SURFACE. SEE DETAIL 5A8.1, DROPPED SOFFIT TO BE LOWERED TO TOP OF KITCHEN WALL CABINETS WHERE OCCURS.
 - BACKERS FOR FUTURE GRAB BARS AT GROUND FLOOR UNITS ONLY. SEE GENERAL NOTES.
 - CAP AT HALF WALL TO MATCH COUNTERTOP MATERIAL PER INTERIOR FINISH SCHEDULE.
 - RANGE HOOD, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - USE NONPAPER-FACED BACKER BOARD, DENS ARMOR PLUS OR EQUAL, ON WALLS AT TUB/SHOWER SURROUND.
- GENERAL NOTES: SENSORY UNITS**
- ALL UNITS TO COMPLY WITH 2013 CBC, SECTION 907.
 - ELECTRICAL CONTRACTOR TO INSTALL SMOKE ALARMS W/ STROBES AT THE TIME OF CONSTRUCTION, AS REQUIRED FOR HEARING/ VISION IMPAIRED UNITS.
 - ELECTRICAL CONTRACTOR TO INSTALL DOOR BELL UNITS W/ ADDED STROBES AT THE TIME OF CONSTRUCTION, AS REQUIRED FOR HEARING/ VISION IMPAIRED UNITS.
 - DOOR BELL STROBES SHALL BE WIRED SEPARATELY FROM THE SMOKE ALARM STROBE SYSTEM.
 - SEE ARCHITECTURAL SITE PLAN FOR LOCATION OF SENSORY UNITS.

REVISIONS

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ELM AVENUE SENIOR
APARTMENTS

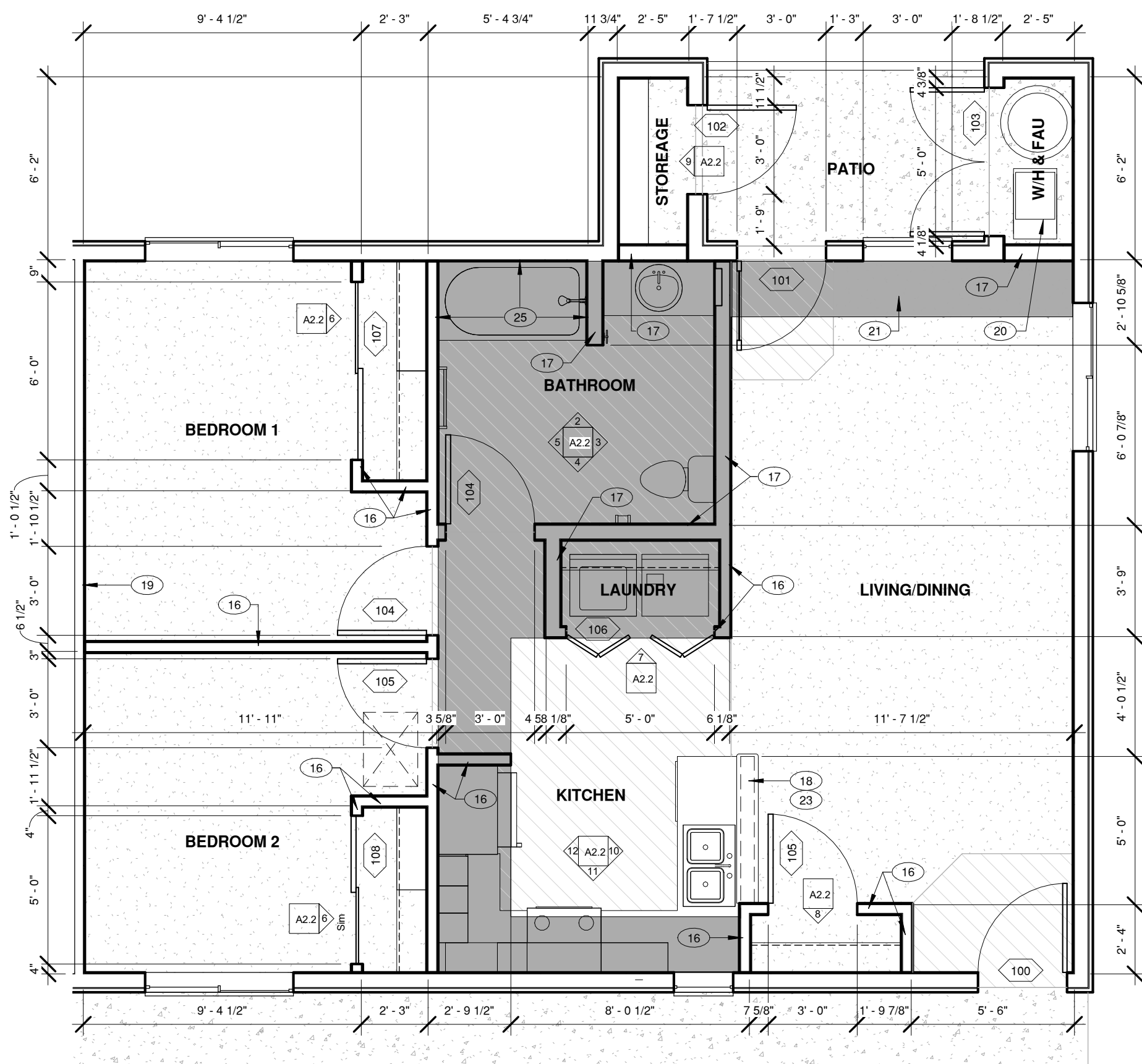
PROJECT

GREENFIELD, CA

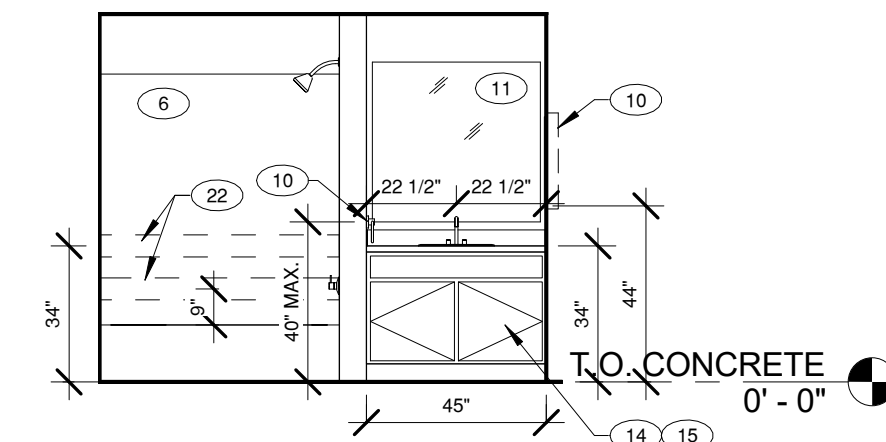
S.E.C. ELM AVE. & E. WALNUT AVE.

A2.1

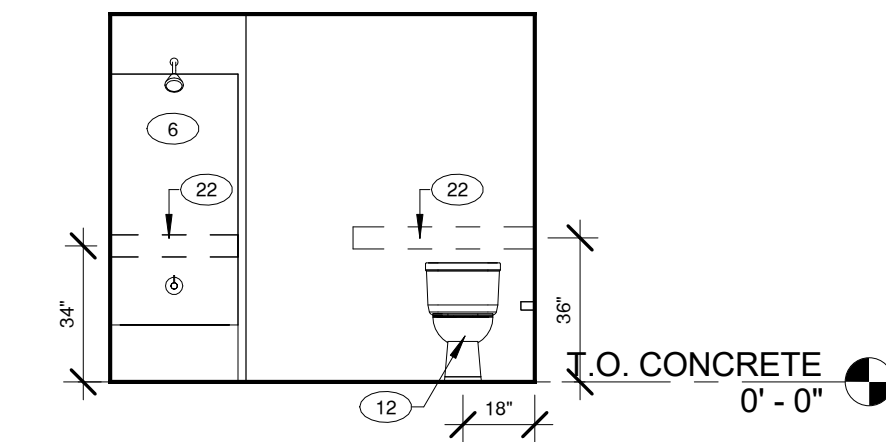
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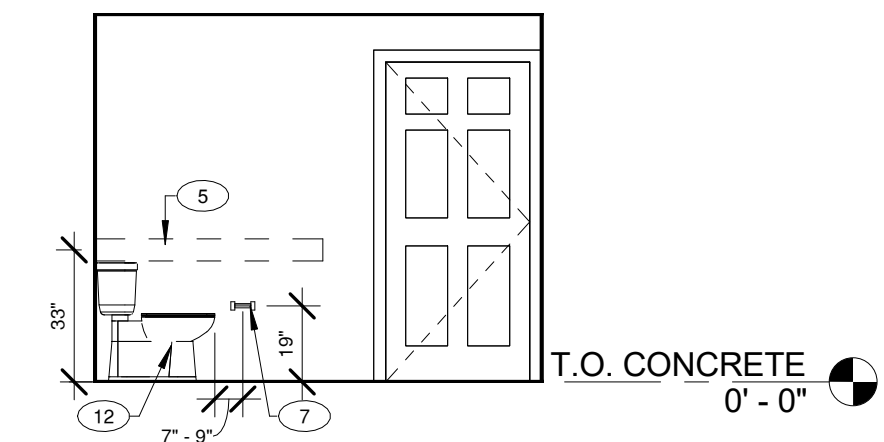
1 ADAPTABLE 2-BEDROOM UNIT
1/4" = 1'-0"



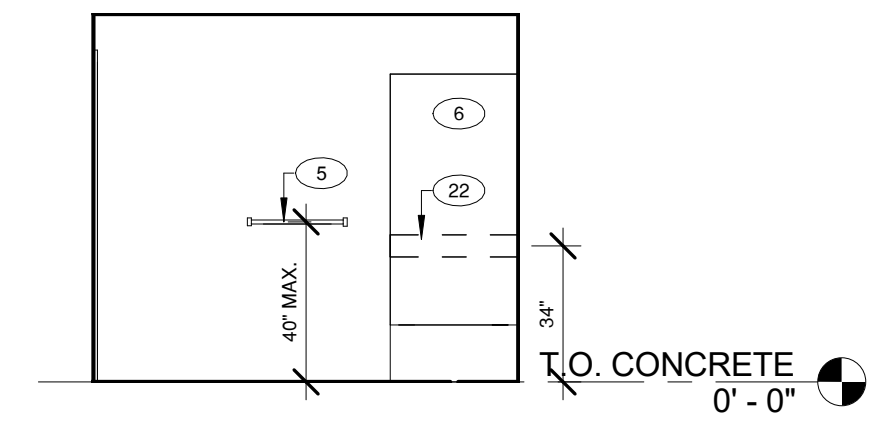
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1/4" = 1'-0"



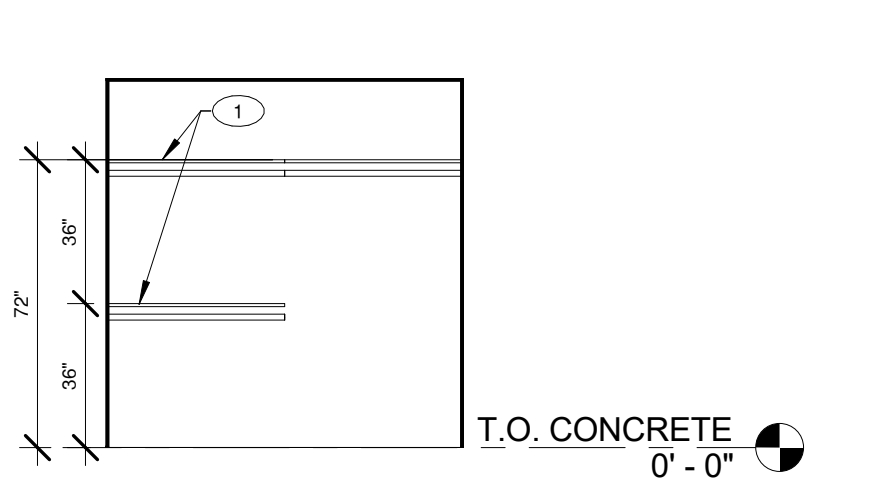
3 ADAPTABLE 2-BDRM BATH - B
1/4" = 1'-0"



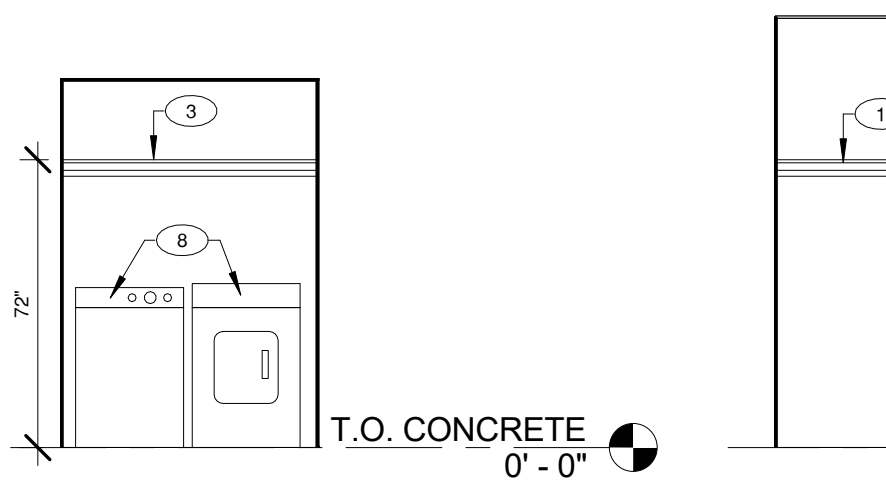
4 ADAPTABLE 2-BDRM BATH - C
1/4" = 1'-0"



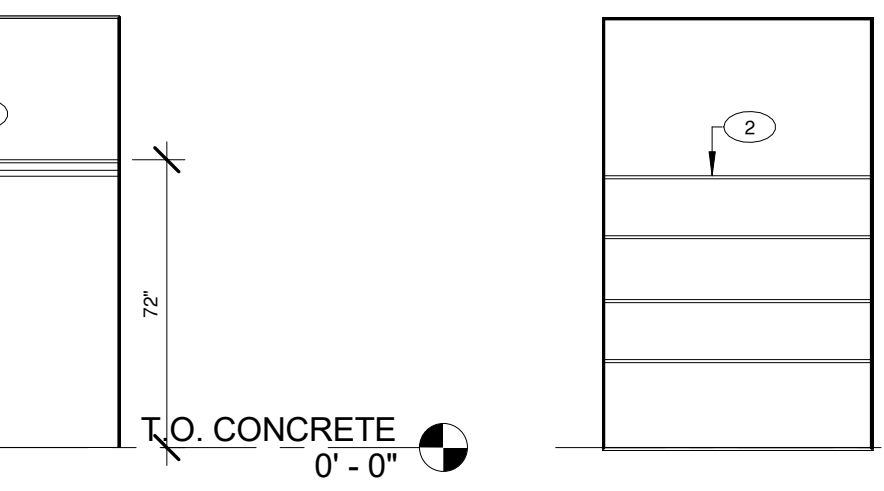
5 ADAPTABLE 2-BDRM BATH - D
1/4" = 1'-0"



6 ADAPTABLE 2-BDRM CLOSET
1/4" = 1'-0"



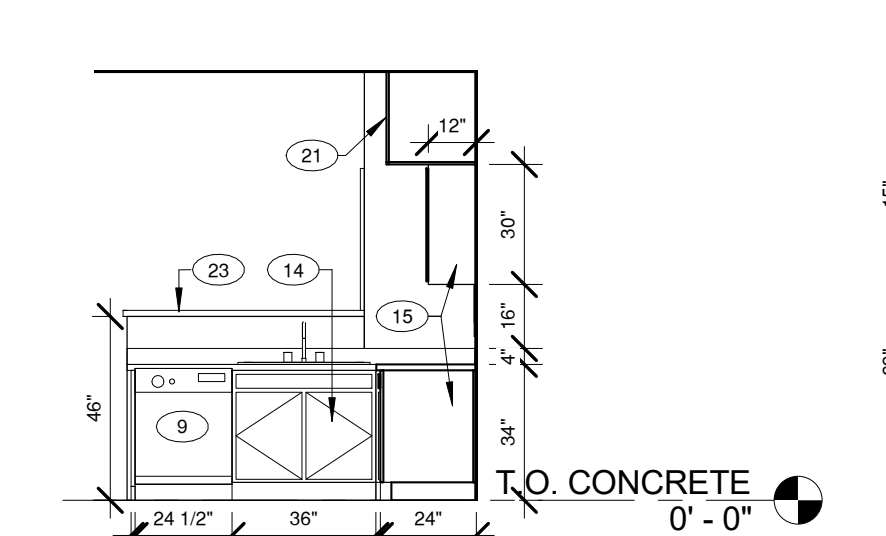
7 ADAPTABLE 2-BDRM LAUNDRY
1/4" = 1'-0"



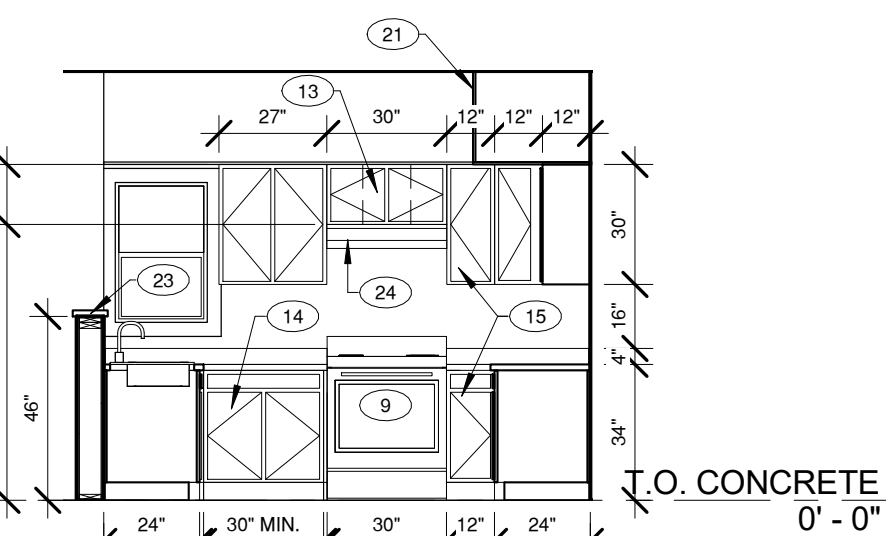
8 ADAPTABLE 2-BDRM ENTRY CLOSET
1/4" = 1'-0"



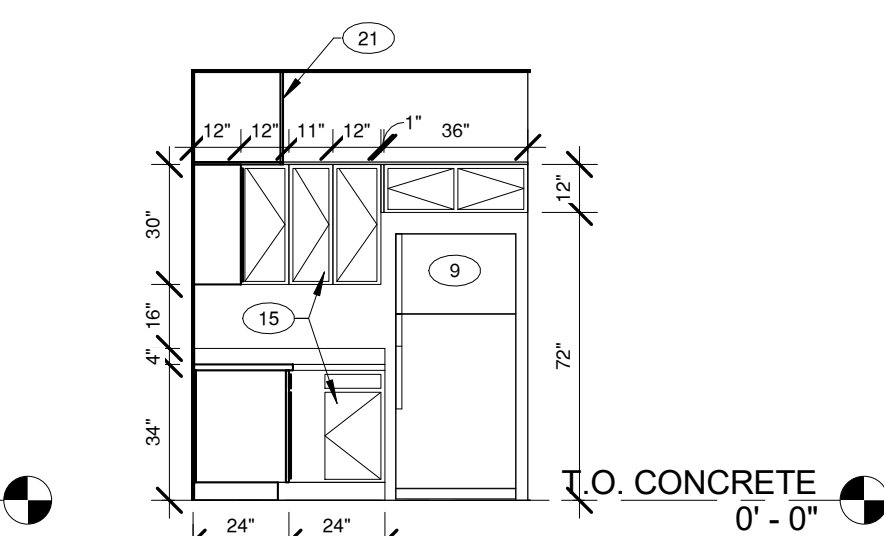
9 ADAPTABLE 2-BDRM STORAGE
1/4" = 1'-0"



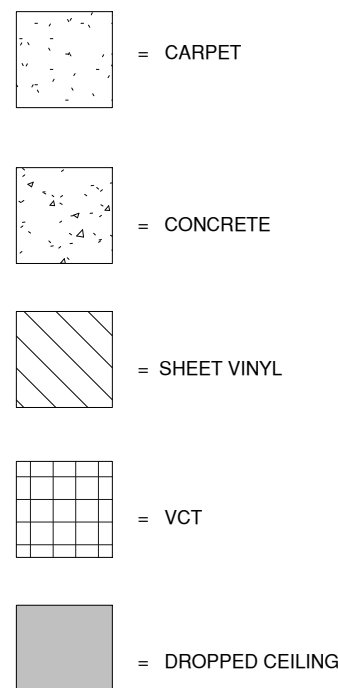
10 ADAPTABLE 2-BDRM KITCHEN - A
1/4" = 1'-0"



11 ADAPTABLE 2-BDRM KITCHEN - B
1/4" = 1'-0"



12 ADAPTABLE 2-BDRM KITCHEN - C
1/4" = 1'-0"



HATCH LEGEND

- GENERAL NOTES: ADAPTABLE UNITS**
- ALL GROUND FLOOR UNITS TO COMPLY WITH CBC 2013, SECTION 11B.
 - AT WATER CLOSET REINFORCEMENT FOR GRAB BARS SHALL BE LOCATED AT THE HEIGHT OF 32" TO 36". REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, OR ON SIDE AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" IN LENGTH. SIDE REINFORCEMENT IS ALIGNED WITH THE FRONT OF THE TANK AND EXTENDS A MIN. OF 26" IN FRONT OF TOILET FIXTURE.
 - AT TUB REINFORCEMENT AT THE HEAD & FOOT OF TUB SHALL EXTEND A MIN. OF 24" FROM EDGE OF THE TUB TO THE BACK WALL. REINFORCEMENT AT THE BACK WALL OF THE TUB SHALL EXTEND FROM 6" ABOVE THE RIM TO 36" ABOVE THE FINISH FLOOR OR LEVEL. THE REINFORCEMENT SHALL EXTEND TO WITHIN 6" OF BOTH ENDS OF THE TUB W/ A MIN. LENGTH OF 48".
 - GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250# MIN. REINFORCEMENTS SHALL BE A MIN. OF 6" HIGH. G.C. TO PROVIDE BLOCKING AS REQUIRED.
 - FAUCET CONTROL'S SHALL BE OPERABLE WITH ONE HAND AND SHOULD NOT REQUIRE A TIGHT GRASP. PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS.
 - ALL UNITS ARE TO HAVE SOLID SURFACE COUNTERTOPS PER 2013 CBC, SECTION 1133A.4.1, EXCEPTION #1. ALL GROUND FLOOR UNITS ARE TO HAVE SOLID SURFACE COUNTERTOPS PER 2013 CBC, SECTION 1133A.4.1, EXCEPTION #1. STONE, CULTURED STONE AND TILED COUNTERTOP MAY BE USED WITHOUT MEETING THE REPOSITIONING REQUIREMENTS. SEE SPECIFICATIONS.
 - THE TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48". AND BOTTOM OF BOX NO LOWER THAN 15" ABOVE THE FLOOR. IF THE REACH IS OVER AN OBSTRUCTION BETWEEN 20 & 25" IN DEPTH, THE MAX. HEIGHT IS REDUCED TO 44". OBSTRUCTIONS MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE. PER CBC 1133A.2.
 - ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.
 - EVERY PRIMARY ENTRANCE TO A DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME, OR EQUIVALENT INSTALLATION, MOUNTED A MAX. OF 48" ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING.
 - ALL FLOORING TRANSITION STRIPS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EXTERIOR DOOR THRESHOLDS TO COMPLY WITH THE FAIR HOUSING ACT/UFAS.
 - EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" NOMINAL CLEAR SPACE BETWEEN THE FACE OF THE DOOR & THE STOP WHEN THE DOOR IS IN THE 90 DEG. OPEN POSITION. A 34" INTERIOR PASSAGE DOORS IS ACCEPTABLE AND A 36" ENTRY DOOR IS ACCEPTABLE. A STANDARD 6'-0" SLIDING PATIO DOOR ASSEMBLY IS ACCEPTABLE IF IT MEETS THESE CRITERIA.
 - INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" WIDTH.
 - ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 18" PAST THE STRIKE EDGE OF THE DOOR.
 - DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3'-0" FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND OF LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR PER CBC.
 - ALL AREAS RECEIVING GYP. BRD. ARE TO BE TAPED AND MUDDDED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
 - SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOWS, AND INTERIOR INFORMATION.

- KEY NOTES: ADAPTABLE UNITS**
- MDF SHELF & CLOTHING ROD. AT LOWER LOCATION PROVIDE CLOTHING ROD ONLY.
 - (4) EQUALLY SPACED MDF SHELVES.
 - MDF SHELF, CLOTHING ROD AT HIGH SHELF IN LAUNDRY CLOSET.
 - TOWEL RING. G.C. TO VERIFY LOCATION, SET MIN. 6" FROM MIRROR.
 - TOWEL BAR. G.C. TO VERIFY LOCATION.
 - TUB/SHOWER. SEE PLUMBING DRAWINGS & SPECIFICATIONS. PROVIDE BACKING FOR FUTURE GRAB BARS WHERE INDICATED AS REQUIRED BY GENERAL NOTES.
 - TOILET PAPER DISPENSER WITHOUT STOPS.
 - WASHER & DRYER SUPPLIED BY TENANT. HOOK-UPS INSTALLED BY G.C. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
 - APPLIANCE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - MEDICINE CABINET. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. WHERE LOCATED ON RATED WALL, SURFACE MOUNT OR INSTALLED WITHIN ONE HOUR POCKET.
 - MIRROR. G.C. TO VERIFY SIZE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
 - WATER CLOSET. SUPPLIED & INSTALLED BY G.C. TOILET SEAT SHALL BE A MIN. OF 15" FROM FLOOR SURFACE. SEE PLUMBING DRAWINGS & SPECIFICATIONS.
 - CABINET SUPPLIER TO INSTALL CHASE FOR VENTING FROM TOP OF HOOD TO CEILING OR LOWERED SOFFIT. CHASE TO BE A MAX. OF 2" WIDER THAN EXHAUST DUCT. COORDINATE WITH MECH. DRAWING SERIES.
 - AT ADAPTABLE UNITS INSTALL REMOVABLE BASE CABINETS. BASE CABINETS DIRECTLY BELOW KITCHEN SINK, WORK SURFACE AND LAVATOIRES. INCLUDING TOE BOARD AND SHELVING SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE. TO PROVIDE KNEE CLEARANCE FOR WHEEL CHAIR. ALL SURFACES THAT WILL BE EXPOSED BY REMOVAL OF BASE CABINETS SHALL BE FINISHED INCLUDING FLOOR, BASE, AND CABINETS. REQUIRED AT GROUND FLOOR UNITS ONLY.
 - MILLWORK. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. BRACKETS AND SUPPORTS PROVIDED BY VENDOR.
 - 2x6 INTERIOR WALL W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A9.1.
 - PARTIAL HEIGHT 2x6 WALL. SEE BUILDING SECTIONS.
 - 1-HOUR FIRE SEPARATION WALL BETWEEN DWELLINGS. SEE DETAIL 10A8.1.
 - GYP. BOARD CEILING AT MECHANICAL CLOSET, MIN. 7'-0" A.F.F.
 - DROPPED CEILING. AREAS TO BE A MIN. HEIGHT OF 7'-6". MIN. HEIGHT IS FINISHED SURFACE TO FINISHED SURFACE. SEE DETAIL 5A8.1. DROPPED SOFFIT TO BE LOWERED TO TOP OF KITCHEN WALL CABINETS WHERE OCCURS.
 - BACKERS FOR FUTURE GRAB BARS AT GROUND FLOOR UNITS ONLY. SEE GENERAL NOTES.
 - CAP AT HALF WALL TO MATCH COUNTERTOP MATERIAL PER INTERIOR FINISH SCHEDULE.
 - RANGE HOOD. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
 - USE NONPAPER-FACED BACKER BOARD, DENS ARMOR PLUS OR EQUAL, ON WALLS AT TUB/SHOWER SURROUND.

- GENERAL NOTES: SENSORY UNITS**
- ALL UNITS TO COMPLY WITH 2013 CBC, SECTION 907.
 - ELECTRICAL CONTRACTOR TO INSTALL SMOKE ALARMS W/ STROBES AT THE TIME OF CONSTRUCTION, AS REQUIRED FOR HEARING/ VISION IMPAIRED UNITS.
 - ELECTRICAL CONTRACTOR TO INSTALL DOOR BELL UNITS W/ ADDED STROBES AT THE TIME OF CONSTRUCTION, AS REQUIRED FOR HEARING/ VISION IMPAIRED UNITS.
 - DOOR BELL STROBES SHALL BE WIRED SEPARATELY FROM THE SMOKE ALARM STROBE SYSTEM.
 - SEE ARCHITECTURAL SITE PLAN FOR LOCATION OF SENSORY UNITS.



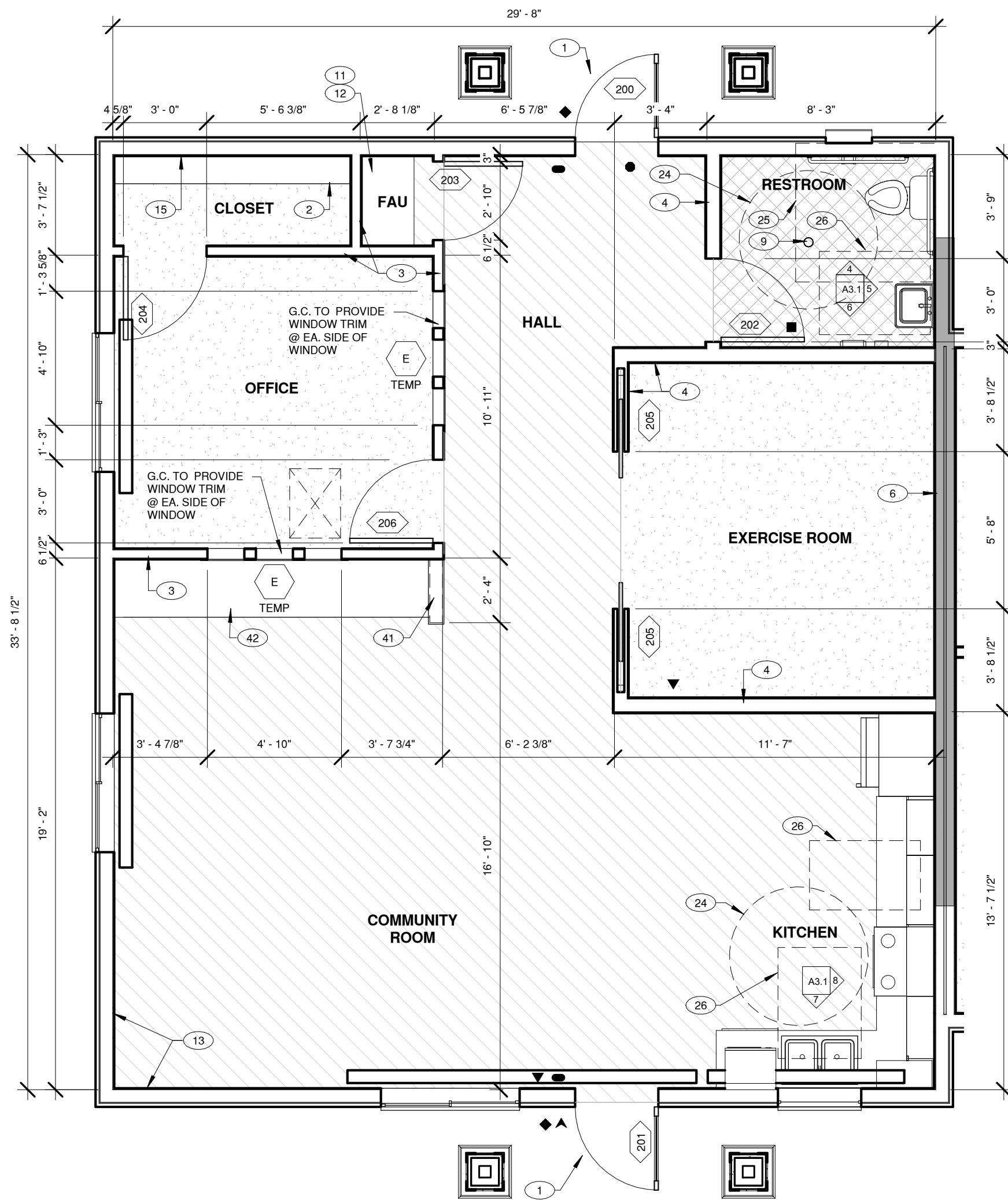
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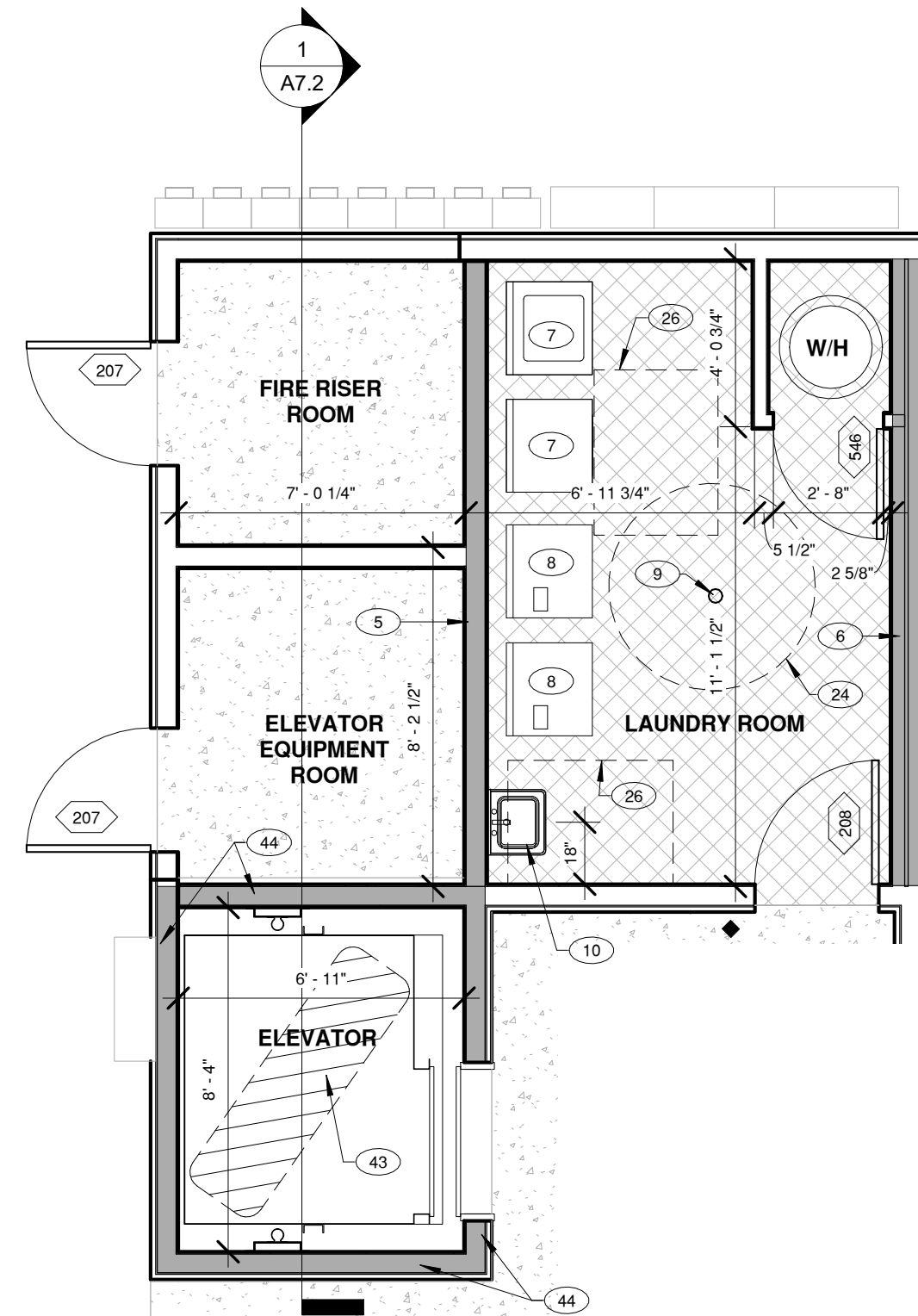
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PROJECT
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GREENFIELD, CA

A2.2

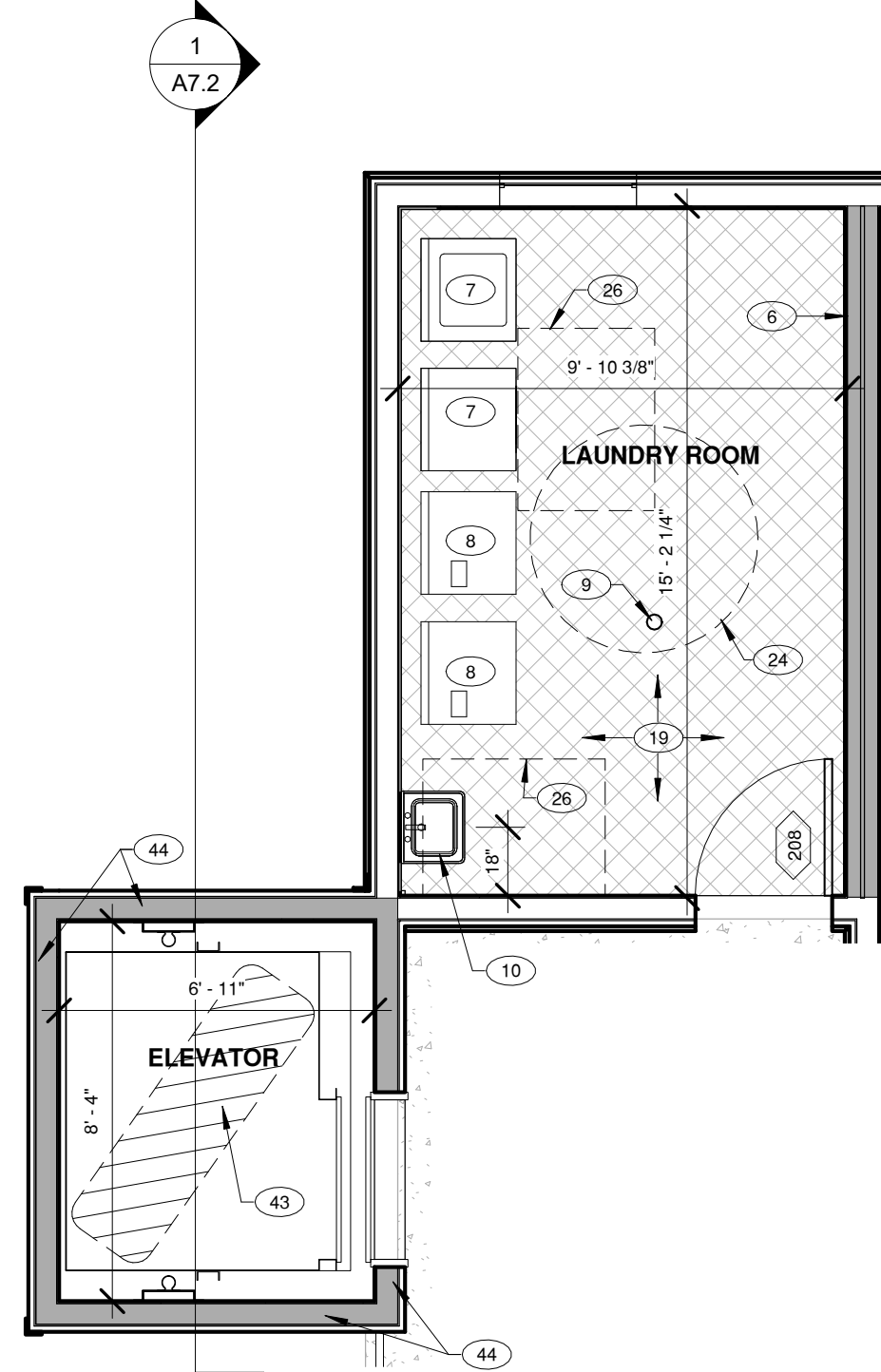
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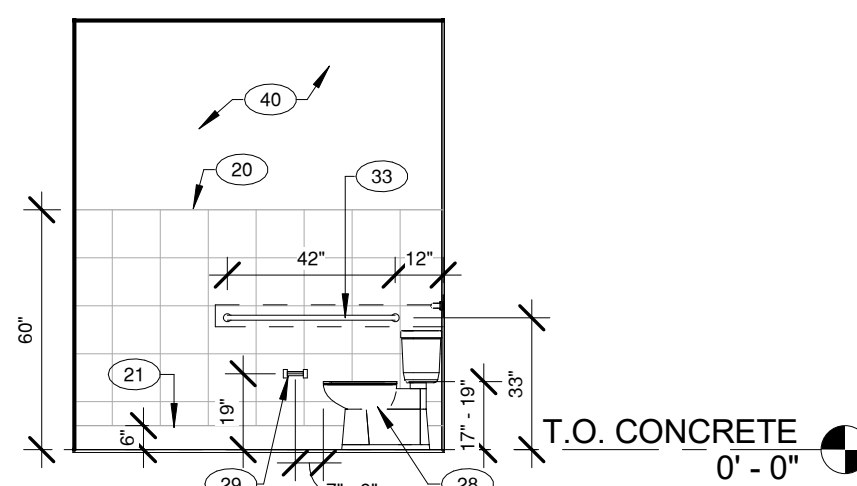
1 COMMUNITY AREA PLAN
1/4" = 1'-0"



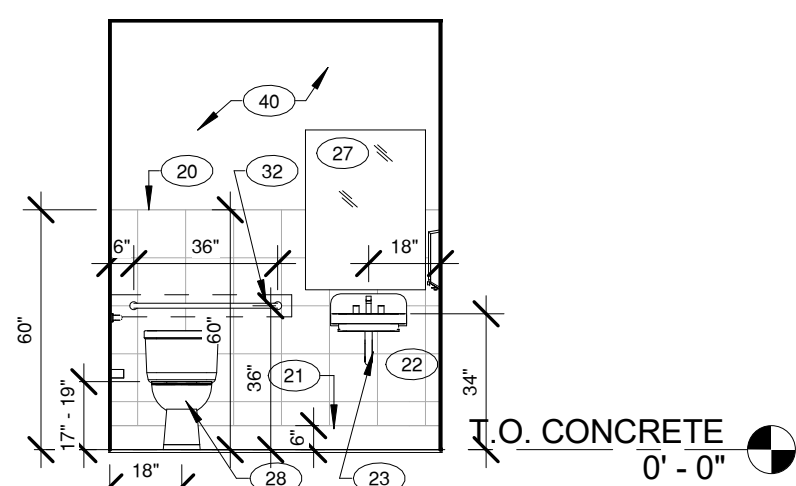
2 LAUNDRY ROOM / ELEVATOR AREA - 1ST FLOOR
1/4" = 1'-0"



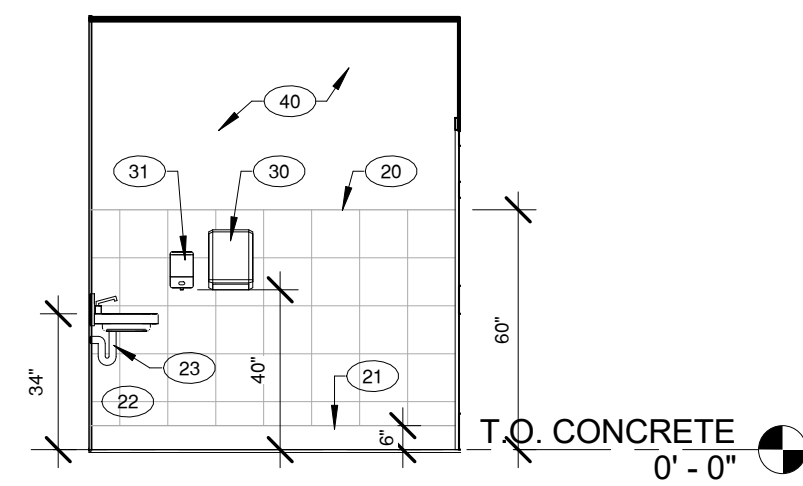
3 LAUNDRY ROOM / ELEVATOR AREA - 2ND FLOOR
1/4" = 1'-0"



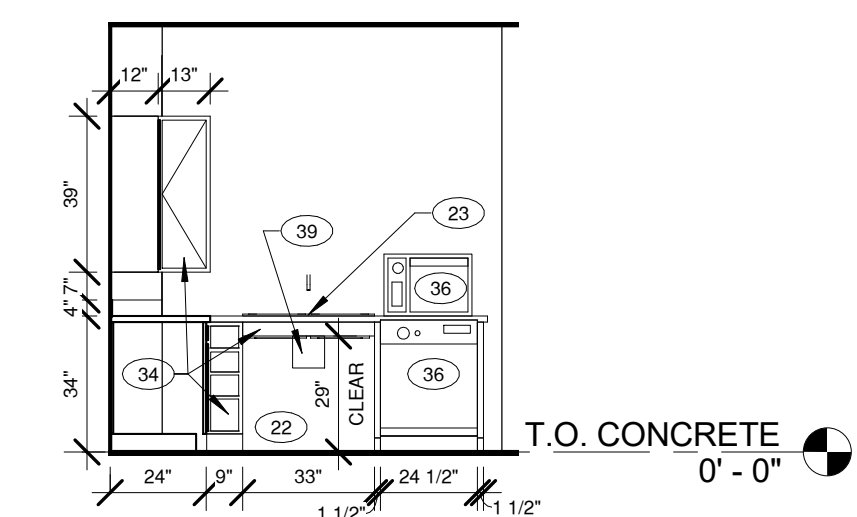
4 RESTROOM
1/4" = 1'-0"



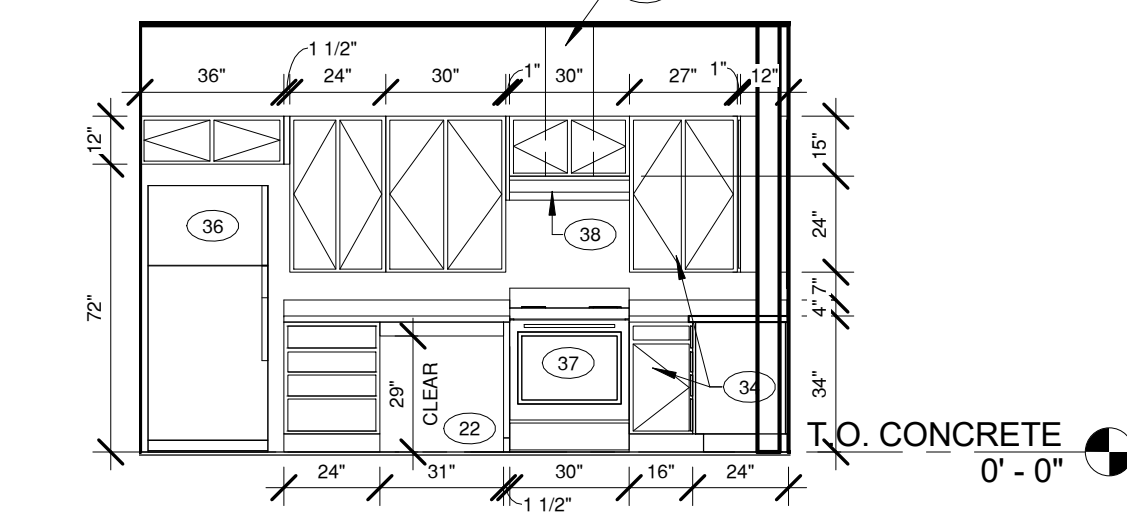
5 RESTROOM
1/4" = 1'-0"



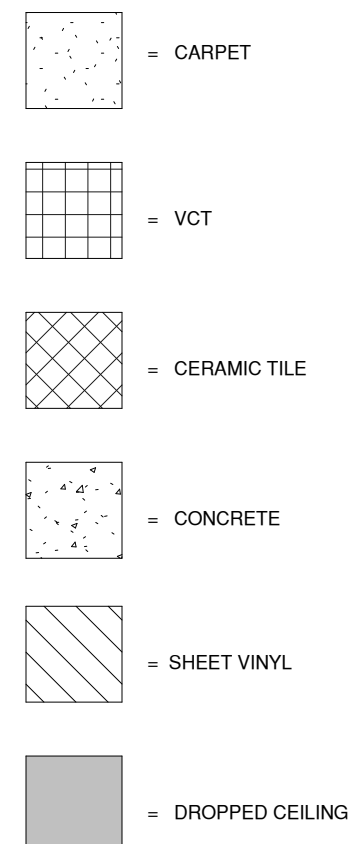
6 RESTROOM
1/4" = 1'-0"



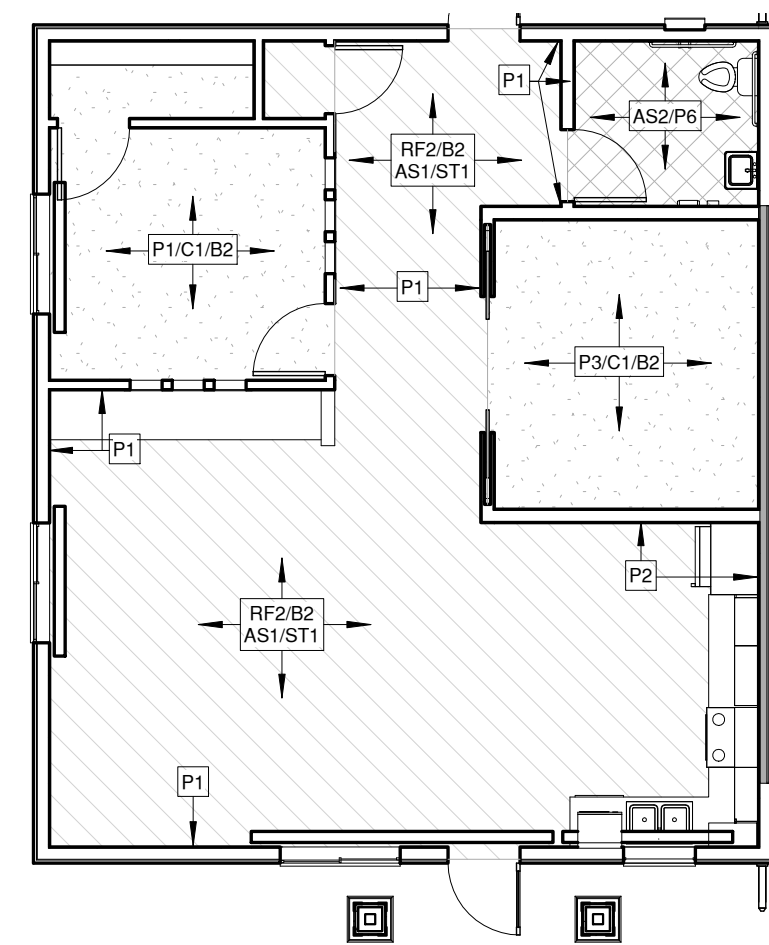
7 KITCHEN - A
1/4" = 1'-0"



8 KITCHEN - I
1/4" = 1'-0"



-HATCH LEGEND





9 FINISH PLAN - COMMUNITY BUILDING
1/8" = 1'-0"

- ## GENERAL NOTES
- A. ALL INSULATION MATERIAL, INCLUDING FACINGS, WHERE SPECIFIED, ARE REQUIRED TO HAVE A FLAME SPREAD OF 20 OR BETTER AND A MAX. SMOKE DENSITY OF 450 PER THE 2013 CBC, SECTION 720.2.
 - B. PENETRATIONS THROUGH WALLS OF FIRE RESISTIVE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, MEMBRANE PENETRATIONS SHALL BE FIRE STOPPED IN ACCORDANCE WITH THE 2013 CBC.
 - C. ALL AREAS AS NOTED ON QTY. BIDD. ARE TO BE TAPED AND MUDDED AND RECEIVE FINISH AS RECEIVED ON FINISH SCHEDULE AND/OR SPECIFICATIONS. VERIFY FINISHES WITH OWNER.
 - D. PROVIDE FULL BATT INSULATION BETWEEN BATHROOMS AND BATHROOMS AND ADJACENT SPACES.
 - E. WHERE GP/SC BOARD FINISH IS INDICATED IT SHALL MEET THE MINIMUM SPECIFICATIONS A US DRYSPIN-LEAVE, 4' U.O.N.
 - F. VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENT.
 - G. IF GLAZING FOR WINDOW IS WITHIN 1" OF FINISHED FLOOR SURFACE AND/OR WITHIN 24" OF PASS THROUGH DOOR THEN TEMPERED GLASS IS REQUIRED.
 - H. CARPET TO HAVE TEXTURED LOOP CARPET WITH A MAX. PILE HEIGHT TO BE 1/2" CARPETS SHALL BE SECURELY ATTACHED THROUGH CUSHION PAD AND HAVE TEXTURED LOOP. TEXTURED LOOP CARPETS SHALL BE SECURELY ATTACHED. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGES.
 - I. HARD FLOOR SURFACES IN RESTROOMS TO BE A HARD, NONABSORBENT SURFACE PER 2013 CBC SECTION 12102.1
ON TOILET REINFORCEMENT FOR GRAB BARS SHALL BE LOCATED AT THE REINFORCEMENT SHALL BE ON BOTH SIDES OF TOILET, OR AT ONE END AND IN BACK OF TOILET. BACK REINFORCEMENT IS A MIN. OF 40" LENGTH. SIDE REINFORCEMENT IS ALIGNED WITH THE FRONT OF THE TANK AND IS A MIN. OF 40" LONG.
 - J. GRAB BAR REINFORCEMENTS SHALL BE CAPABLE OF SUPPORTING A POINT LOAD OF 250# MIN. REINFORCEMENTS SHALL BE A MIN OF 6" HIGH.
 - K. FLUSH VALVE SHALL BE LOCATED ON WIDE SIDE OF TOILET AND MAX. 44" A.F.F. VALVE SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE.
 - L. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE A TIGHT GRASP, PINCHING OR TWISTING OF WRIST. A MAX. 5# FORCE SHALL BE REQUIRED TO OPERATE CONTROLS. SELF-CLOSING VALVES SHALL BE MINIMUM OPEN FOR AT LEAST 10 SECONDS.
 - M. TOP OF BOX OF THE OPERATING HANDLE OF SWITCHES USED TO CONTROL LIGHTS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS SHALL BE LOCATED NO HIGHER THAN 48" AND THE BOTTOM OF BOX NO LOWER THAN 18" ABOVE FINISH FLOOR. REACHES OVER AN OBSTRUCTION BETWEEN 20 & 25% HEIGHT, THE MAX. HEIGHT IS REDUCED TO 44". OBSTRUCTIONS MAY NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE REACHABLE AREA.
 - N. ELECTRICAL OUTLETS TO BE LOCATED 15" MIN. FROM FINISH FLOOR OR CARPET SURFACE TO BOTTOM OF OUTLET BOX.
 - O. CONFIRM LIGHTING LOAD AND ENERGY CODE COMPLIANCE FOR LIGHTING DESIGN WITH RESPECTIVE ELECTRICAL DRAWINGS SERIES.
 - P. PROVIDE SINK COUNTER TOP, CAB BACK SPLASH, AND ASSOCIATE ASSEMBLIES AT KITCHEN AND BATHROOM CABINETS. PER SPECIFICATIONS, TOP SHALL BE WITHIN 1" TOLERABLE ABOVE FINISH FLOOR.
 - Q. EVERY ENTRY, OPENING OR PASSAGE DOOR MUST PROVIDE A MIN. OF 32" CLEAR OPENING BETWEEN THE FACE OF THE DOOR AND THE STOP WHEN THE DOOR IS IN THE 90 DEGREE OPEN POSITION.
 - R. ALL INTERIOR DOORS SHALL HAVE A LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS, EXTENDING 18" PAST THE STRIKE EDGE OF THE DOOR.
 - S. INTERIOR PASSAGE DOORS SHALL HAVE HARDWARE CENTERED BETWEEN 30" & 44" A.F.F. FROM FLOOR. HARDWARE SHALL BE WITH A SINGLE EFFORT BY A LEVER TYPE HARDWARE. HALLWAYS, WHERE OCCUR, SHALL BE A MIN. OF 36" IN WIDTH.
 - T. EXTERIOR DOOR THRESHOLDS AND ALL FLOORING TRANSITION STRIPS TO BE A.D.A. COMPLIANT.
 - U. SEE DOOR, WINDOW, AND FINISH SCHEDULES FOR INFORMATION ON DOORS, HARDWARE, WINDOW, AND FINISH INFORMATION.
 - V. DISCHARGE POINT FOR EXHAUST SHALL BE AT LEAST 3' 0" FROM ANY OBSTRUCTION WHICH ALLOWS AIR ENTRY INTO THE PORTIONS OF THE BUILDING. REQUIRED EXHAUST FANS IN BATH AND / FLOORING ROOMS MUST CONNECT TO THE EXTERIOR AND MUST PROVIDE FOR (5) AIR CHANGES PER HOUR PER CBM.
 - W. AT ALL PLATES INSTALL SWELLS/STOP WATERSTOP "1" x 3/4" SILL PLATE SEALANT
 - X. ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
 - Y. WHERE COMMON LAUNDRY ROOMS ARE SHOWN, THEY SHALL BE CONSTRUCTED IN CONFORMANCE WITH 2013 CBC SECTION 1217.0.1.

SIGN NOTES

- PROVIDE DURABLE SIGN WITH LETTER ON CONTRASTING BACKGROUND FOR DOORS STATING: THIS DOOR TO REMAIN UNLOCKED WHEN BARRIERS ARE DOWN. THE SIGN SHALL BE IN LETTER 1" HIGH ON A CONTRASTING BACKGROUND PER CBC 1008.1.1.2
 - ▼ POST SIGN OF MAXIMUM OCCUPANCY FOR EXERCISE ROOM AND COMMUNITY ROOM.
 - ◆ PROVIDE (1) 1/4" THICK 12" MEN'S & WOMEN'S GEOMETRIC SIGNS 60" A.F.F. ON RESTROOM ENTRANCE DOOR AND (2) RAISE LETTER / BRAILLE SIGN MOUNTED 60" ON WALL ADJACENT TO ENTRANCE DOOR. MOUNTED 60" ON THE WALL ALLOWING APPROX TO WITHIN 3".
 - ◆ PROVIDE & INSTALL TACTILE EGRESS SIGNAGE INSTALL ON THE WALL ADJACENT TO THE LATCH SIDE OF THE EXIT DOORS MOUNTED 60" A.F.F. TO CENTER LINE OF THE SIGN PER THE CBC SECTION 117.5.6.1.2.
 - ◆ INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE MOUNTED AT ENTRY DOORS TO PUBLIC FACILITIES AND SIMILAR USES.
 - ◆ INTERNATIONAL SYMBOL OF ACCESS FOR HEARING IMPAIRED TO BE MOUNTED AT ENTRY DOORS.
- NOTE:
SEE SHEET AB.4 FOR ADDITIONAL SIGNAGE NOTES AND DETAILS

- | | | | |
|---|------------------------|--|---------------|
|  | PANT / STAIN | | |
| | S11 | MONSIEUR INDUSTRIES | |
| | | #950 TITAN | |
| | | COLOR: BEECH | |
| | | VERIFY COLOR WHEN FLOORING IS SELECTED | |
| | P1 | PANT: IC1/GILDEN | |
| | | COLOR: BURMESE BEIGE A1867 | |
| | P2 | FINISH: EGGSHELL | |
| | | PANT: IC1/GILDEN | |
| | | COLOR: GENTRY BLUE A1951 | |
| | P3 | FINISH: EGGSHELL | |
| | | PANT: IC1/GILDEN | |
| | | COLOR: KING'S CANYON GREY A1968 | |
| | P4 | FINISH: EGGSHELL | |
| | | PANT: KELLY MOORE | |
| | | COLOR: ANTIQUE WHITE 49 | |
| | P5 | FINISH: SEMI-GLOSS | |
| | | PANT: KELLY MOORE | |
| | | COLOR: ANTIQUE WHITE 49 | |
| | P6 | FINISH: FLAT | |
| | | PANT: IC1 / GILDEN | |
| | | COLOR: ALENCON LACE A1794 | |
| | | FINISH: SEMI-GLOSS | |
| ARCHITECTURAL SURFACES | | | |
| A51 PREFAB GRANITE COUNTERTOP: | | | |
|  | A52 FLOOR & WALL TILE: | | |
| | | STYLE: | SHAW |
| | | COLOR: | C580 SEREN |
| | | SIZE: | 0530 SAVANNAH |
| | | | 12" X 12" |
| | FABRIC | | |
| | F5 | FABRIC: INTERSPEC | |
| | | PATTERN: CHATEAU 9005 | |
| | | COLOR: BLUEBERRY 70 | |
| | F6 | FABRIC: CORAL | |
| | | PATTERN: BAMB | |
| | | COLOR: GREEN TEA | |

KEY NOTES

1. AT ALL EXTERIOR EGRESS LOCATIONS, PROVIDE A MIN. 5'-0" x 5'-0" DEEP CONC. SIDEWALK. ALONG EDGE OF SIDEWALK WITH HINGE SIDE OF DOOR SO AS TO PROVIDE 4" OF SIDEWALK BEYOND STRIKE SIDE OF DOOR. SEE SHEET A11.1 FOR LAYOUT.
2. MDF SHELVES.
3. 2x4 INTERIOR WALL W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE FOR COLOR AND/OR REQUIREMENTS.
4. 2x6 INTERIOR WALLS W/ 5/8" GYP. EACH SIDE. FINISH PER SPECIFICATIONS & ROOM FINISH SCHEDULE. SEE SHEET A8-2.
5. 1-HOUR FIRE SEPARATION AT LAUNDRY. SEE DETAIL 11AB.1.
6. 1-HOUR FIRE SEPARATION WALL BETWEEN COMMON AREA AND UNIT. SEE DETAIL 10AB.1.
7. WASHER, TYP. PROVIDE 1 (MIN.) A.D.A. WASHER. WASHER MUST BE FRONT LOADING AND COMPLY W/ CBC 2013, SECTION 1127A.10 AND 11B.611. (4) TOTAL WASHERS TO BE PROVIDED. SEE PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS. OWNER TO PROVIDE ALL UTILITIES AT COMMUNITY BUILDING.
8. DRYER, TYP. PROVIDE 1 (MIN.) A.D.A. DRYER. DRYER MUST BE FRONT LOADING AND COMPLY W/ CBC 2013, SECTION 1127A.10 AND 11B.611. (4) TOTAL DRYERS TO BE PROVIDED. SEE PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS. OWNER TO PROVIDE ALL DRYERS AT COMMUNITY BUILDING.
9. FLOOR DRAIN. SLOPE FLOOR TO FLOOR DRAIN. SEE PLUMBING DRAWINGS FOR LOCATIONS. G.C. TO COORDINATE LOCATIONS WITH ALL DISCIPLINES.
10. WALL MOUNTED SINK, TOP OF SINK RIM TO BE AT 34" A.F.F.
11. PLATFORM FOR MECHANICAL/PLUMBING EQUIPMENT, G.C. TO BUILD ON-SITE PER MECH. AND PLUMB. CODES AND/OR REQUIREMENTS.
12. GYP. BOARD CEILING TO COMMERCIAL CEILING, MIN. 7'-0" A.F.F.
13. PROVIDE BLOCKING IN WALL FOR FUTURE EQUIPMENT, G.C. TO VERIFY LOCATION.
14. ACCENT WALL IN COMMUNITY ROOM FROM FACE OF ENTIRE WALL UP TO CEILING. FINISH SCHEDULE FOR INFORMATION.
15. PROVIDE BLOCKING IN WALL FOR SHELVEING, G.C. TO VERIFY LOCATION.
16. CONDENSER UNIT. SEE MEP SHEETS FOR INFORMATION.
17. ELECTRICAL PANELS. SEE MECHANICAL SHEETS FOR INFORMATION.
18. GAS METERS. WINDOW OPENINGS MUST BE A MIN. OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
19. 1-HOUR CEILING AT 2ND FLOOR LAUNDRY. SEE DETAIL 16A/2.
20. FINISHES WITH BUSHED CHROME METAL SHELTER TRIM CAP. SEE FINISH SCHEDULE FOR SPECIFICATIONS FOR COLOR AND MATERIAL. WALLS AND PARTITIONS WITHIN 2" OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN ABOVE FINISH SCHEDULE FOR INFORMATION.
21. THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECT BY MOISTURE.
22. 6" TILE WITH FLAT TOP COVE. BASE, COLOR AND STYLE TO MATCH FLOOR.
23. OPEN AREA BEHIND THE KITCHEN SINK, WORK SURFACE AREA, AND LAVATORIES. PROVIDE KNEE CLEARANCE FOR A WHEEL CHAIR. FINISHED FLOOR TO BE PROVIDED ON TOP OF THE G.C. EXCEPT FOR STRUCTURAL ELEMENTS, THE SIDES AND BACKS OF ADJACENT CABINETS SHALL BE FINISHED.
24. COVER ALL EXPOSED PIPES W/ PLUMBEXX RP-PRE-XTRME MODEL #X112 OR EQUAL, AT ALL AREAS WITH OPEN KNEE SPACE. DRAIN PIPE CLEARANCE TO BE EQUAL TO THE KNEE CLEARANCES AT FIXTURES SHALL COMPLY WITH CBC 2013 SECTION 11B.606.5
25. 60" DIA. CLEAR FLOOR SPACE PER 2013 CBC, SECTION 11B.304.3.1, TURNING SPACE MAY EXTEND BELOW OVERHANGS AND BELOW TEOCKIES AS NECESSARY.
26. 56"x60" CLEAR FLOOR SPACE REQUIRED AROUND W/ 40" AND 48" CLEAR FLOOR SPACINGS REQUIRED IN FRONT OF G.C. PER CBC 11B.606.3.1.
27. 30" x 48" CLEAR FLOOR SPACE.
28. MIRROR, G.C. TO VERIFY SIZE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS.
29. WATER CLOSET. SUPPLIED & INSTALLED BY G.C. TOILET SEAT SHALL BE A MIN. OF 17" MIN. AND MAX. OF 19" FROM FLOOR SURFACE PER CBC 11B.604.4. SEE PLUMBING DRAWINGS & SPECIFICATIONS.
30. TOILET PAPER DISPENSER WITHOUT STOPS.
31. SURFACE MOUNTED PAPER TOWEL HOLDER, OPERABLE PART OF DEVICE TO BE LOCATED AT NO HIGHER THAN 40" A.F.F.
32. SURFACE MOUNTED SOAP DISPENSER, OPERABLE PART OF DEVICE TO BE LOCATED AT NO HIGHER THAN 40" A.F.F.
33. 20" LONG GRAB BAR, MIN. WITH 1-1/4" DIA. 1-1/2" DIA. GRIPPING SURFACE PER 2013 CBC, SECTION 11B.604.5.2, THE SPACE BETWEEN THE WALL PROJECT OBJECTS BELLO AND AT THE ENDS SHALL BE 1-1/2".
34. 12" LONG GRAB BAR, MIN. WITH 1-1/4" DIA. 1-1/2" DIA. GRIPPING SURFACE PER 2013 CBC, SECTION 11B.604.5.1, THE SPACE BETWEEN THE WALL PROJECT OBJECTS BELLO AND AT THE ENDS SHALL BE 1-1/2".
35. MILL WORK. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATIONS. BRACKETS AND STOPS PROVIDED BY VENDOR. PROVIDE WIRE PULL HANDLE AT ALL DOORS AND DRAWERS.
36. CABINET SUPPLIER TO INSTALL CHASE FOR VENTING FROM TOP OF HOOD TO CEILING. CHASE TO BE A MAX. OF 2" WIDER THAN EXHAUST DUCT. COORDINATE WITH MECH. DRAWING SERIES.
37. APPLANCE. SUPPLIED & INSTALLED BY G.C. SEE SPECIFICATION & ELECTRICAL DRAWINGS FOR LOCATION OF ACCESSIBLE SWITCH FOR RANGE HOOD AND LIGHT.
38. RANGE WITH FRONT CONTROLS. SELF-CLEANING.
39. RANGE HOOD W/ WALL SWITCH CONTROL, FOR LIGHT & FAN WITH UFAS/CBC ACCESSIBLE REACH LIMITS. SEE ELECTRICAL DRAWINGS FOR LOCATION.
40. GARBAGE DISPOSAL/ PPE PROTECTION PANEL. SEE DETAIL 28A.1, MECH. AND ELEC. DRAWINGS.
41. POINT ABOVE TILE. SEE FINISH PLAN FOR MORE INFORMATION.
42. PARTIAL HEIGHT 2x6 WALL. SEE BUILDING SECTIONS.
43. COMPUTER AREA, TOP OF COUNTER TO BE AT 34" A.F.F.
44. GRAPHICAL REPRESENTATION OF 24" x 84" AMBULANCE GURNIEY OR STRETCHER W/ RADIUS CORNERS PER 2013 CBC, SECTION 3002.4.1b.
45. 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9AB.1.

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ELM AVENUE SENIOR PROJECT

PROJECT

S.E.C. ELM AVE. & E. WALNUT AVE.

A3.1

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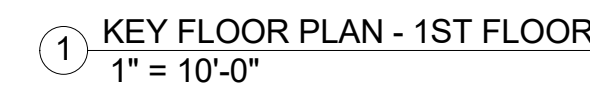
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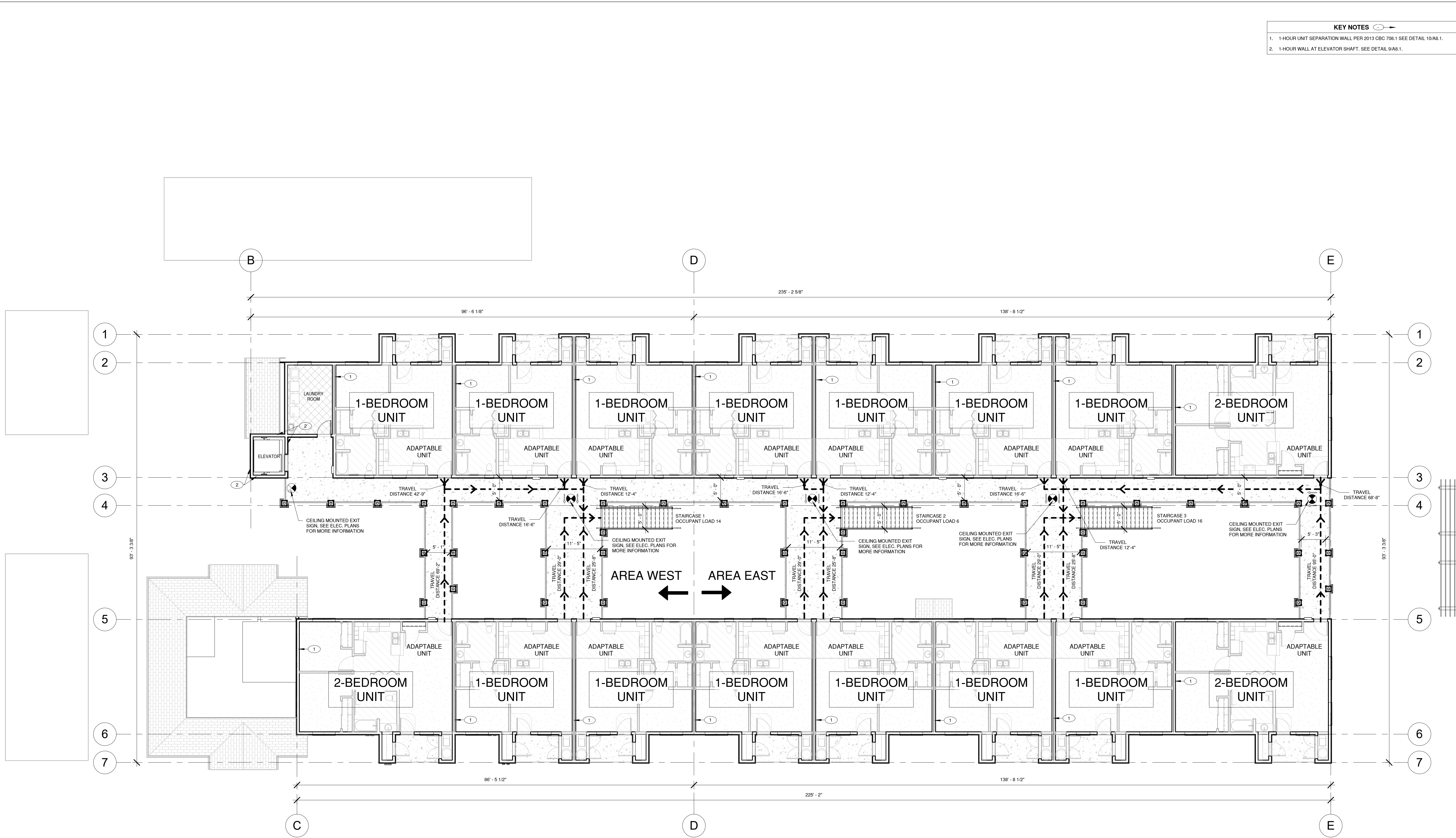
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A4.0A



KEY NOTES

1. 1-HOUR UNIT SEPARATION WALL PER 2013 CBC 708.1 SEE DETAIL 10/A8.1
2. 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9/A8.1.



1 KEY FLOOR PLAN & EXIT ROUTE - 2ND FLOOR
1" = 10'-0"

KEY NOTES	
1.	1-HOUR UNIT SEPARATION WALL PER 2013 CBC 708.1 SEE DETAIL 10/A8.1.
2.	1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9/A8.1.

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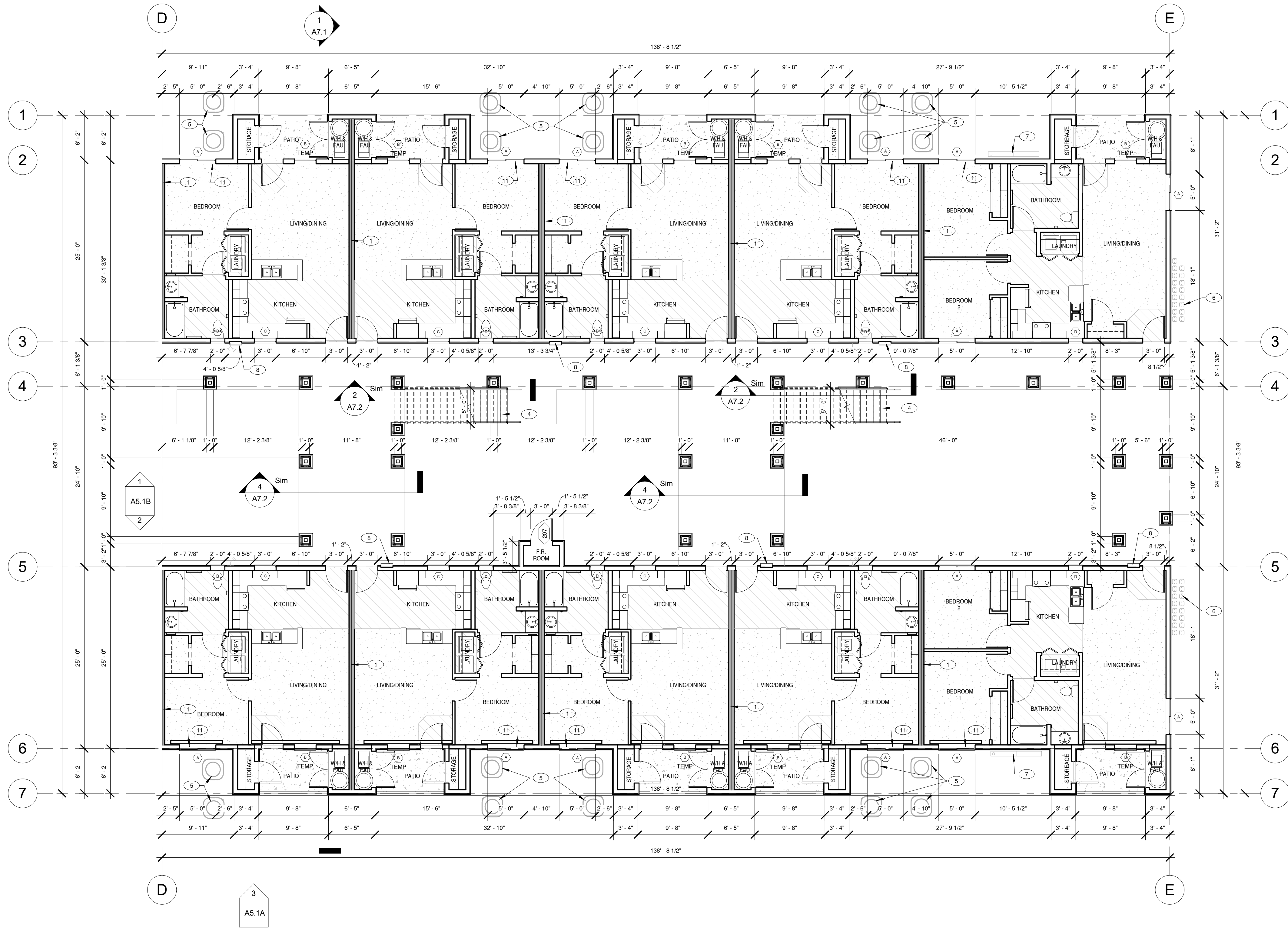
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A4.1A

1. 1-HOUR UNIT SEPARATION WALL PER 2013 CBC 708.1. SEE DETAIL 10A8.1.
2. 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9A8.1.
3. FIRE SPRINKLER CLOSET.
4. PRE-MANUFACTURED METAL STAIRS W/ CONCRETE TREADS. SEE SHEET SECTIONS
5. CONDENSER UNIT. SEE MEP SHEETS FOR INFORMATION.
6. GAS METERS. WINDOW OPENINGS MUST BE MIN. OF 3'-0" FROM GAS METER SEE MEP SHEETS FOR INFORMATION.
7. ELECTRICAL PANELS. SEE MECHANICAL SHEETS FOR INFORMATION.
8. SEMI-RECESSED FIRE EXTINGUISHER HOLDER PER 2013 CBC. SEE SPECIFICATIONS SECTION 10.43. G.C. TO VERIFY THE LOCATION DOES NOT CONFLICT WITH OTHER EXTERIOR MOUNTED FEATURES. FIRE RATED WHERE REQUIRED.
9. PAINTED METAL RAILING. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR MORE INFORMATION.
10. DRAIN IN WALKWAY. SEE PLUMBING SHEETS. REFER TO CIVIL FOR STORM WATER DRAIN SYSTEM. G.C. TO COORDINATE LOCATIONS OF DRAINS WITH CIVIL. PROVIDE POSITIVE DRAINAGE TO DECK DRAINS IN CONFORMANCE WITH PLU-DECK MR. RECOMMENDATIONS.
11. OPERABLE SIDE OF WINDOW TO BE ON THE OPPOSITE SIDE OF CONDENSERS UNITS.



1 BUILDING 1ST FLOOR PLAN (EAST)
1/8" = 1'-0"

- GENERAL NOTES**
- REFER TO SHEETS A2.1 - A2.4 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.
 - REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.
 - PROVIDE FULL WALL BATT INSULATION ISOLATING RESTROOMS FROM ALL ADJACENT SPACES.
 - DRAFTSTOP PER 2013 CBC SECTION 718.4 - SEE STRUCTURAL DETAIL. SIM. CONDITION AT SHEARWALL. MIN. MATERIAL THICKNESS PER 2013 CBC 718.3.1. RE: ROOF PLANS.
 - PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - PROVIDE BACKING FOR FUTURE GRAB BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.
 - REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.
 - SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.
 - ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
 - VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.
 - PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.
 - ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
 - SEE SPECIFICATION SECTIONS 11.30.00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.
 - GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS. CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES. PROVIDE FIRE-RATED CABINETS WHERE REQUIRED TO MAINTAIN RATING OF WALL.
 - G.G. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2013 CBC. SECTION 906.1.
 - ADDRESS AND BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2013 CBC, SECTION 11B-703.5.5. G.G. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.
 - AT ALL SHOWERS, CAULK ENTIRE EDGE AROUND TUB. SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.
 - AT ALL SINKS, SEALANT, TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.
 - AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT
 - SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
 - SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.
 - SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.
 - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER CBC 2013 1008.1.7.
 - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
 - INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALON PER THE CALIFORNIA GREEN BUILDING CODES STANDARDS 5.508.1.2.

- KEY NOTES**
- 1-HOUR UNIT SEPARATION WALL PER 2013 CBC 708.1. SEE DETAIL 10/A8.1.
 - 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9/A8.1.
 - FIRE SPRINKLER CLOSET.
 - FIRE-MANUFACTURED METAL STAIRS W/ CONCRETE TREADS. SEE SHEET SECTIONS.
 - CONDENSER UNIT. SEE MEP SHEETS FOR INFORMATION.
 - GAS METERS. WINDOW OPENINGS MUST BE A MIN. OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
 - ELECTRICAL PANELS. SEE MECHANICAL SHEETS FOR INFORMATION.
 - SEMI-RECESSED FIRE EXTINGUISHER LOCATION PER 2013 CBC. SEE SPECIFICATIONS SECTION 10.44.43. G.G. TO VERIFY THE LOCATION DOES NOT CONFLICT WITH OTHER EXTERIOR MOUNTED FEATURES. FIRE RATED WHERE REQUIRED.
 - PAINTED METAL RAILING. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR MORE INFORMATION.
 - DRAIN IN WALKWAY. SEE PLUMBING SHEETS. REFER TO CIVIL FOR STORM WATER DRAIN SYSTEM. G.G. TO COORDINATE LOCATIONS OF DRAINS WITH SLOPE OF WALKWAY. PROVIDE POSITIVE DRAINAGE TO DECK DRAINS IN CONFORMANCE WITH PLI-DEK MFR. RECOMMENDATIONS.
 - OPERABLE SIDE OF WINDOW TO BE ON THE OPPOSITE SIDE OF CONDENSERS UNITS.

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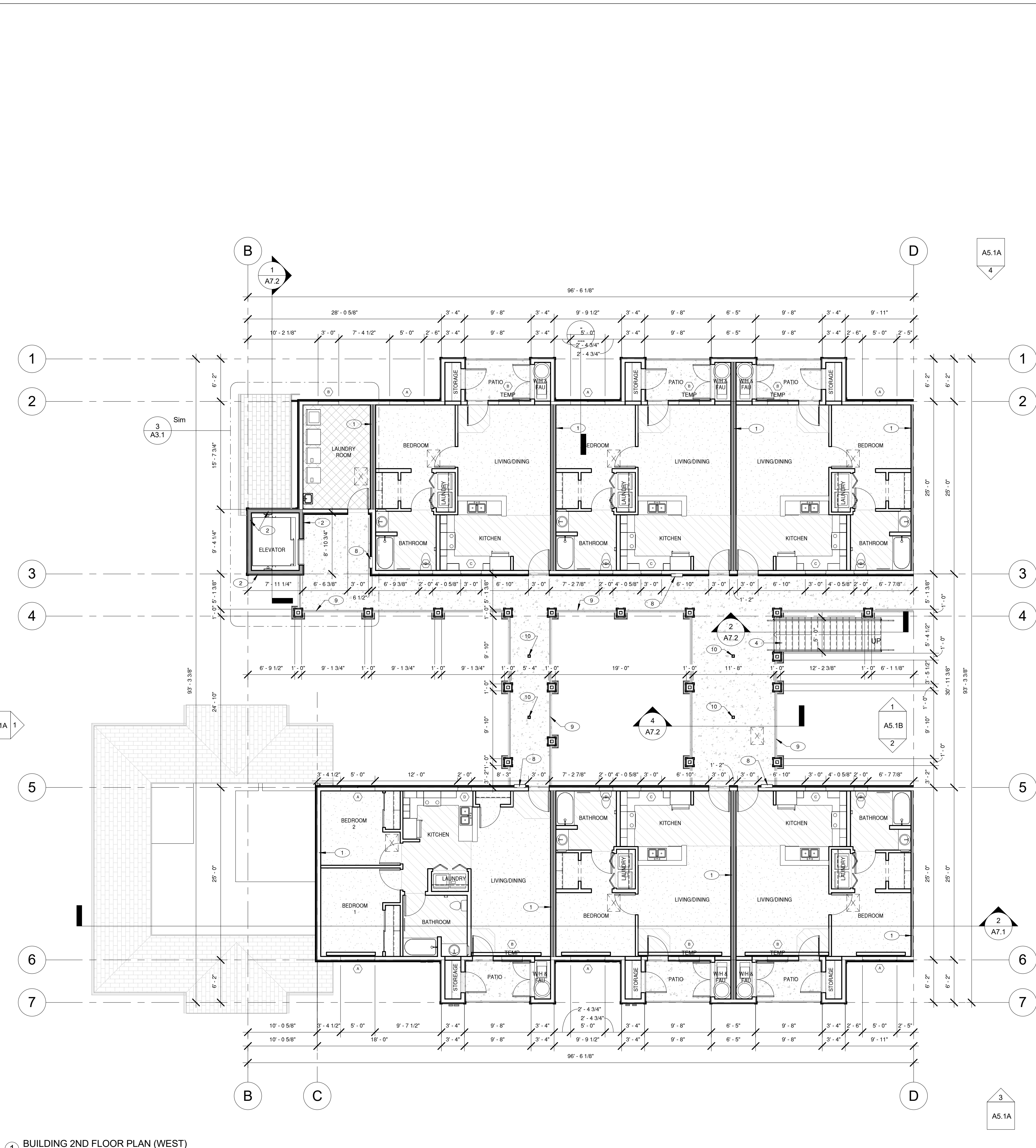
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A4.1B



1 BUILDING 2ND FLOOR PLAN (WEST)
1/8" = 1'-0"

- GENERAL NOTES
- A. REFER TO SHEETS A2.1 - A2.4 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.

B. REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.

C. PROVIDE FULL WALL BATT INSULATION ISOLATING RESTROOMS FROM ALL ADJACENT SPACES.

D. DRAFTSTOP PER 2013 CBC SECTION 718.4 - SEE STRUCTURAL DETAIL. SIM. CONDITION AT SHEARWALL. MIN. MATERIAL THICKNESS PER 2013 CBC 718.3.1. RE: ROOF PLANS.

E. PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.

F. PROVIDE BACKING FOR FUTURE GRAB BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.

G. REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.

H. SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.

I. ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.

J. VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.

K. PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.

L. ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.

M. SEE SPECIFICATION SECTIONS 11 30 00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.

N. GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS. CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES. PROVIDE FIRE-RATED CABINETS WHERE REQUIRED TO MAINTAIN RATING OF WALL.

O. G.G. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2013 CBC. SECTION 906.1.

P. ADDRESS AND BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2013 CBC. SECTION 11B-703.5.5. G.G. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.

Q. AT ALL SHOWERS, CAULK ENTIRE EDGE AROUND TUB. SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.

R. AT ALL SINKS, SEALANT/ TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.

S. AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT

T. SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.

U. SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.

V. SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.

W. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER CBC 2013 1008.1.7.

X. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

Y. INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALON PER THE CALIFORNIA GREEN BUILDING CODES STANDARDS 5.508.1.2.

- KEY NOTES
1. 1-HOUR UNIT SEPARATION WALL. PER 2013 CBC 708.1. SEE DETAIL 10/A8.1.

2. 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9/A8.1.

3. FIRE SPRINKLER CLOSET.

4. PRE-MANUFACTURED METAL STAIRS W/ CONCRETE TREADS. SEE SHEET SECTIONS

5. CONDENSER UNIT. SEE MEP SHEETS FOR INFORMATION.

6. GAS METERS. WINDOW OPENINGS MUST BE A MIN. OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.

7. ELECTRICAL PANELS. SEE MECHANICAL SHEETS FOR INFORMATION.

8. SEMI-RECESSED FIRE EXTINGUISHER LOCATION PER 2013 CBC. SEE SPECIFICATIONS SECTION 10 44 43 G.G. TO VERIFY THE LOCATION DOES NOT CONFLICT WITH OTHER EXTERIOR MOUNTED FEATURES. FIRE RATED WHERE REQUIRED.

9. PAINTED METAL RAILING. SEE EXTERIOR ELEVATIONS AND SECTIONS FOR MORE INFORMATION.

10. DRAIN IN WALKWAY. SEE PLUMBING SHEETS. REFER TO CIVIL FOR STORM WATER DRAIN SYSTEM. G.G. TO COORDINATE LOCATIONS OF DRAINS WITH SLOPE OF WALKWAY. PROVIDE POSITIVE DRAINAGE TO DECK DRAINS IN CONFORMANCE WITH PLI-DEK MFR. RECOMMENDATIONS.

11. OPERABLE SIDE OF WINDOW TO BE ON THE OPPOSITE SIDE OF CONDENSERS UNITS.

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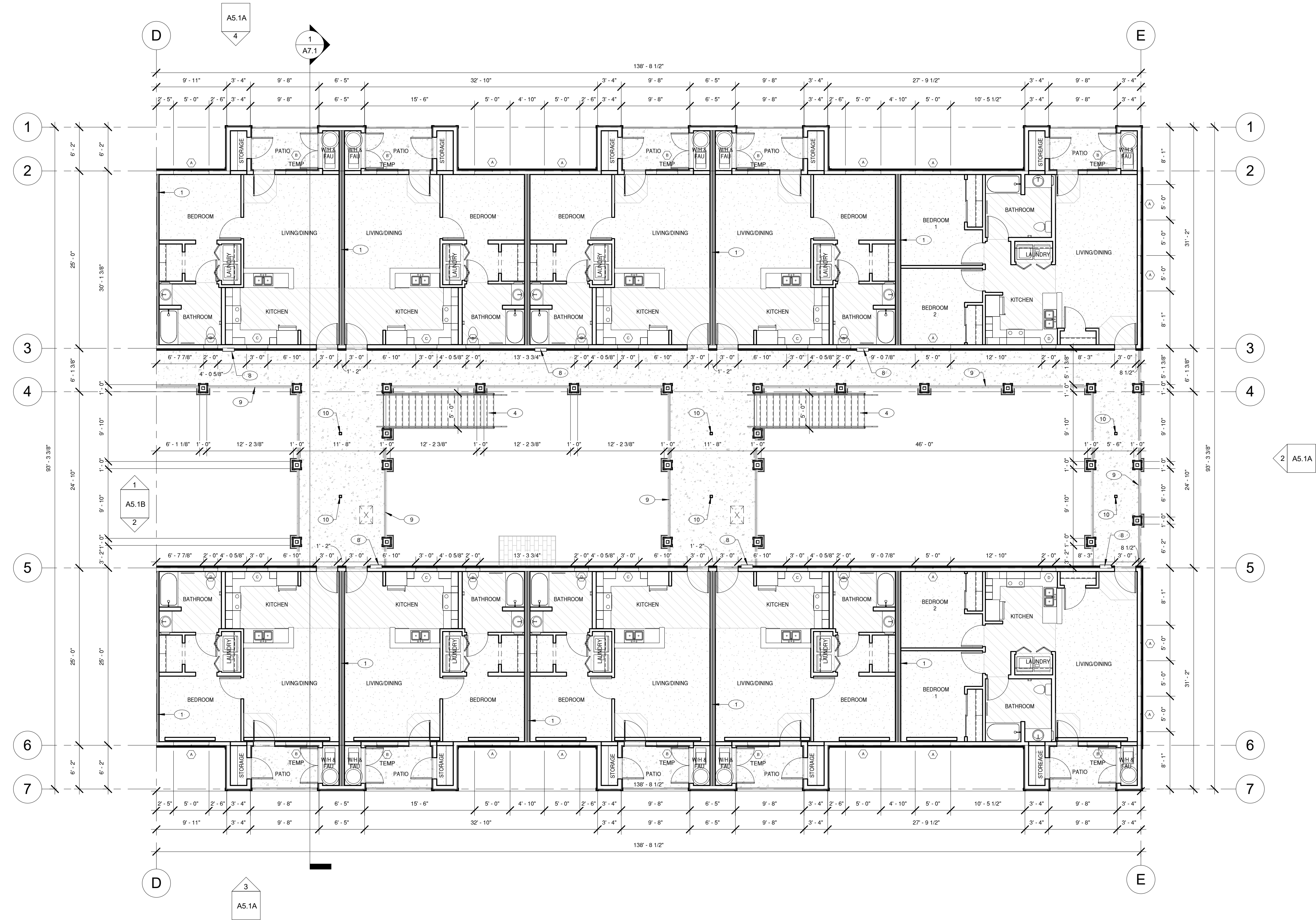
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ELM AVENUE SENIOR APARTMENTS

S.E.C. ELM AVE. & E. WALNUT AVE.
GREENFIELD, CA

A4.2A

SCHEMATIC SET / NOT FOR CONSTRUCTION



1 BUILDING 2ND FLOOR PLAN (EAST)
1/8" = 1'-0"

- GENERAL NOTES**
- REFER TO SHEETS A2.1 - A2.4 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.
 - REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.
 - PROVIDE FULL WALL BATT INSULATION ISOLATING RESTROOMS FROM ALL ADJACENT SPACES.
 - DRAFTSTOP PER 2013 CBC SECTION 718.4 - SEE STRUCTURAL DETAIL, SIM, CONDITION AT SHEARWALL, MIN. MATERIAL THICKNESS PER 2013 CBC 718.3.1, RE: ROOF PLANS.
 - PROVIDE FIRE BLOCKING IN CONCEALED SPACES, STUD WALLS AT THE CEILING AND FLOOR LEVELS, AND AT 10'-0" INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - PROVIDE BACKING BARS IN ALL RESTROOMS AT ALL GROUND FLOOR UNITS AS PER HUD FAIR HOUSING GUIDELINES.
 - REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR AMENITIES, PATIO SPECIFICATIONS, AND APPURTENANCES.
 - SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.
 - ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
 - VERIFY DIMENSIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS.
 - PROVIDE BLOCKING AT ALL HAND RAILS, GRAB BARS, AND RELATED ASSEMBLIES AS INDICATED.
 - ALL AREAS RECEIVING GYP. BOARD ARE TO BE TAPED AND RECEIVE FINISH AS NOTED ON FINISH SCHEDULE AND/OR SPECIFICATIONS.
 - SEE SPECIFICATION SECTIONS 11 30 00 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING & ELECTRICAL DRAWING PRESENCE OF GAS AND POWER FOR APPLIANCES.
 - GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHER(S) & CABINET(S) PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL FIRE DEPARTMENT FOR REQUIREMENTS. CABINETS TO BE RECESSED AND ESTABLISHED AT HEIGHTS CONSISTENT WITH INTENDED USES. PROVIDE FIRE-RATED CABINETS WHERE REQUIRED TO MAINTAIN RATING OF WALL.
 - G.C. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2013 CBC, SECTION 906.1.
 - ADDRESS AND BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2013 CBC, SECTION 11B-703.5.5. G.C. TO COORDINATE LOCATION AND NUMBERS WITH ALL LOCAL JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND ORIENTATION SHALL BE CONFIRMED WITH LOCAL JURISDICTIONAL AUTHORITIES.
 - AT ALL SHOWERS, CAULK ENTIRE EDGE AROUND TUB/ SHOWER PRIOR TO PAINT FOR WATER PROOF CONSTRUCTION. INSTALL TOP SET BASE AT VINYL FLOORING PER SPECIFICATIONS.
 - AT ALL SINKS, SEALANT/ TYP. BOARD PATCH FOR FINISHED APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SINKS.
 - AT ALL PLATES INSTALL SWELLSTOP WATERSTOP 1" x 3/4" SILL PLATE SEALANT
 - SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
 - SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF TRUSSES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1-HOUR CEILING PROVIDE RATED ASSEMBLY.
 - SEE UNIT PLANS FOR DROPPED CEILING LOCATIONS.
 - THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 1/2" FOR OTHER DOORS PER CBC 2013 1008.1.7.
 - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF TOXICANTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
 - INSTALL FIRE SUPPRESSION EQUIPMENT THAT DOES NOT CONTAIN HALON PER THE CALIFORNIA GREEN BUILDING CODES STANDARDS 5.508.1.2.

- KEY NOTES**
- 1-HOUR UNIT SEPARATION WALL PER 2013 CBC 708.1. SEE DETAIL 10/A.1.
 - 1-HOUR WALL AT ELEVATOR SHAFT. SEE DETAIL 9/A.1.
 - FIRE SPRINKLER CLOSET.
 - PRE-MANUFACTURED METAL STAIRS W/ CONCRETE THREADS. SEE SHEET SECTIONS
 - CONDENSER UNIT. SEE MEP SHEETS FOR INFORMATION.
 - GAS METERS. WINDOW OPENINGS MUST BE A MIN. OF 3'-0" FROM GAS METERS. SEE MEP SHEETS FOR INFORMATION.
 - ELECTRICAL PANELS. SEE MECHANICAL SHEETS FOR INFORMATION.
 - SEMI-RECESSED FIRE EXTINGUISHER LOCATION PER 2013 CBC. SEE SPECIFICATIONS SECTION 10 44 40. G.C. TO VERIFY THE LOCATION DOES NOT CONFLICT WITH OTHER EXTERIOR MOUNTED FEATURES. FIRE RATED WHERE REQUIRED.
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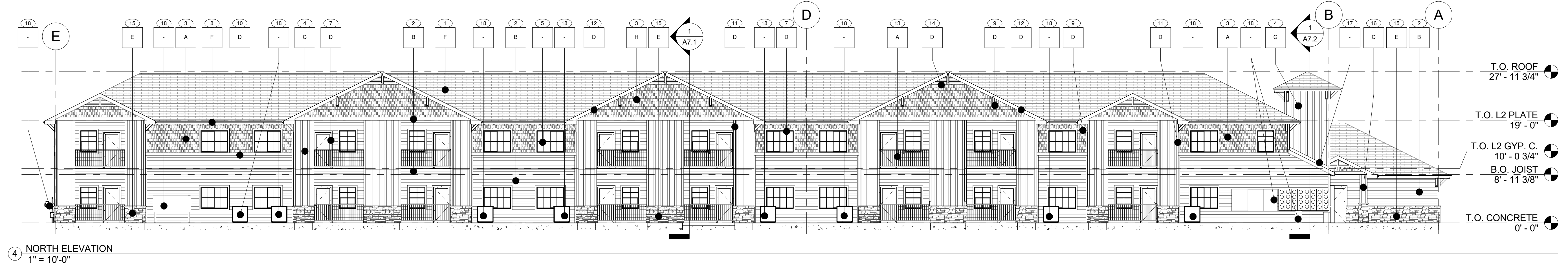
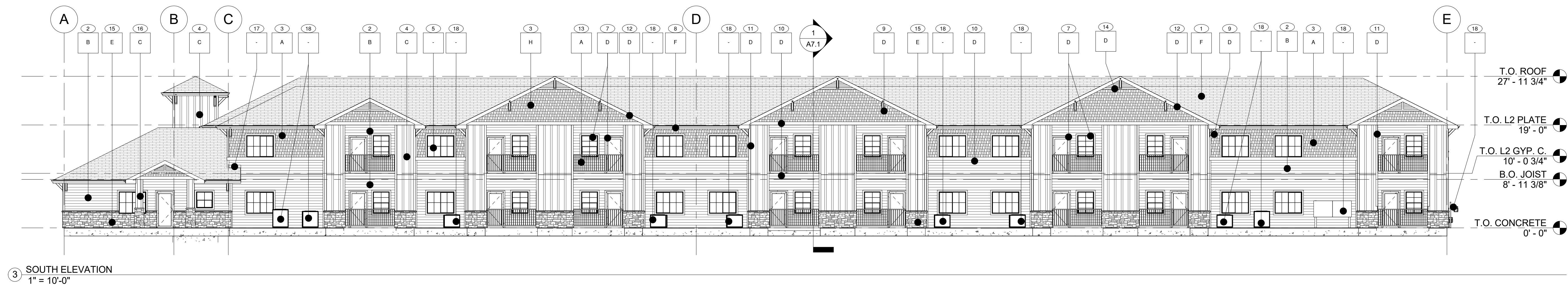
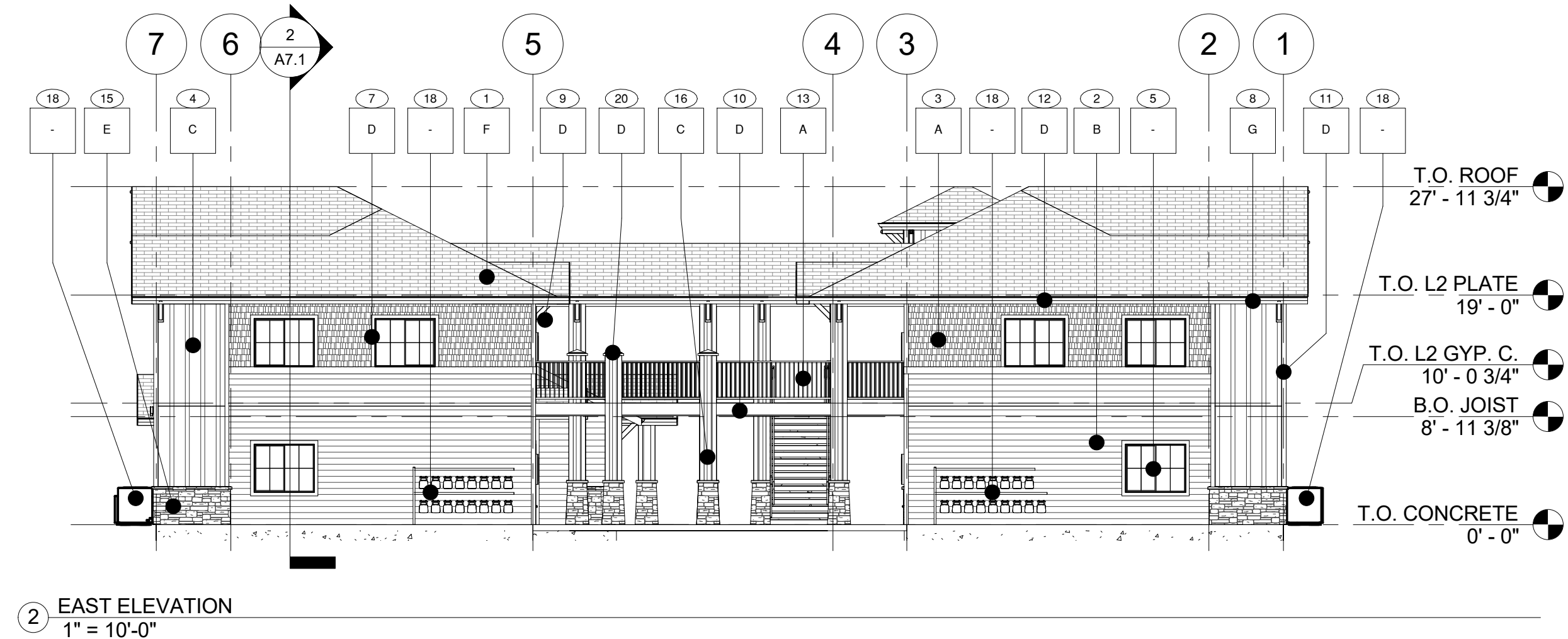
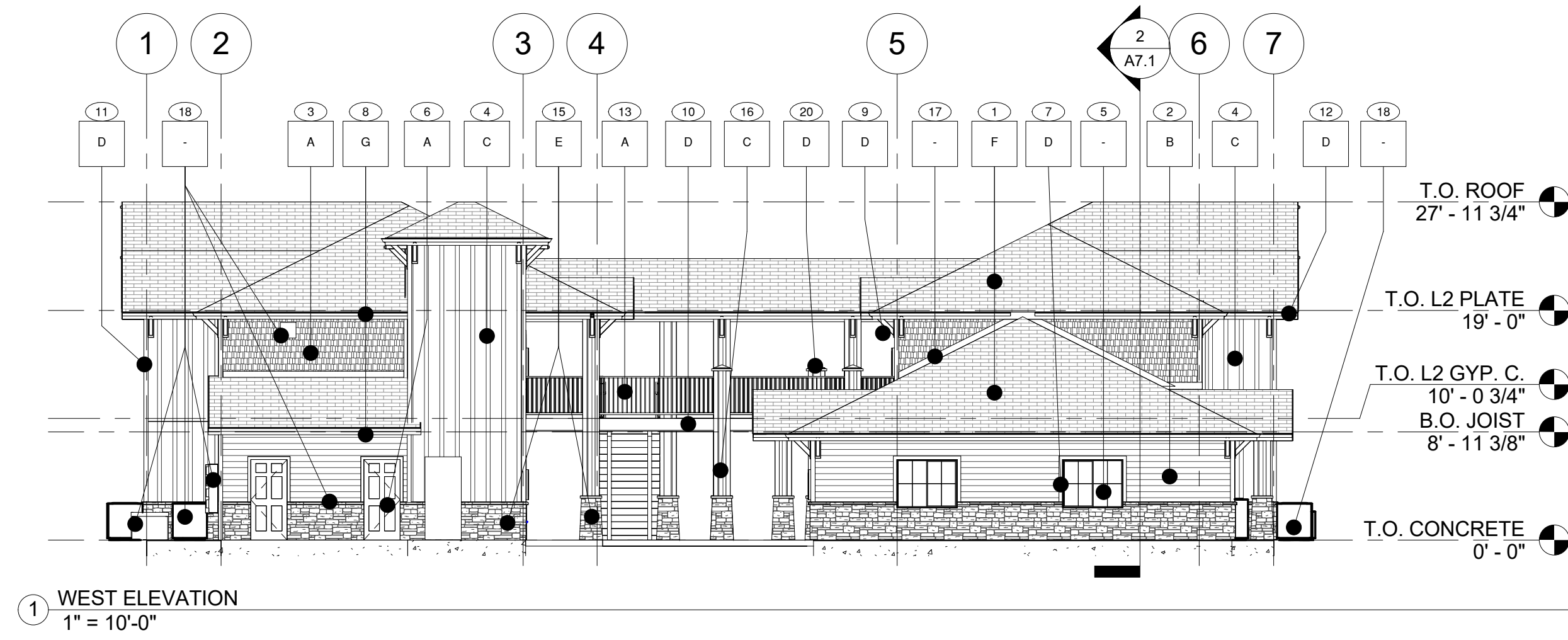
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A4.2B

SCHEMATIC SET / NOT FOR CONSTRUCTION



- GENERAL NOTES**
- SEE BUILDING SECTIONS AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
 - ELEVATION (0'-0") IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - SEE ROOF PLANS FOR ATTIC VENTILATION REQUIREMENTS, SLOPES, AND OVERBUILD AREAS.
 - SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS/ DETAILS.
 - SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER BANKS.
 - SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS. NO SUBSTITUTIONS ALLOWED W/OUT PRIOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
 - GENERAL CONTRACTOR TO COORDINATE LOCATIONS OF ALL WINDOWS, VENTS, UTILITY METERS, AND EXTERIOR FINISHES WITH OWNER DESIGNATED THIRD-PARTY SUBCONTRACTOR FOR SOLAR GENERATION ENERGY SYSTEM.
 - ALL GALVANIZED IRON CAPS AT HALF-WALLS AND COUNTER FLASHING TRIM AT PATIOS SHALL BE PAINTED TO MATCH ACCENT COLOR NOTED.
 - ALL EXPOSED ROOF TOP PENETRATIONS, INCLUDING, BUT NOT LIMITED TO VENT STACKS FOR SEWER, ATTIC VENTS, AND EXHAUST GAS HOUSING SHALL BE PAINTED IN THE FIELD TO MATCH ADJACENT MAIN FIELD COLOR OF COMPOSITION SHINGLES.
 - EXTERIOR UTILITY ENCLOSURE CABINETS TO BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION, AND INSTALLATION REQUIREMENTS. PROVIDE FINISH AT ENCLOSURE TO MATCH ADJACENT SIDING. COORDINATE LOCATION OF ACCESS PATHS AND PATHS WITH CIVIL AND LANDSCAPE DRAWING SERIES.

- KEY NOTES**
- 30 YEAR TYPE 'A' COMPOSITE SHINGLE, TYP.
 - ALSIDE HORIZONTAL VINYL SIDING OR APPROVED EQUAL.
 - ALSIDE PRODIGY SHINGLE/ SHAKE STYLE VINYL SIDING OR APPROVED EQUAL.
 - ALSIDE BOARD & BATTEN OR APPROVED EQUAL.
 - WHITE VINYL WINDOWS, SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS.
 - EXTERIOR DOOR, SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED.
 - DOOR/WINDOW TRIM, PAINT AS NOTED.
 - PRE-FINISHED METAL GUTTER, SEE ROOF PLAN FOR EXTENT. COLOR AS NOTED. DOWNSPOUT TO MATCH.
 - PRE-MANUFACTURED VINYL OUTRIGGER, COLOR AS NOTED.
 - 2x HORIZONTAL TRIM BY FRAMER W/ METAL WRAP. ALIGN TRIM AS SHOWN.
 - 4" VERTICAL TRIM, TYP.
 - 1x FINISH FASCIA, MDF OR EQUAL, SEE DETAILS.
 - METAL RAILING SYSTEM, COLOR AS NOTED. SEE BUILDING CROSS SECTIONS.
 - ARCHITECTURAL GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
 - CULTURED STONE, SET IN MORTAR BED WITH FLASHING AND WEEP SCREED. SEE SPECIFICATIONS.
 - COLUMN, REFER TO BUILDING CROSS SECTIONS & DETAILS.
 - 6" EXPOSED REVEAL COUNTER FLASHING BETWEEN LOW ROOF AND 2ND FLOOR SIDING. PAINT TO MATCH ADJACENT SIDING.
 - EXTERIOR MEP EQUIPMENT, SEE MEP PLANS FOR MORE INFORMATION.
 - SEMI-RECESSED FIRE EXTINGUISHER CABINET PER SPECIFICATIONS.
 - CAP AT COLUMN, PAINT AS NOTED.

- MATERIAL FINISHES:**
- | | |
|---|--|
| A | ALSIDE PRODIGY "PLATINUM GRAY" OR EQUAL. |
| B | ALSIDE PRODIGY "COLONIAL IVORY" OR EQUAL. |
| C | ALSIDE PRODIGY "CAPE COD GRAY" OR EQUAL. |
| D | ALSIDE PRODIGY "GLACIER WHITE" OR EQUAL. |
| E | OWENS CORNING CULTURED STONE TO MATCH "LAKE TAHOE" |
| F | PABCO SHINGLES "BUCKSKIN TAN" OR EQUAL. |
| G | GUTTER & DOWNSPOUT TO MATCH ALSIDE "GLACIER WHITE" OR EQUAL. |
| H | ALSIDE PRODIGY "MYSTIC BLUE" OR EQUAL. |

NOTE:
SUEFFIT (NOT SHOWN) COLOR TO MATCH ALSIDE "GLACIER WHITE" OR EQUAL.
ALL VENT TERMINATIONS AND OTHER EXTERNAL UTILITY EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL SURFACE.

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
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ELM AVENUE SENIOR APARTMENTS

PROJECT

A5.1A

SCHEMATIC SET / NOT FOR CONSTRUCTION

MATERIAL FINISHES: 	
A	ALSIDE PRODIGY "PLATINUM GRAY" OR EQUAL
B	ALSIDE PRODIGY "COLONIAL IVORY" OR EQUAL
C	ALSIDE PRODIGY "CAPE COD GRAY" OR EQUAL
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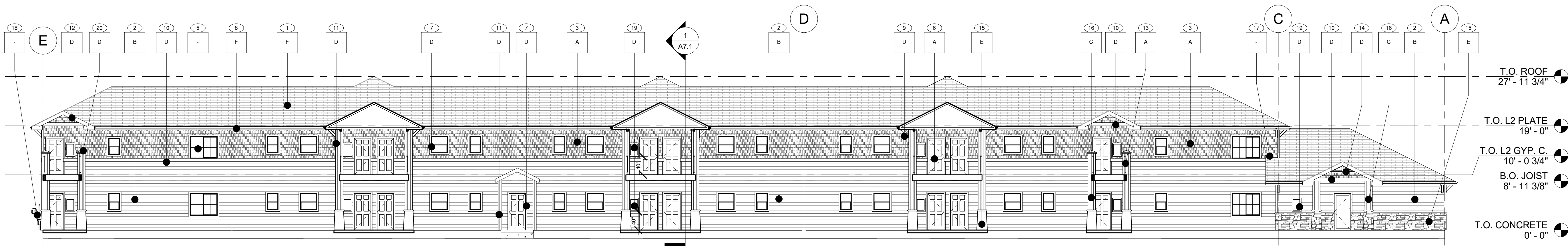
NOTE:
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 - DOOR/WINDOW TRIM. PAINT AS NOTED.
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 - CAP AT COLUMN. PAINT AS NOTED.



1 COURTYARD ELEVATION 1
1" = 10'-0"



2 COURTYARD ELEVATION 2
1" = 10'-0"

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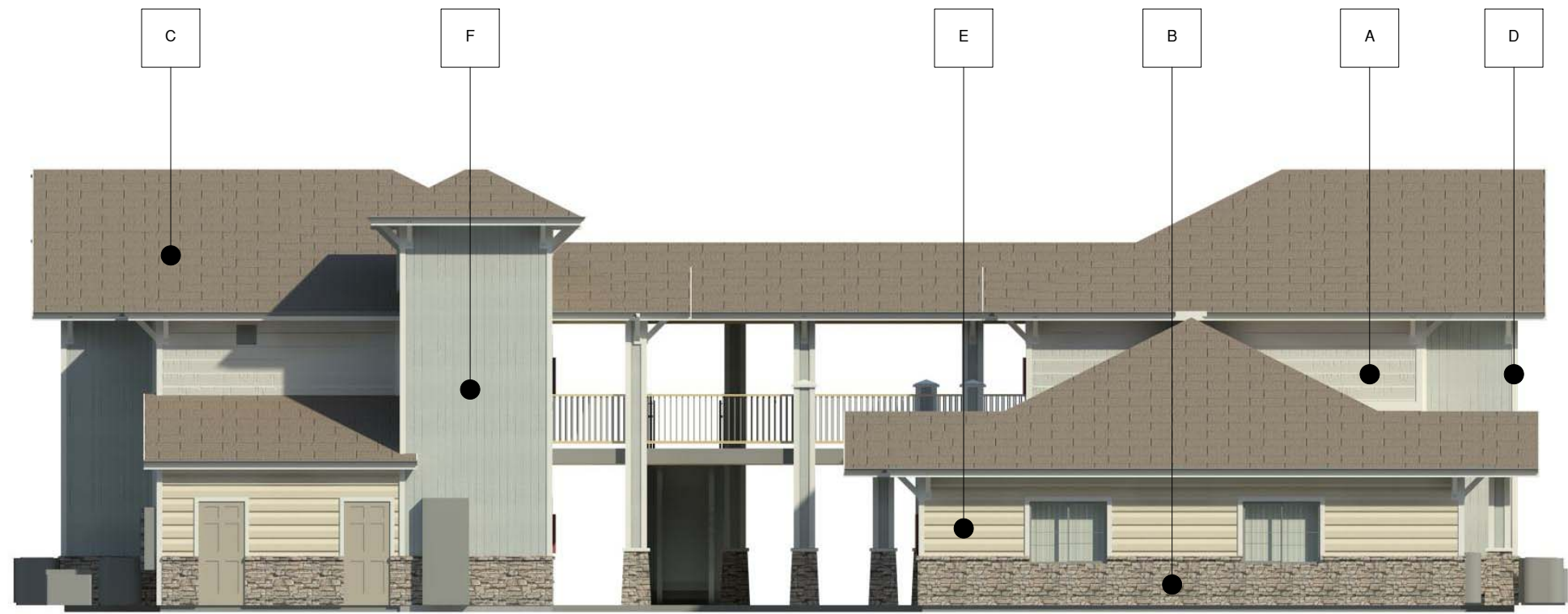
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GREENFIELD, CA

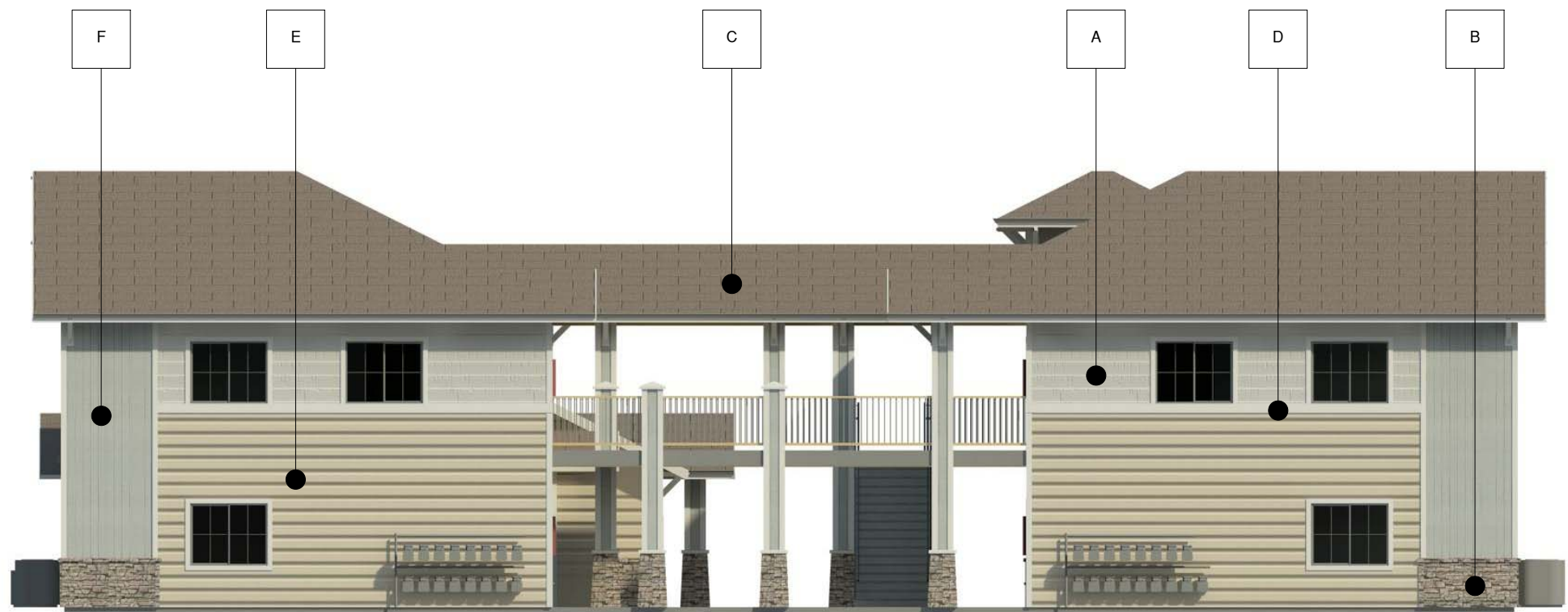
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WEST EXTERIOR ELEVATION



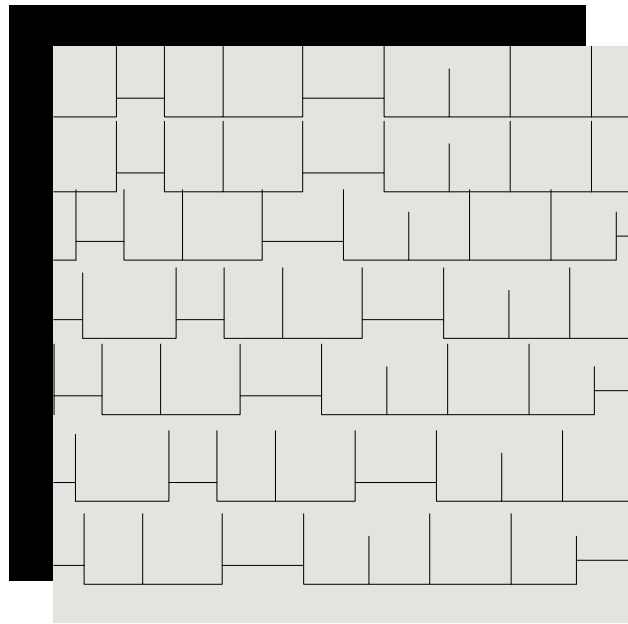
EAST EXTERIOR ELEVATION



SOUTH EXTERIOR ELEVATION



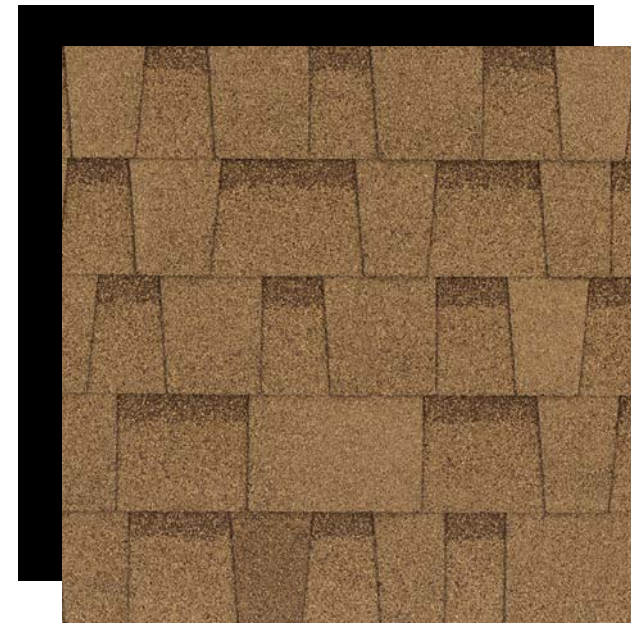
NORTH EXTERIOR ELEVATION



A ALSIDE VINYL SHAKE SIDING
COLOR TO MATCH "PLATINUM GRAY"



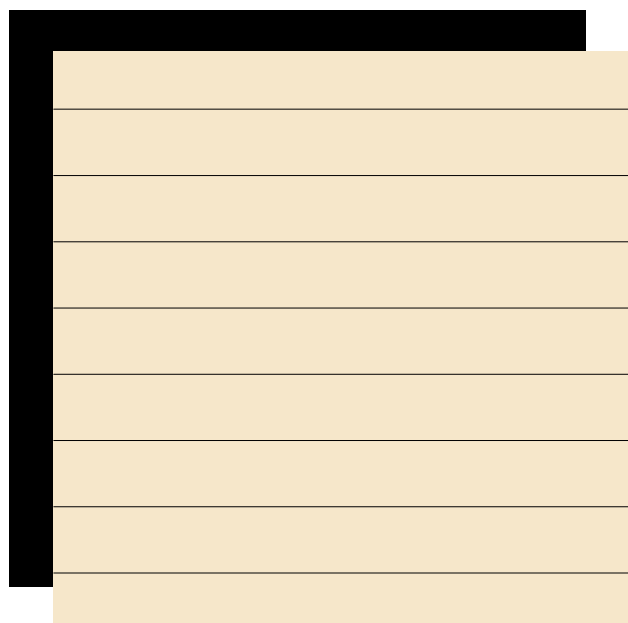
B DRY STACK LEDGESTONE
COLOR TO MATCH BORAL "CHARDONNAY"



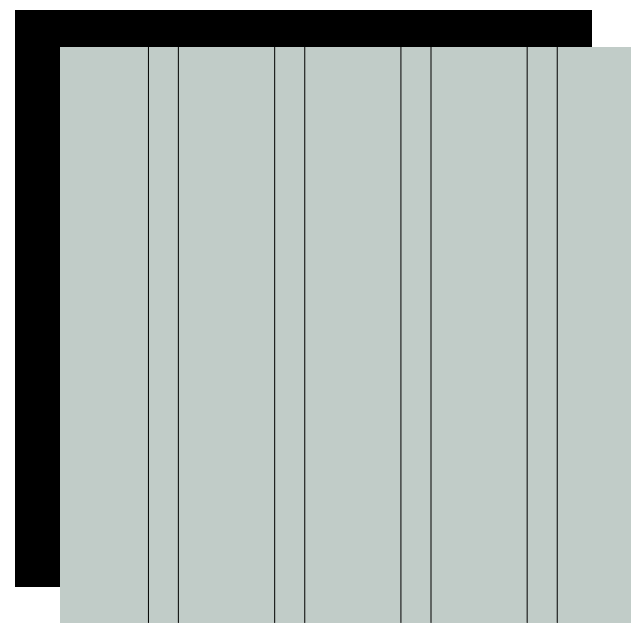
C 30 YEAR COMPOSITE SHINGLE
PABCO "BUCKSKIN TAN"



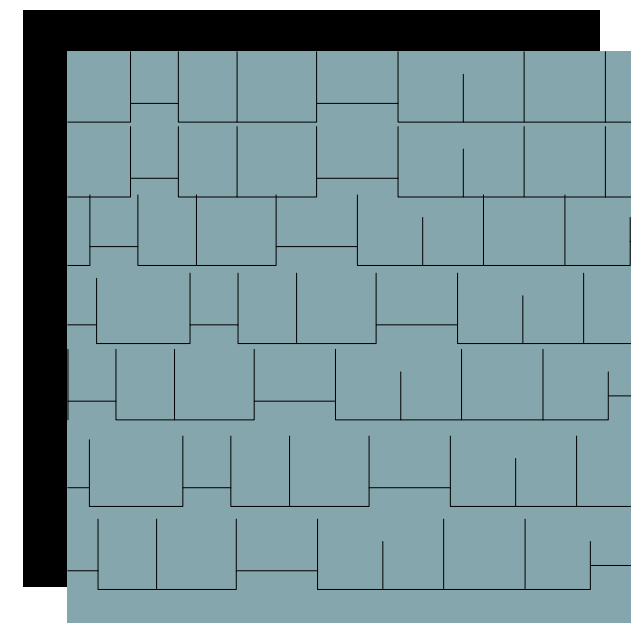
D TRIM BOARDS, BELLY BANDS, ATTIC
VENTS VINYL WINDOW SILLS, GUTTER,
DOWNSPOUT, METAL FASCIA WRAP &
SOFFIT & RAILING
COLOR TO MATCH ALSIDE "GLACIER WHITE"



E PRODIGY VINYL SIDING
COLOR TO MATCH "COLONIAL IVORY"



F ALSIDE BOARD & BATTEN
VINYL SIDING
COLOR TO MATCH "CAPE COD GRAY"



G ALSIDE VINYL SHAKE SIDING
COLOR TO MATCH "MYSTIC BLUE"

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