

SITE PLAN
1"=20'-0"

Project Location

APN: 070-120-011



VICINITY MAP

1. Construct parking lot in accordance with the City of Coalinga Parking Manual and the City of Coalinga Public Works Standards.
2. All construction work on this project is subject to interruption of the road system becomes impossible for Fire Apparatus due to rain or other obstacles.
3. Two (2) means of ingress/egress must be maintained during all phases of construction.
4. Provide warning signs pertaining to parking in Fire Lane in accordance with Fire Department Standards.
5. Provide "Hours of Operation" signs at all gate locations.
6. Deed(s) of easement(s) for required dedication(s) shall be prepared by the owner/developer's engineer and submitted to the City with verification of ownership **PRIOR TO ISSUANCE OF BUILDING PERMITS**.
7. Repair all damaged and/or off-grade concrete street improvements as determined by the construction management, also all existing sidewalks in excess of 2% max. cross slope must be brought into compliance prior to occupancy.
8. 2 Working days before commencing excavation operation within the street right-of-way and/or utility easements, all existing underground facilities shall have been located by Underground Services Airtel (USA), Call 1-800-642-2444.
9. Not Used.
10. Not Used.
11. Not Used.
12. Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the state of California.
13. Construct concrete sidewalks, curbs, gutters and driveway approaches to the public works standards specifications.
14. A backflow prevention device may be required to be installed on the water service to protect the public water system. A plumbing permit is required to install the device. Contact the Department of Public Utilities, Water Division for determination of size, type, acceptable make/model and location. Back flow prevention devices shall be installed at the developer's expense by a qualified journeyman plumber who has been certified as competent for such installation by the Water Systems Manager; backflow devices must be tested and accepted by the Water Division Prior to granting building final, the developers responsible to contact the Water Division a minimum of 5 day prior to requesting final building inspection.
15. All site grading shall comply with the 2019 California Building Code.
16. The ground immediately adjacent to all foundations shall be sloped away from the building at a slope of not less than 2% for a minimum of 10 feet measured perpendicular to the face of the wall. If physical obstructions or lot lines prohibit 10 feet of horizontal distance from the foundation, then a swale that runs parallel to the foundation may used and will be required to be a minimum slope of 20% within 10 feet of the building foundation. All other grading outside of the building envelope is required to be a minimum of 0.5%.
17. No surface drainage shall be permitted to drain onto adjacent properties, except if a covenant agreement for cross drainage applies.

Site Plan Notes

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, Zoning Ordinance, and all Public Works Standards and Specifications. The Development Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or addition or alterations to the construction plan not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revision.
2. No uses of landbuildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.
3. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as may otherwise be approved by the Development Department.
4. Landscaping must be in place before issuance of the certificate of occupancy.
5. Prior to final inspection, a written certification signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.
6. No structures of any kind may be installed or maintained within the required landscaped areas. No exposed utility boxes, transformers, meters, piping (except the backflow prevention device), etc., are allowed to be located in the landscape areas at setbacks or on the street frontages of buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.
7. Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit. Should additional signs be required, the applicant must submit for a Sign Review Permit. Applications and requirements for submittal are available at the Development Services Division's Public Front counter.
8. All handicapped stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Fresno Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles.
9. All handicapped parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from handicapped parking stalls and ramps.
10. Lighting, where provided to illuminate parking areas or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works.
11. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.
12. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone 916-653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information all list center (Phone 805-644-2284) shall be contacted to obtain a referral list of recognized archaeologists. An Archaeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.
13. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.
14. The RP device shall be tested and approved by a certified ANWA or ABFA tester or agency within five days of installation. The results shall be delivered, mailed or faxed to the City of Coalinga Public Works Division backflow program coordinator.

Site Plan Review Notes

PROJECT INFO: RED DRAGON WAREHOUSE:
9840 CODY STREET
Coalinga Ca.
APN # 0070-120-011

PROJECT OWNER: VINNY MANGUYEN (RED DRAGON HOLDING LLC)
4200 PARK BLVD #506, / OAKLAND, CA.
Phone:(415)993-1689

PROJECT GENERAL CONTRACTOR: OWNER BUILD
4200 PARK BLVD./ OAKLAND CA.
Phone:(415)993-1689
CONTACT PERSON: VINNY MANGUYEN

PROJECT ZONING: EXISTING M-3 TO REMAIN

PROJECT INFORMATION

SITE CALCULATIONS

Total Site Area:	1.71 Acres = 74,488 SF.
Landscape (DA)	0.05 Acres = 2,400 Sq. Ft.
AC PAVING (DA)	0.34 Acres = 15,200 Sq. Ft.
Total Dedicated	4,974/38,276= 12.9% (TOTAL SITE)
Building/Land	NEW BUILDING -10,00/74,488 = 13.4%

	PARKING	PARKING
PARKING STALLS REQUIRED	DB -----3	CB -----29
DISTRIBUTION BUILDING	4 Stalls	
CULTIVATION BUILDING	29 Stalls	
TOTAL PROVIDED	34 STALLS	

STALL TYPE	QUANTITY
Standard - 18'-0" x 9'-0"	32
(C) Compact - 15'-0" x 8'-0"	-
Handicap - 18'-0" x 9'-0"	2
Total	34

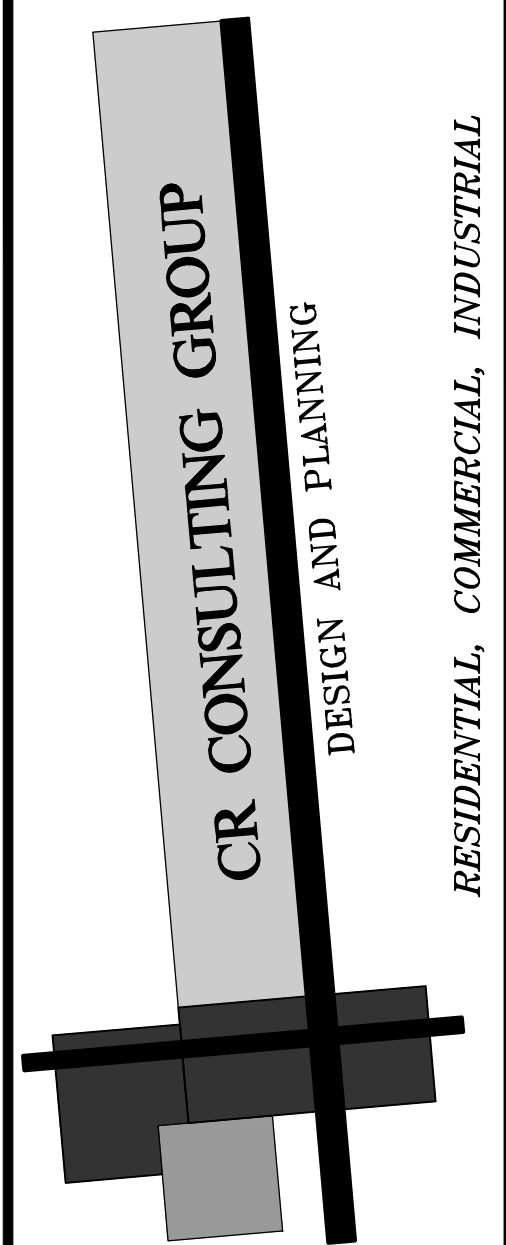
PARKING SUMMARY

SHELL BUILDING

SITE PLAN KEYNOTES

1. LANDSCAPE PER CITY OF COALINGA STANDARDS
2. WALL PACK LIGHTING TO BE SELECTED BY OWNER
3. TRASH ENCLOSURE PER CITY OF COALINGA STANDARDS REFER TO
4. CONCRETE APRON
5. UNAUTHORIZED VEHICLES SIGNAGE REFER TO DETAIL I/A1.2
6. WROUGHT IRON FENCE AND 36" GATE PROVIDED WITH A KEY CARD ENTER.
7. ACCESSIBLE PARKING, RAMP & SIGNAGE PER CITY OF COALINGA
8. 6' TALL OR LESS CHAIN LINK FENCE WITH PRIVACY SLATS - PER CITY OF COALINGA STANDARDS
9. PEDESTRIAN PATH OF TRAVEL
10. ASPHALT PAVING PER CIVIL DESIGN
11. PROPOSED 4' MINIMUM WIDE CONC. PEDESTRIAN EASEMENT BEHIND (N) DRIVE APPROACHES PER CITY OF COALINGA STANDARDS
12. PROPOSED CURB/GUTTER AND 10' FOOT COMMERCIAL SIDEWALK PATTERN PER PUBLIC WORKS STANDARDS
13. NOTE IN USE
14. MOTORIZED GATE (WROUGHT IRON)
15. 15'X20' LEAN-TO CANOPY
16. 3'-0" MIN MANUAL GATE
17. NOT USED
18. PROPOSED ELECTRICAL TRANSFORMER LOCATION
19. NOT USED
20. PROPOSED FIRE HYDRANT PER CITY OF COALINGA FIRE DEPARTMENT STANDARDS
21. CITY WATER METER LOCATION- TYPICAL OF (2) A. DOMESTIC WATER AND LANDSCAPE. BOTH PROVIDED WITH BF DEVICE
22. MAIL BOX LOCATION

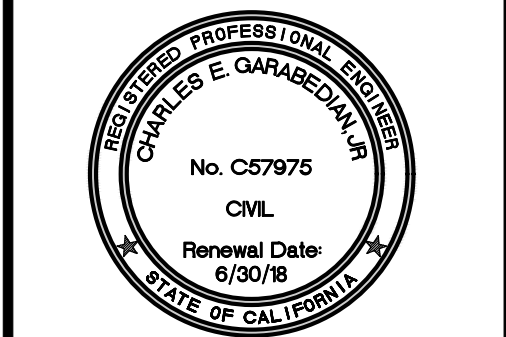
REVISIONS		
REV	DESCRIPTION	DATE



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PROJECT TITLE

**NEW METAL BUILDING
MANUFACTURING**
FOR: RED DRAGON HOLDING LLC.
9840 CODY STREET
COALINGA, CA



PROJECT NUMBER: 17-052
DRAWING TITLE

SITE PLAN

CUP PACKAGE

SCALE: As noted	SHEET NO.
PLOT DATE: 11/28/17	A1.1
PROJECT MANAGER: CRR	